

**NOTES**

- Existing Zoning: D-1, B-7th, R-3  
Proposed Zoning: R-2 (cd)
- Building Information:  
# AREA 1 - Proposed Building Size = 3622 SF. For Future Building, allow an additional 2778 SF (totaling 6400 SF).  
# AREA 2 - No Building-Wooded-areas to remain on Open-space Buffer.
- Construction:  
Phase 1 - Temporary Trailer will be constructed with site. Temporary trailer will be removed from site when Permanent Building Certificate of Occupancy is issued.  
Phase 2 - Permanent Building in Area 1 will house Two Classrooms (15 to 20 students each), an Observation Deck, Bathrooms, and Incidental Storage. Building Height will be 1 1/2 stories. Location of Building is shown on this sheet.  
# All 50 Parking Stalls shown are proposed, and all Operation, per Land Development Std 50.09.  
# exceed the Number of Spaces required for a Junior College by 30. (Parking requirements for Junior Colleges stipulate one stall per two students. No reference for this specific type of use is available from a traffic standpoint. However, this use is considered similar to a Junior College.)
- Landscaped Buffer:  
# Buffer will meet Section 12.302 of the City of Charlotte Zoning Ordinance (for Class B Buffer).  
# All trees will be preserved, except as noted below.  
# Types and Widths are identified on the plan view.  
# Project will be constructed in One Phase, or Phased to be constructed concurrently.
- See accompanying FLOOD AREA MAPS (91 and 92) for Flood Plain Information.
- Proposed and Existing Topography: See Sheet 15 of 27.
- Proposed Land Use will be primarily for Driver Training of Police and Fire Department Employees.
- Height of Detached Lights will not exceed 30 feet.
- Signage will be ground-mounted, not exceed 7 feet in height, and not exceed 50 SF.
- If dumpsters are used, dumpsters will be screened with Solid Enclosure and Gate. Rollout service may be provided.
- Storm Water Detention Ponds will not be located in Buffers or Setbacks.
- Property will be dedicated in order to obtain a right-of-way width of 70' for Beam and Shopton Roads.
- Minimum Vertical and Horizontal Sight Lines will not be obstructed at Proposed Entrances/Exits.
- The City anticipates future development of Area 2. A re-zoning of Area 2 will be required at that time.

201-011-09  
Marybell Company  
2200 Shopton Road  
Charlotte, NC 28217  
DEED: 3816 0871  
ZONED: R-12mf

141-071-11  
Harris Teeler Inc.  
c/o Real Estate  
P.O. Box 33129  
Charlotte, NC 28233  
DEED: 8118 0178  
ZONED: I-1

141-071-10  
Burchmont Land Assoc.  
2200 Shopton Road  
Charlotte, NC 28217  
DEED: 7852 0669  
ZONED: BD (cd)

201-011-08  
Burchmont Land Assoc.  
2200 Shopton Road  
Charlotte, NC 28217  
DEED: 7852 0669  
ZONED: R-17mf

7' HIGH CHAIN LINK FENCE W/3 STRANDS OF BARBED WIRE MEANDER TO MISS EXISTING TREES

PROPOSED 5' SIDEWALK AND 8' PLANTING STRIP

ADDITIONAL ROW TO TOTAL 35' FROM THE C.L. WILL BE DEDICATED.

EXIST. ROW

BEARING= S 28°00'55" W L= 38.07'

R= 2365.00'  
L= 336.29'  
CHORD= 338.01'  
BEARING= S 33°32'05"

201-011-08  
Burchmont Land Assoc.  
2200 Shopton Road  
Charlotte, NC 28217  
DEED: 7852 0669  
ZONED: R-17mf

