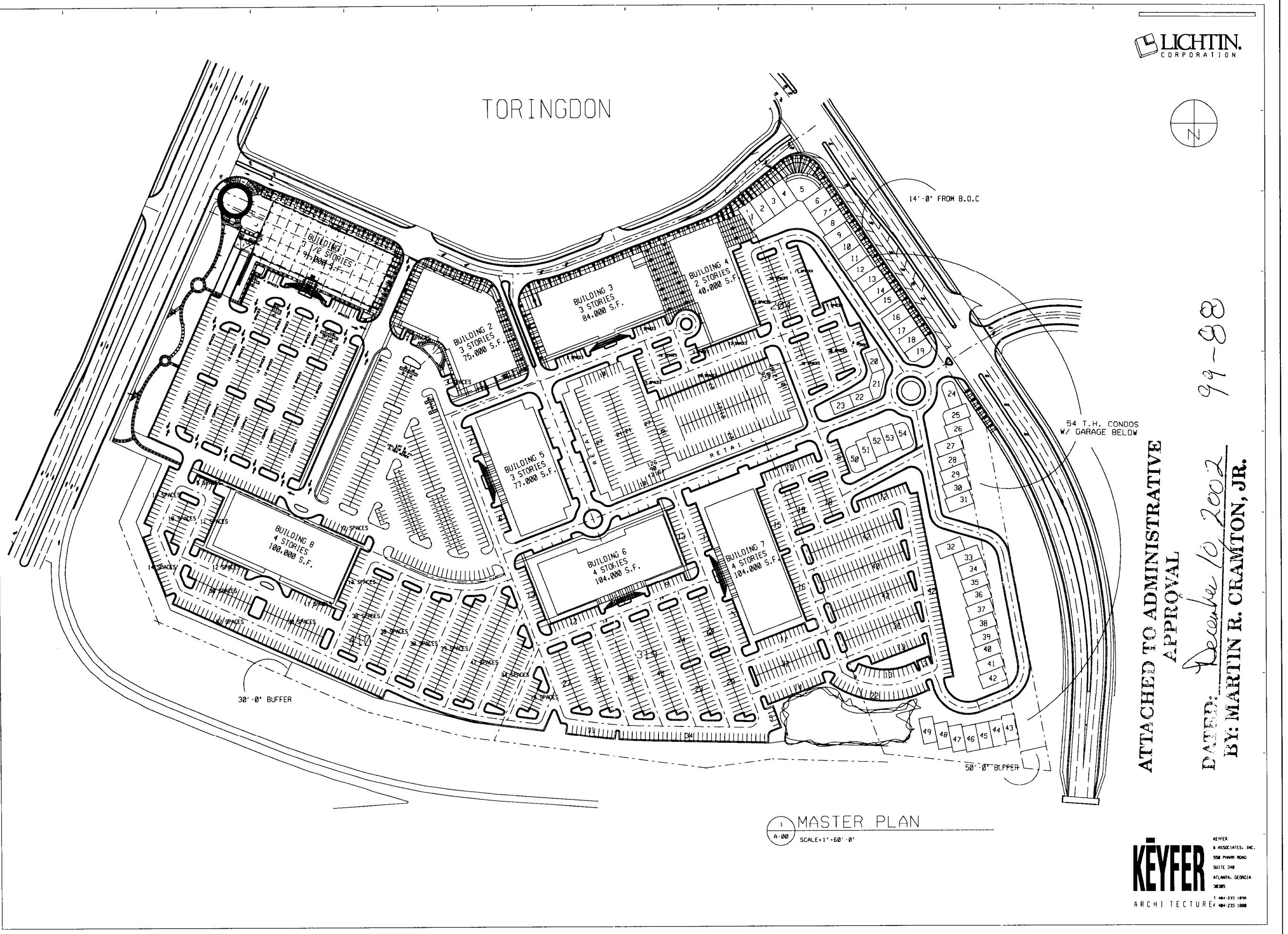


**CHARLOTTE - MECKLENBURG
PLANNING COMMISSION**

INTER - OFFICE COMMUNICATION



DATE: December 10, 2002

TO: Robert Brandon
Zoning Administrator

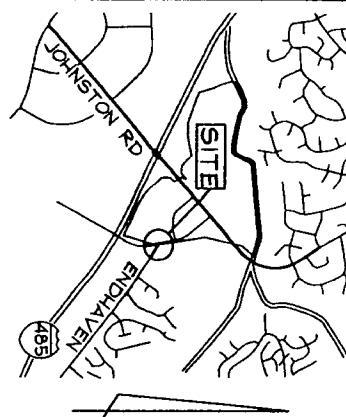
FROM: *Ter*
Martin R. Cramton, Jr.
Planning Director

