

General Provisions
All development standards established under the Charlotte Zoning Ordinance (the "Ordinance") for the B-1 (SOD) Classification shall be followed in connection with development taking place on the Property. Except for the area covered by petition no. 89-83 which will be controlled by the standards of the C.C. District, the zoning Ordinance, the building configuration, the building design, the building construction and construction document phases within the maximum building envelope lines established on this Rezoning Plan. Parking layouts may also be modified to accommodate final building locations.

Permitted Uses
1. The Property may be devoted to "Retail" uses.
2. The total gross floor area within the Property which may be devoted to "Retail" uses cannot exceed 60,000 S.F.

"Retail" uses are intended to include any use (including any accessory use) which is permitted by right in the C.C. District plus the area covered by petition No. 89-83. Ordinance, or under the C.C. District plus the area covered by petition No. 89-83.

SETBACKS
1. Buildings setbacks shall be a minimum of 100' off all public streets and a minimum of 50' off all other property lines, and 80' off HARRISBURG ROAD.
2. Parking is permitted in the setbacks, but not within the buffer areas.
Minimum 8' x 50' parking setback.

BUFFERS
1. All development within the site will be subject to the buffer zones imposed by stip depicted on this Rezoning Plan.
2. The buffer areas extending around the eastern and southern boundaries of the site are to remain as open space, except for the grading, storm water retention ponds, signs, and graphics (as permitted by the City of Charlotte Sign Ordinance), drainage or utility construction. Grading may be performed and slopes and berms may be installed within those buffer areas.
3. Undisturbed buffers will be staked and fenced prior to beginning of grading the site to ensure their protection.
4. In buffer areas except retention pond areas where existing trees and natural vegetation have been cleared to accommodate walls, fences, grading, signs, graphics, and the installation of utility construction, the cleared, unimproved area will be landscaped with trees and shrubs.

LANDSCAPING & SCREENING
1. Buffering and/or screening shall conform with the standards and treatments specified on this Rezoning Plan and, in all instances, shall meet or exceed the requirements of the Ordinance. Trees in the buffer areas shall be a minimum of 2" in caliper and 3' in height at planting. Shrubs in the buffer areas shall be a minimum of 3' in height or 4-gallon plants at planting.
2. Landscaping areas within the site will be planted and improved in sequences which are keyed to the development taking place in phases.
3. All dumpsters and service areas will be heavily screened from public streets and from adjacent properties.
4. All landscaping will comply with the City of Charlotte Tree Ordinance.
5. Existing tree saves and details regarding replacement and planting (i.e. tree outside process, and clearly marked prior to commencement of grading.