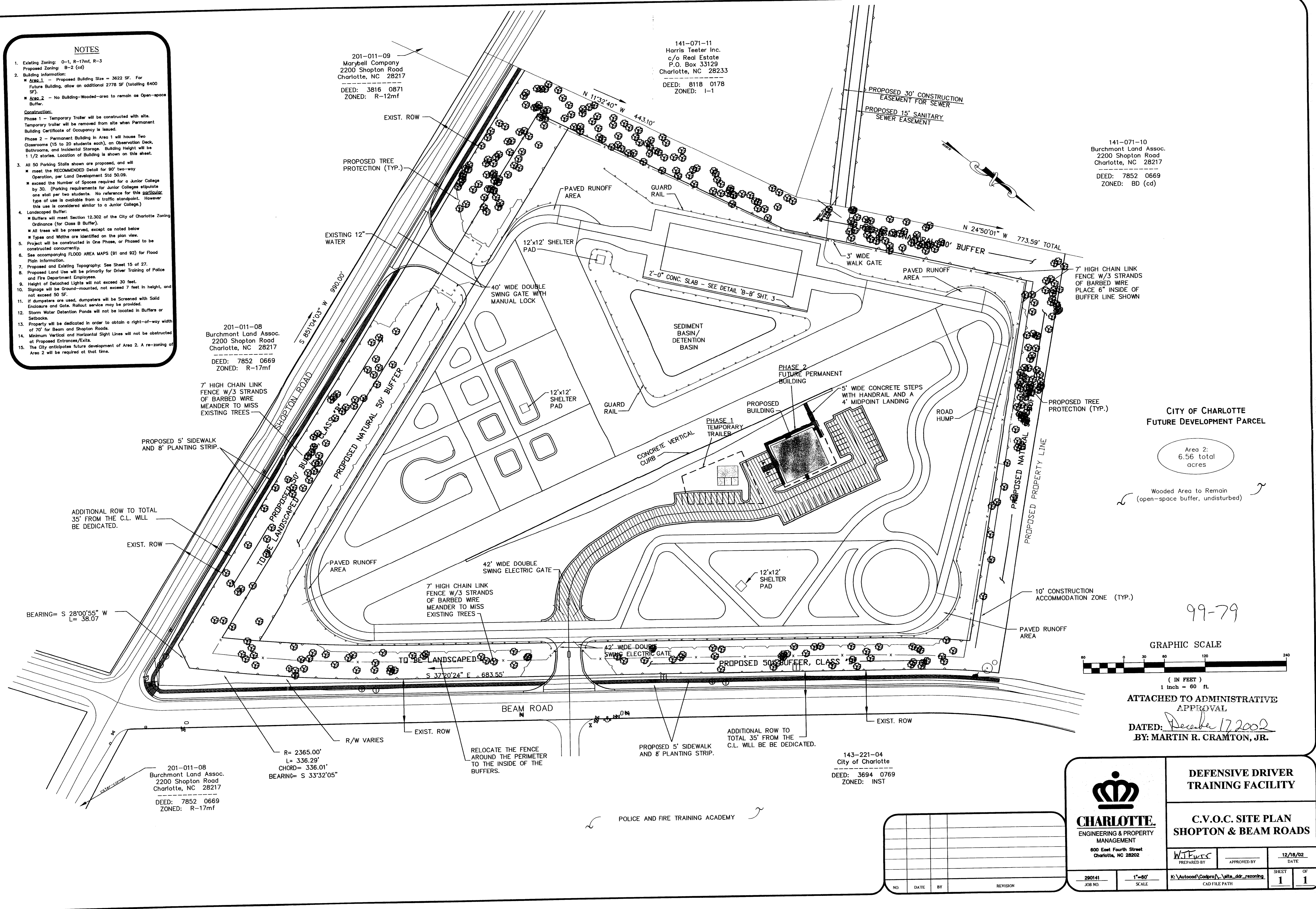
143-221-04  
City of Charlotte  
DEED: 3694 0769  
ZONED: INST

RELOCATE THE FENCE AROUND THE PERIMETER TO THE INSIDE OF THE BUFFERS.

PROPOSED 5' SIDEWALK AND 8' PLANTING STRIP

ADDITIONAL ROW TO TOTAL 35' FROM THE C.L. WILL BE DEDICATED.

