

NOTES

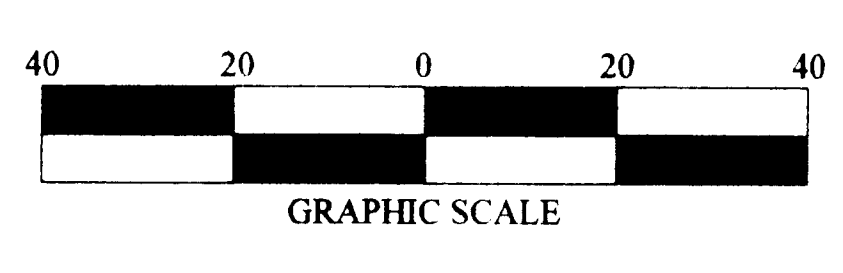
1. DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN AND BY THE STANDARDS OF THE MIXED USE DEVELOPMENT DISTRICT. THE DEVELOPMENT DEPICTED ON THIS PLAN IS INTENDED TO REFLECT THE ARRANGEMENT OF PROPOSED USES ON THE SITE, BUT THE EXACT CONFIGURATION, PLACEMENT, AND SIZE OF INDIVIDUAL SITE ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN THE LIMITS PRESCRIBED BY THE ORDINANCE DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES.
2. STORMWATER DETENTION FACILITIES, IF REQUIRED, WILL BE DESIGNED TO MEET THE APPLICABLE STANDARDS OF CHARLOTTE/MECKLENBURG STORMWATER SERVICES.
3. SIGNAGE WILL BE PERMITTED IN ACCORDANCE WITH APPLICABLE ZONING STANDARDS.
4. PARKING WILL BE PROVIDED WHICH WILL MEET OR EXCEED THE STANDARDS OF THE ZONING ORDINANCE.
5. SCREENING WILL CONFORM TO THE APPLICABLE STANDARDS OF SECTION 12.303 OF THE ZONING ORDINANCE.
6. THE USE OF THE SITE WILL BE FOR THE CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT. USES MAY INCLUDE RESIDENTIAL UNITS, SALES OFFICES, AND ACCESSORY USES.
7. THE PETITIONER ACKNOWLEDGES THAT THE PROPERTY IS LOCATED WITHIN THE 4TH WARD HISTORIC DISTRICT AND REQUIRES HISTORIC DISTRICT COMMISSION APPROVAL.
8. THE PROJECT WILL COMPLY WITH THE ADOPTED STREETScape PLAN FOR THE STREETS THAT ADJOIN THE SITE AND WILL MAINTAIN A 12 FOOT SETBACK ALONG BOTH CHURCH ST. AND 7TH STREET AND WILL MAINTAIN A 20' YARD ALONG THE NORTHWESTERN AND NORTHEASTERN PROPERTY LINES.
9. ALL DUMPSTERS, IF NOT LOCATED WITHIN THE STRUCTURE, WILL BE SCREENED WITH A SOLID ENCLOSURE AND GATES.
10. ALL UTILITIES WITHIN AND ALONG THE SITE WILL BE PLACED UNDERGROUND.
11. THE PETITIONER IN CONCERT WITH THE CITY ARBORIST WILL ESTABLISH A PROGRAM WITH THE SPECIFIC PURPOSE OF PROTECTING AND PRESERVING THE LARGE TREE LOCATED ON CHURCH ST.
12. SURFACE PARKING WILL BE SCREENED IN ACCORDANCE WITH ORDINANCE REQUIREMENTS.
13. THE PETITIONER WILL WORK WITH CDOT ON DRIVEWAY DESIGNS WHICH WILL BE COMPLIMENTARY TO THE DEVELOPMENT AND THE 4TH WARD HISTORIC DISTRICT.

SITE DATA

SIZE:	1.196 Ac.
EXISTING ZONING:	UMUD & UR-2
PROPOSED ZONING:	MUDD CD
URBAN OPEN SPACE:	6,408 SF PLAZA
	4,961 SF YARD
	11,369 SF (0.26 AC.) TOTAL

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: November 18, 1999
 BY: MARTIN R. CRAMTON, JR.
 99-73

JEFFERSON SQUARE SITE PLAN
 1"=20'-0"



SUBSURFACE INVESTIGATION NOTES:

1. EACH BORING SHOULD BE TAKEN TO A MINIMUM OF 30' BELOW GRADE.
2. EACH BORING SHOULD BE TAKEN TO REFUSAL OR TO ADEQUATE DEPTH TO DEVELOP FOUNDATION DESIGN CRITERIA.

NOTIFY THE ARCHITECT OF SCHEDULED FIELD TESTING DATE:
 OMNI ATTN. TOM DWYER 704-334-5383.

IF THERE ARE ANY QUESTIONS IN THE FIELD, CONTACT TOM DWYER AT OMNI 704-334-5383

OMNI
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JEFFERSON SQUARE

Project	98262.007
Drawn	
Checked	
Date	15-MAR-99
Revised	25-MAY-99
	23-JUNE-99
	1-JULY-99
12-NOV-99	- unit count from 74 to 75 units

CHARLOTTE - MECKLENBURG PLANNING COMMISSION
 INTER - OFFICE COMMUNICATION

DATE: November 18, 1999
 TO: Robert Brandon, Zoning Administrator
 FROM: Martin R. Cramton, Jr., Planning Director

SUBJECT: Administrative Approval for Petition No. 99-73, Capitol Funds, Inc.

Attached is a copy of the revised plan for the above rezoning petition. The plan has been revised to add one additional unit to allow a maximum of 75 units. This is the only change from the originally approved plan. Since this change is minor, I am administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.