PARKING
1. The parking area depicted on this Rezoning Plan may vary in size and location, but in all events, off-street parking will meet the minimum standards established under the City of Charlotte Zoning Ordinance.
2. No parking shall be permitted within the designated buffer areas. Parking areas may be constructed inside and outside the building envelopes.
LIGHTING
1. A uniform lighting system will be employed throughout the site.
2. All direct lighting will be designed in a manner which minimizes glare towards adjacent streets and properties.
SIGNS
1. All signs erected on the project shall comply with the City of Charlotte Sign Ordinance.
2. Subject to the provisions of paragraph 2 and 4, signs shall be located within the buffer area permanent signs points leading to Albemarle Road and Harrisburg Road, and if applicable the eastern circumferential road. Only three such project identification signs may be located on the site. All such signs must comply with the City of Charlotte Sign Ordinance.
3. All detached signs must be fixed and may not move, rotate, or flash, and no sign may be mounted on the roof of any structure.
4. All free-standing building and tenant identification signs or graphics installed within building envelope will be complementary in scale and appearance to the structure which they identify, and each sign affixed to the structure will be compatible with its architectural design.
5. Each sign shall be limited to one monument type sign located within the buffer area, compatible with the center's architectural style.
MAXIMUM BUILDING HEIGHT
1. The structures to be constructed may not exceed one story, and their height may not exceed 40'.
ACCESS POINTS (DRIVEWAYS)
1. The number of vehicular access points to Albemarle Road shall be limited to three (3) and the number of Harrisburg Road to one (1) as shown on this Rezoning Plan. The westernmost access onto Albemarle Road shall be eliminated upon completion of the eastern circumferential road. However, the configuration of the eastern circumferential road and the architectural construction plans and design are further subject to approval by the North Carolina Department of Transportation and the Charlotte Department of Transportation. Access points to eastern circumferential road limited to two.
FIRE PROTECTION
1. Adequate fire protection in the form of fire hydrants will be provided to the Fire Marshal's Plan for each building will be submitted to the Fire Marshal's office for approval before the construction of any building commences.
2. Fire hydrants shall be installed so that a fire truck does not have to travel more than 750' to the most remote accessible point of all buildings.
ARCHITECTURAL CONTROLS
1. The Petitioner intends to achieve compatibility of visual aesthetics and architectural design of buildings constructed within the site through the use of one or a combination of color, material, texture, architectural details, and landscaping. The Petitioner shall have the right to utilize various colors, materials, textures, architectural facades, rooflines, building masses, and scales as long as compatibility in aesthetics and design is achieved.
2. Outcrops will be consistent with overall center in their use of color, material, textures, architectural facades, rooflines, building mass, scale, etc.
3. Rear of shopping centers to be constructed of final materials compatible with the design and color of the front of the side elevations. Concrete or concrete block will be filled and painted a compatible color to the front of the building.
STORM WATER MANAGEMENT
1. Storm water will be managed by the use of retention ponds and/or other means allowable under the Ordinance, all in accordance with plans approved by the Charlotte Engineering Department.
CIRCUMFERENTIAL ROAD
1. The Petitioner agrees to reserve right-of-way shown for proposed Eastern Circumferential Road and to dedicate such to Charlotte/State D.O.T. upon receipt at any time after this road project has been funded.
2. If the agreement for the Eastern Circumferential Road, as ultimately placed on the City's thoroughfare plan, does not include the alternate depicted on this Rezoning Plan, the Petitioner reserves the right to seek approval from the City County for a reconfiguration of the development proposed by means of a site plan amendment.

SITE AND DEVELOPMENT DATA

EXISTING ZONING	B-1(CD) & R-1(SD)
PROPOSED ZONING	CC & R-1(SD)
GROSS ACRES	11.29 ACRES
AREAS OF R-1(SD) BUFFER	2.27 ACRES
AREAS OF RESERVED RIGHT OF WAY FOR CIRCUMFERENTIAL ROAD	1.08 ACRES
FOOD LION (EXISTING)	32,710 SQ. FT.
FOOD LION (EXISTING EXPANSION)	4,865 SQ. FT.
FOOD LION (NEW CONSTRUCTION)	35,54 SQ. FT.
FOOD LION (TOTAL)	45,896 SQ. FT.
LOCAL SHOPS	13,817 SQ. FT.
TOTAL SQUARE FOOTAGE	58,986 SQ. FT.
PROPOSED MAXIMUM FLOOR AREA	60,000 SQ. FT.
REQUIRED	240 SPACES
PARKING PROVIDED	300 SPACES