POLICE AND FIRE TRAINING ACADEMY

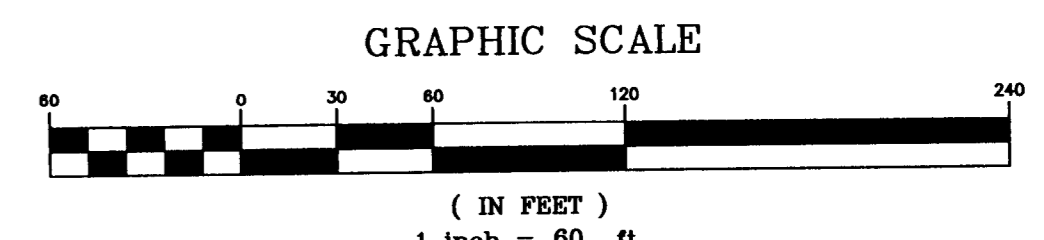


CITY OF CHARLOTTE  
FUTURE DEVELOPMENT PARCEL

Area 2:  
6.56 total acres

Wooded Area to Remain  
(open-space buffer, undisturbed)

99-79



ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: December 17, 2002  
BY: MARTIN R. CRAMTON, JR.

 <b>CHARLOTTE</b> ENGINEERING & PROPERTY MANAGEMENT 600 East Fourth Street Charlotte, NC 28202	<b>DEFENSIVE DRIVER TRAINING FACILITY</b>	
	<b>C.V.O.C. SITE PLAN</b> <b>SHOPTON &amp; BEAM ROADS</b>	
PREPARED BY: WJF JOB NO: 280141	APPROVED BY: [Signature] SCALE: 1"=80' CAD FILE PATH: K:\Autocad\Cadproj\141a_dtr_rezoning	DATE: 12/18/02 SHEET: 1 OF 1

**CHARLOTTE-MECKLENBURG PLANNING COMMISSION**  
INTER-OFFICE COMMUNICATION

DATE: December 17, 2002  
 FROM: Martin R. Cramton, Jr. Planning Director  
 TO: Robert Brandon Zoning Administrator  
 SUBJECT: Administrative Approval for Petition No. 99-79 by The City of Charlotte.

Attached is a revised conditional plan for the above petition. The plan has been revised to allow a temporary trailer on the site, which will be removed prior to the certificate of occupancy being issued on the permanent structure. Since this change is minor, I am administratively approving this plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy. Note that cross-sections and plantings shown on sheet 2 of 2 still apply.



**NOTES**

- Existing Zoning: O-1, R-12mf, R-3  
Proposed Zoning: B-2 (cd)
- Building Information:  
  - Area 1 - Proposed Building Size = 3622 SF. For Future Building, allow an additional 2778 SF (totaling 6400 SF).
  - Area 2 - No Building-Wooded-area to remain as Open-space Buffer.
- Proposed Building in Area 1 will house Two Classrooms (15 to 20 students each), an Observation Deck, Bathrooms, and Incidental Storage. Building Height will be 1 1/2 stories. Location of Building is shown on this sheet.
- All 50 Parking Stalls shown are proposed, and will meet the RECOMMENDED Detail for 90' two-way Operation, per Land Development Std 50.08.  
  - exceed the Number of Spaces required for a Junior College by 30. (Parking requirements for Junior Colleges stipulate one stall per two students. No reference for this particular type of use is available from a traffic standpoint. However this use is considered similar to a Junior College.)
- Landscaped Buffer:  
  - Buffers will meet Section 12.302 of the City of Charlotte Zoning Ordinance (for Class B Buffer).
  - All trees will be preserved, except as noted below.
  - Types and Widths are identified on the plan view.
- Project will be constructed in One Phase, or Phased to be constructed concurrently.
- See accompanying FLOOD AREA MAPS (91 and 92) for Flood Plain information.
- Proposed site Existing Topography See Sheet 15 of 27.
- Proposed Land Use will be primarily for Driver Training of Police and Fire Department Employees.
- Height of Detached Lights will not exceed 30 feet.
- Signage will be Ground-mounted, not exceed 7 feet in height, and not exceed 50 SF.
- If dumpsters are used, dumpsters will be Screened with Solid Enclosure and Gate. Rollout service may be provided.
- Storm Water Detention Ponds will not be located in Buffers or Setbacks.
- Property will be dedicated in order to obtain a right-of-way width of 70' for Beam and Shopton Roads.
- Minimum Vertical and Horizontal Sight Lines will not be obstructed at Proposed Entrances/Exits.
- The City anticipates future development of Area 2. A re-zoning of Area 2 will be required at that time.