SUBJECT: Administrative approval for 99-88 (Trammell-Crow Wood Partners)

Attached is the revised site plan for rezoning petition 99-88 Trammell-Crow Wood Partners. This plan includes revisions to the building and parking layout only. Since these changes are minor, I am administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

Note: All other conditional notes as shown on the administrative approval dated June 24, 2002 still apply.

*See Administrative Rezoning
December 12, 2002
June 24, 2002 for conditional
Notes*



GRAPHIC SCALE 1' - 60'
PT = 20±55.02

PRELIMINARY PLAT
NOT FOR RECORDATION,
CONVEYANCES, OR SALES

VICINITY MAP NOT TO SCALE

LOT 7
TORINGDON DEVELOPMENT
MAP BOOK 36 PAGE 930
362,574 SQ FT
8.323 ACRES

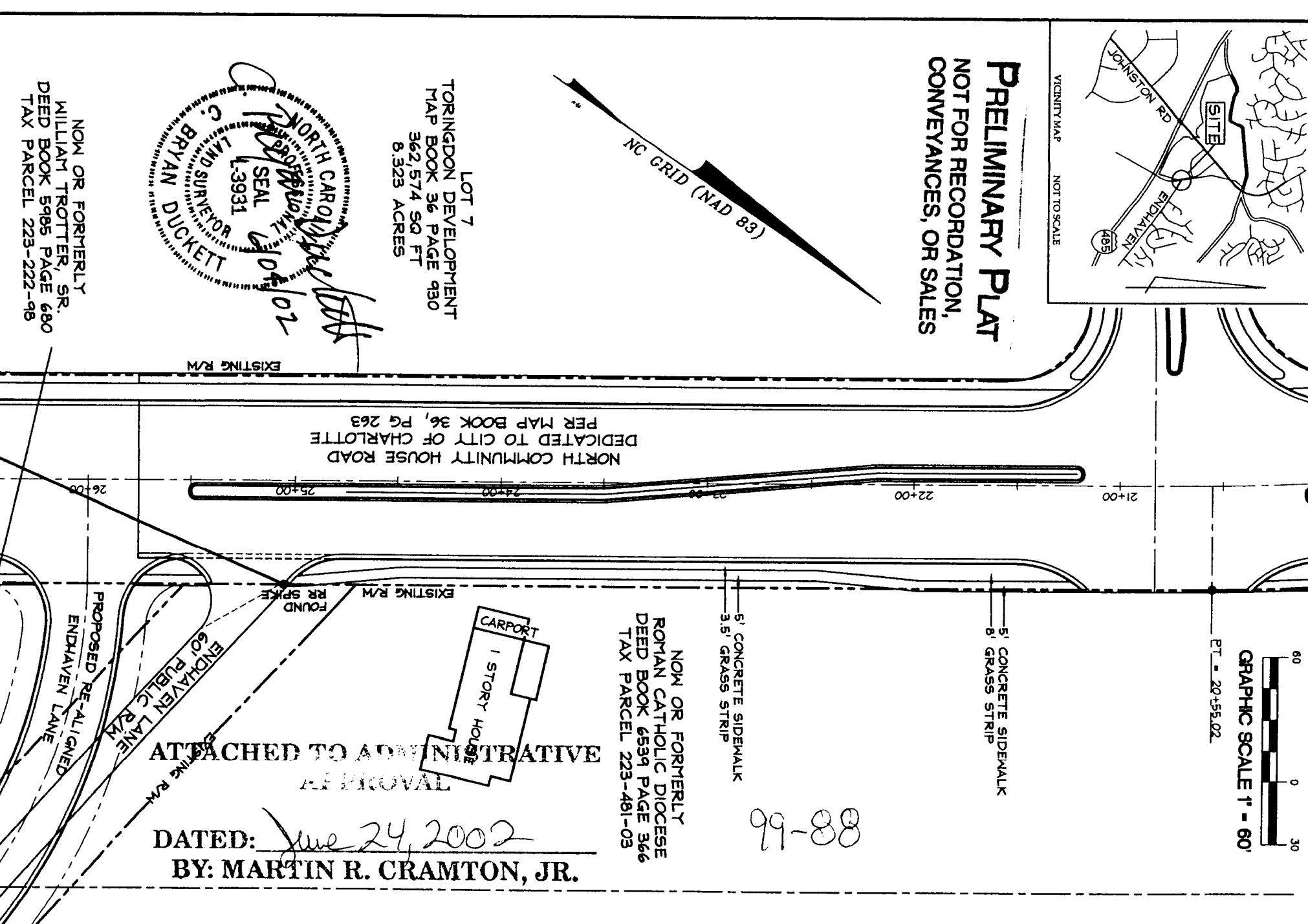
NORTH CAROLINA
PROFESSIONAL SURVEYORS
C. L. 3931
SEAL
BRYAN DUCKETT
SURVEYOR

EXISTING R/W