EXPANSION CALCULATIONS

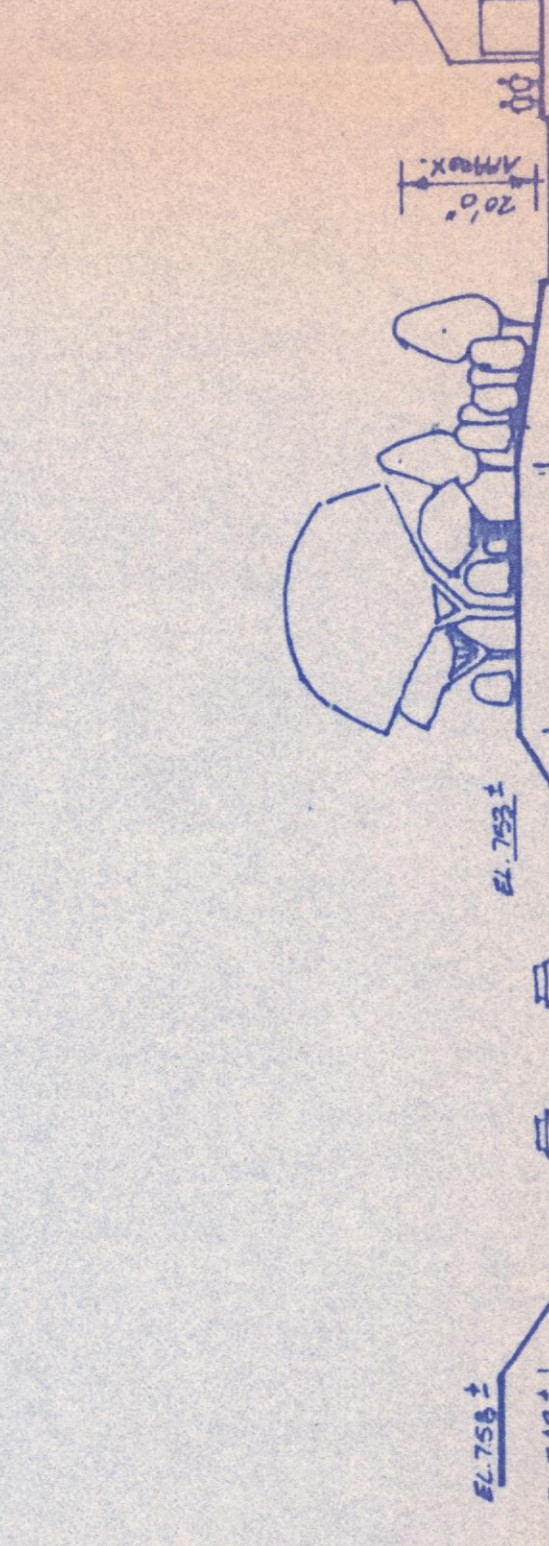
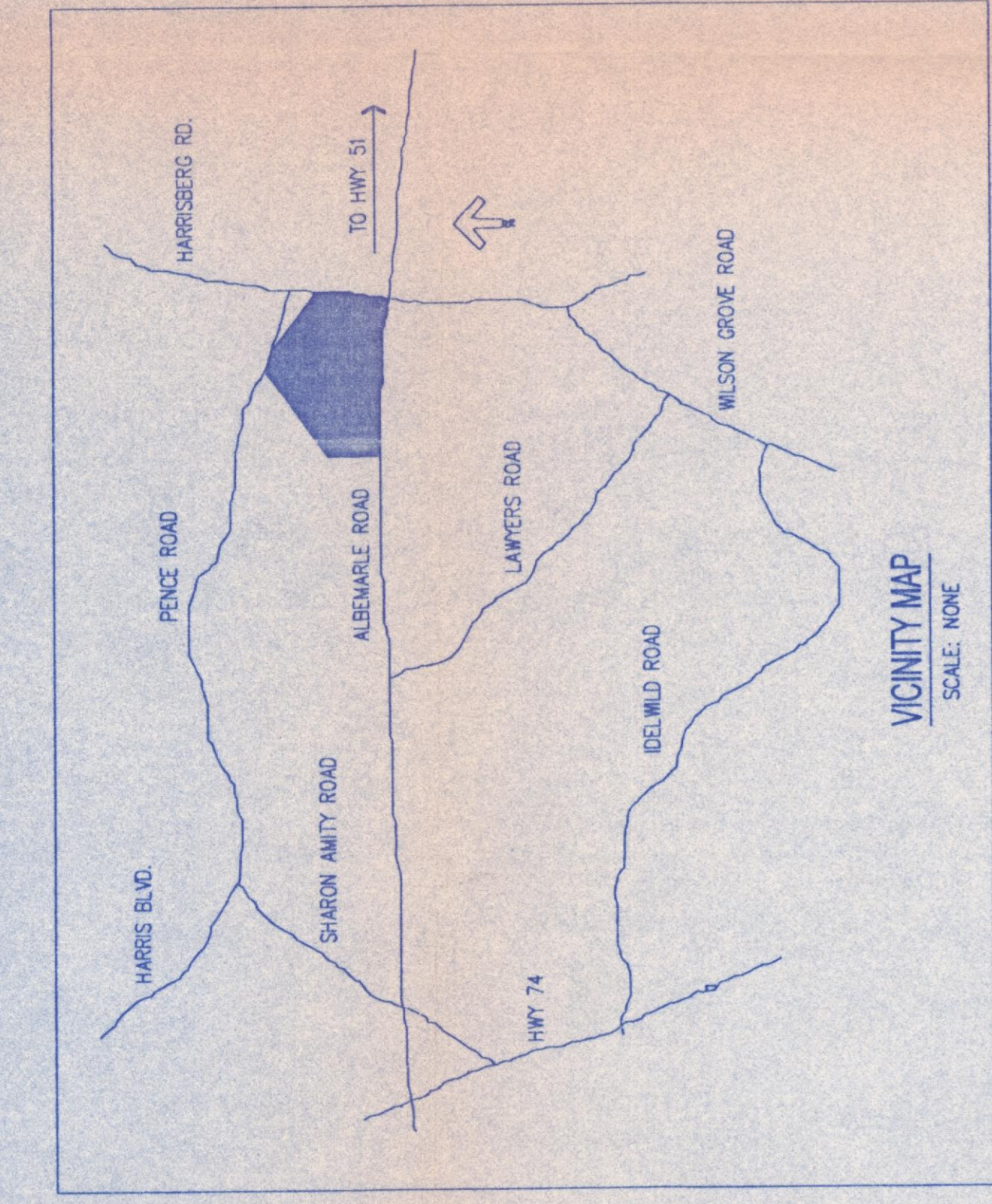
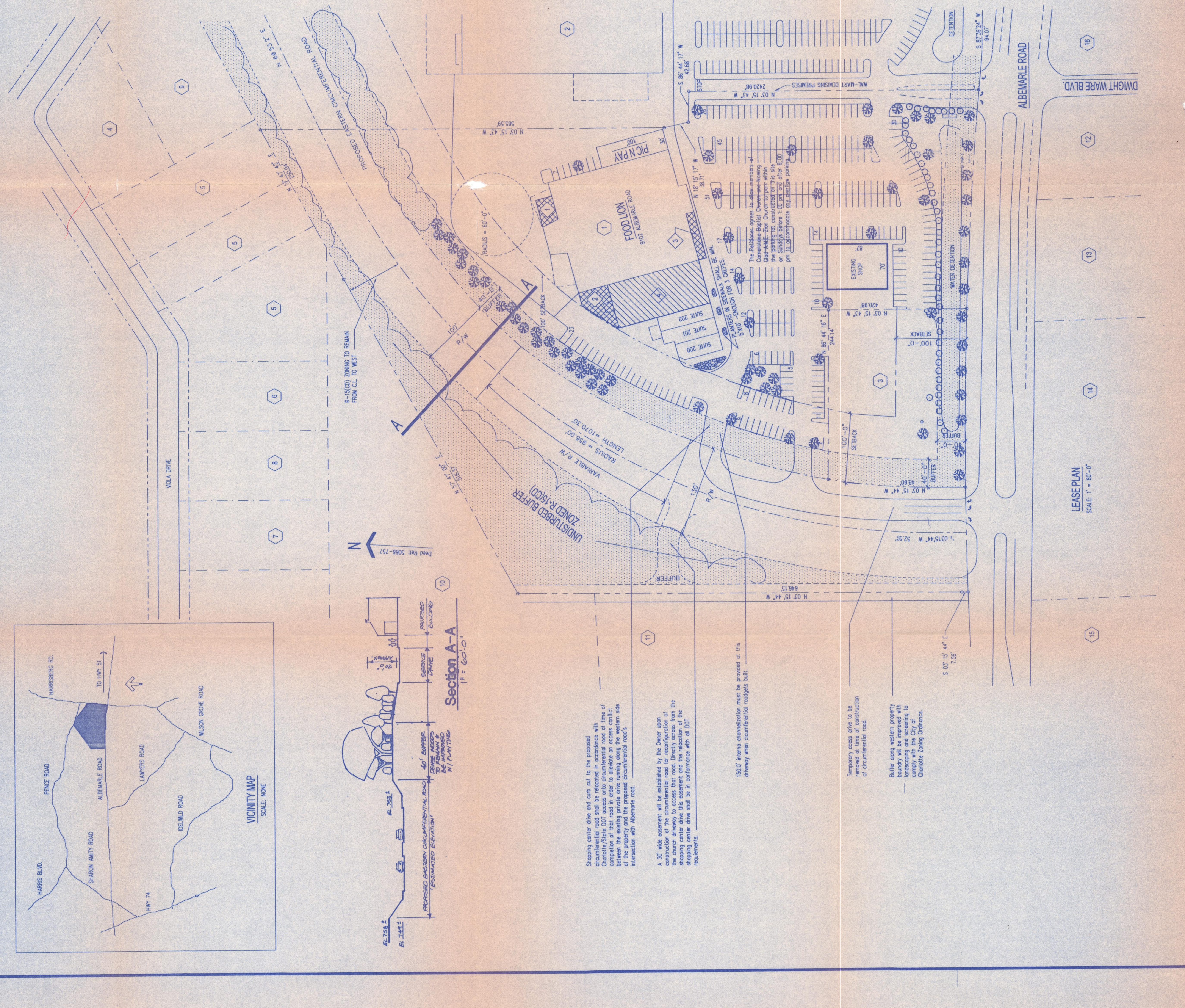
1	+ 920 SQ. FT. NEW CONSTRUCTION
2	+ 2,297 SQ. FT. NEW CONSTRUCTION
3	+ 737 SQ. FT. NEW CONSTRUCTION
4	6,048 SQ. FT. EXPANSION INTO EXISTING CONSTRUCTION