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DEED: 3816 0871  
ZONED: R-12mf

141-071-11  
Harris Teeter Inc.  
c/o Real Estate  
P.O. Box 33129  
Charlotte, NC 28233  
DEED: 8118 0178  
ZONED: I-1

141-071-10  
Burchmont Land Assoc.  
2200 Shopton Road  
Charlotte, NC 28217  
DEED: 7852 0669  
ZONED: BD (cd)

201-011-08  
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7' HIGH CHAIN LINK FENCE W/3 STRANDS OF BARBED WIRE MEANDER TO MISS EXISTING TREES

ADDITIONAL ROW TO TOTAL 35' FROM THE C.L. WILL BE DEDICATED.

BEARING= S 28°00'55" W  
L= 38.07'

EXIST. ROW

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RELOCATE THE FENCE AROUND THE PERIMETER TO THE INSIDE OF THE BUFFERS.

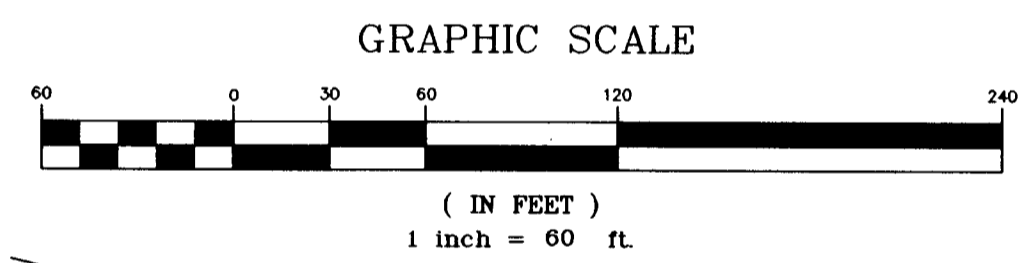
PROPOSED 5' SIDEWALK AND 8' PLANTING STRIP.

ADDITIONAL ROW TO TOTAL 35' FROM THE C.L. WILL BE DEDICATED.

143-221-04  
City of Charlotte  
DEED: 3694 0769  
ZONED: INST

POLICE AND FIRE TRAINING ACADEMY

NO	DATE	BY	REVISION



ATTACHED FOR ADMINISTRATIVE APPROVAL  
 DATED: February 13, 2002  
 BY: MARTIN R. CRAMTON, JR.

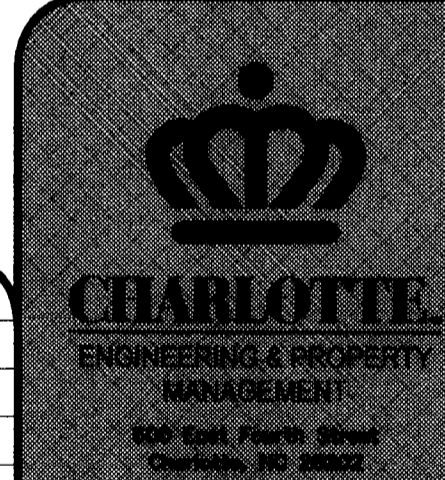
CITY OF CHARLOTTE  
FUTURE DEVELOPMENT PARCEL

Area 2:  
6.56 total acres

Wooded Area to Remain  
(open-space buffer, undisturbed)

**DEFENSIVE DRIVER TRAINING FACILITY**

**PRELIMINARY SITE PLAN  
SHOPTON & BEAM ROADS**



WJ Fucci	APPROVED BY	2-13-02
PREPARED BY		DATE
200141	1"=60'	1
JOB NO.	SCALE	SHEET OF
		1

**CHARLOTTE - MECKLENBURG  
PLANNING COMMISSION**  
INTER - OFFICE COMMUNICATION

DATE: February 13, 2002  
 FROM: Martin R. Cramton, Jr.  
 Planning Director  
 TO: Robert Brandon  
 Zoning Administrator  
 SUBJECT: Administrative Approval for Petition No. 99-79 by The City of Charlotte.

Attached is a revised conditional plan for the above petition. The plan has been revised to allow the project to be phased and convert the building back to a 1 1/2 story structure with an observation deck. Since these changes are minor and consistent with the original plan, I am administratively approving this plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy. Note that cross-sections and plantings shown on sheet 2 of 2 still apply.



**NOTES**

- Existing Zoning: O-1, R-17mf, R-3  
Proposed Zoning: B-2 (cd)
- Building Information:  
Area 1 - Proposed Building Size = 5544 SF. For Future Building, allow an additional 856 SF (totaling 6400 SF)  
Area 2 - No Building - Wooded-area to remain as Open-space Buffer.
- Proposed Building in Area 1 will house Three Classrooms (15 to 20 students each), an Observation Deck, an Elevator, Bathrooms and Incidental Storage. Building Height will be 2 stories (37' from footing to top of roof). Location of Building is shown on this sheet.  
All 50 Parking Stalls shown are proposed, and will meet the RECOMMENDED Detail for 90' two-way Operation, per Land Development S85 50.09.  
exceed the Number of Spaces required for a Junior College by 30. (Parking requirements for Junior Colleges stipulate one stall per two students. No reference for this particular type of use is available from a traffic standpoint. However this use is considered similar to a Junior College.)
- Landscaped Buffer:  
Buffers will meet Section 12.302 of the City of Charlotte Zoning Ordinance (for Class B Buffers).  
All trees will be preserved, except as noted below.  
Types and Widths are identified on the plan view.  
Project will be constructed in One Phase.
- See accompanying FLOOD AREA MAPS (91 and 92) for Flood Plain Information.
- Proposed and Existing Topography: See Sheet 15 of 27.
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**CITY OF CHARLOTTE  
FUTURE DEVELOPMENT PARCEL**

Area 2:  
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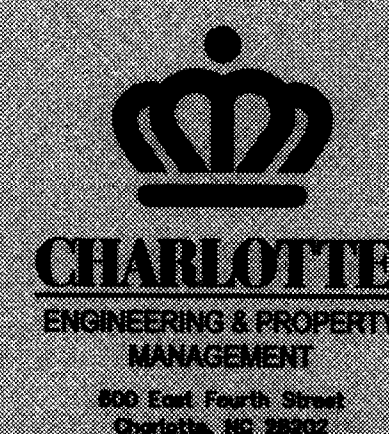
**GRAPHIC SCALE**



ATTACHED TO ADMINISTRATIVE  
APPROVAL

DATED: May 25, 2001  
BY: MARTIN R. CRAMTON, JR.

**DEFENSIVE DRIVER  
TRAINING FACILITY**



**PRELIMINARY SITE PLAN  
SHOPTON & BEAM ROADS**

PREPARED BY	APPROVED BY	DATE
		05/24/01
220141	1"=60'	SHEET 1 OF 1
JOB NO.	SCALE	DATE

NO.	DATE	BY	REVISION

**CHARLOTTE-MECKLENBURG  
PLANNING COMMISSION  
INTER-OFFICE COMMUNICATION**

DATE: May 25, 2001

TO: Robert Brandon  
Zoning Administrator

FROM: Martin R. Cramton, Jr.  
Planning Director

SUBJECT: Administrative Approval for Petition No. 99-79 by The City of Charlotte.

Attached is a revised conditional plan for the above petition. The plan has been revised to show minor layout changes, increase the building height to two stories and allocate square footage from the future building to the proposed building. The plan also indicates that the fence along Beam Road will be relocated to the inside of the buffer. Since these changes are minor and consistent with the original plan, I am administratively approving this plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy. Note that cross-sections and plantings shown on sheet 2 of 2 still apply.