LEGEND

[Symbol]	NEW CONSTRUCTION
[Symbol]	EXISTING CONSTRUCTION

ADJACENT PROPERTY OWNERS

1	109-092-09 Chester Properties Project LP P.O. Box 37166 Charlotte, NC 28237
2	109-092-10A The First Baptist Church 701 S.W. 4th Street Baton Rouge, LA 70716
3	109-092-10B Congress Street Exchange FUMB 7 Water Street Boston, MA 02109
4	109-092-01 Lee Co. Foye Block Lee Co. Courthouse Brooklyn, NY 11226
5	109-092-02 Wanda Sue Block 5200 Barringer Drive Charlotte, NC 28215
6	109-092-03 Harvey McClure P.O. Box 48 Newell, NC 28126
7	109-092-04 Mowing Glade Amazon Church 200 South Main Street Charlotte, NC 28227
8	109-092-23 Poverly McClure P.O. Box 48 Newell, NC 28215
9	109-092-25 Worlds Block 8616 Fence Road Charlotte, NC 28215
10	109-092-08 Mowing Glade Amazon Church 200 South Main Street Charlotte, NC 28227
11	109-102-09 Comerstone Baptist Church 8823 Albemarle Road Charlotte, NC 28212
12	109-301-01 Albemarle Crossing LLC 1228 East Morehead Street Charlotte, NC 28204
13	109-301-05 Albemarle Crossing LLC 1228 East Morehead Street Charlotte, NC 28204
14	109-301-06 Albemarle Crossing LLC 1228 East Morehead Street Charlotte, NC 28204
15	109-301-07 Albemarle Crossing LLC 1228 East Morehead Street Charlotte, NC 28204
16	109-414-02 Autocell Car Wash, Inc. 200 South Main Street Charlotte, NC 28227



Shopping center drive and curb out to the proposed circumferential road shall be relocated in accordance with Charlotte/State DOT access onto circumferential road at time of completion of that road in order to eliminate access conflict. The proposed circumferential road shall be shown on the site of the property and the proposed circumferential road's intersection with Albemarle Road.

A 30' wide easement, will be established by the Center upon completion of the proposed circumferential road. Directly across from the shopping center drive this easement and the relocation of the shopping center drive shall be in conformance with all DOT requirements.

150.0' internalization must be provided at this driveway when circumferential road built.

Temporary access drive to be removed at time of construction of circumferential road.

Buffer along western property boundary will be improved with landscaping and screening to comply with the City of Charlotte Zoning Ordinance.

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