22+00 23+00 24+00 25+00 26+00
NORTH COMMUNITY HOUSE ROAD
DEDICATED TO CITY OF CHARLOTTE
PER MAP BOOK 36, PG 263

NOW OR FORMERLY
ROMAN CATHOLIC DIOCESE
DEED BOOK 6539 PAGE 366
TAX PARCEL 223-481-03

EXISTING R/W
FOUND SPKE
END HAVEN LANE
PROPOSED RE-ALIGNMENT
END HAVEN LANE
CARPORT
1 STORY HOUSE
ATTACHED TO ADMINISTRATIVE
APPROVAL

DATED: June 24, 2002
BY: MARTIN R. CRAMTON, JR.



REVISED SIDEWALK LOCATION
TORINGDON DEVELOPMENT
NORTH COMMUNITY HOUSE ROAD
AT ENDHAVEN LANE
MECKLENBURG COUNTY - NORTH CAROLINA

THE SURVEY
COMPANY, INC.
405-B STUART ANDREW BLVD
CHARLOTTE, NC 28217
(704) 561-9970 (704) 561-9972 FAX

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

TO: Robert Brandon
Zoning Administrator

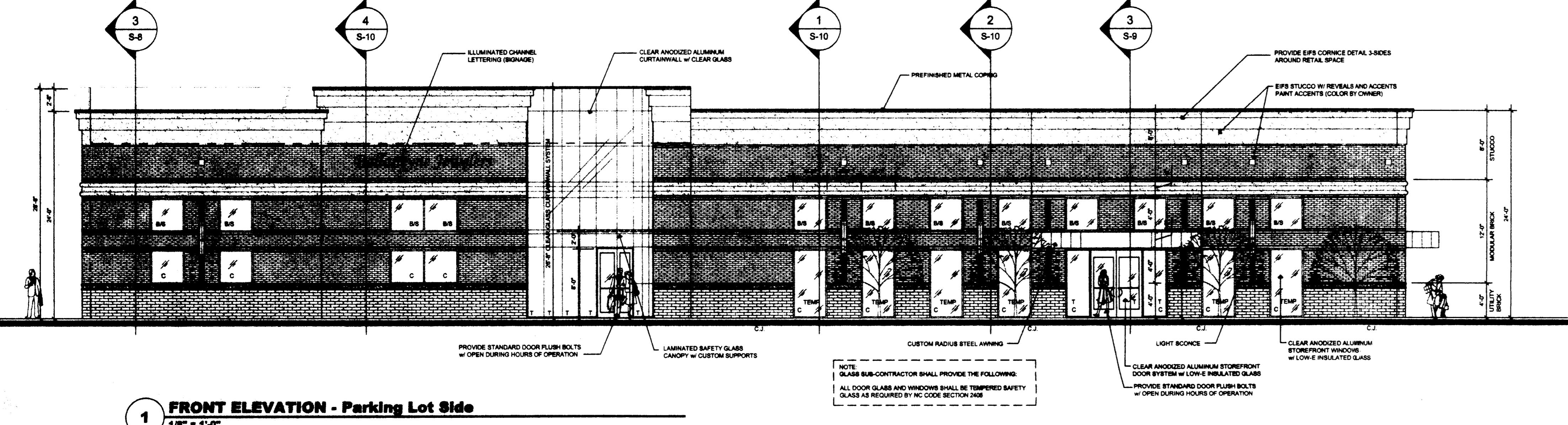
FROM: Martin Cramton
Director of Planning

SUBJECT: Administrative approval for 99-88 (Trammell-Crow Wood Partners)

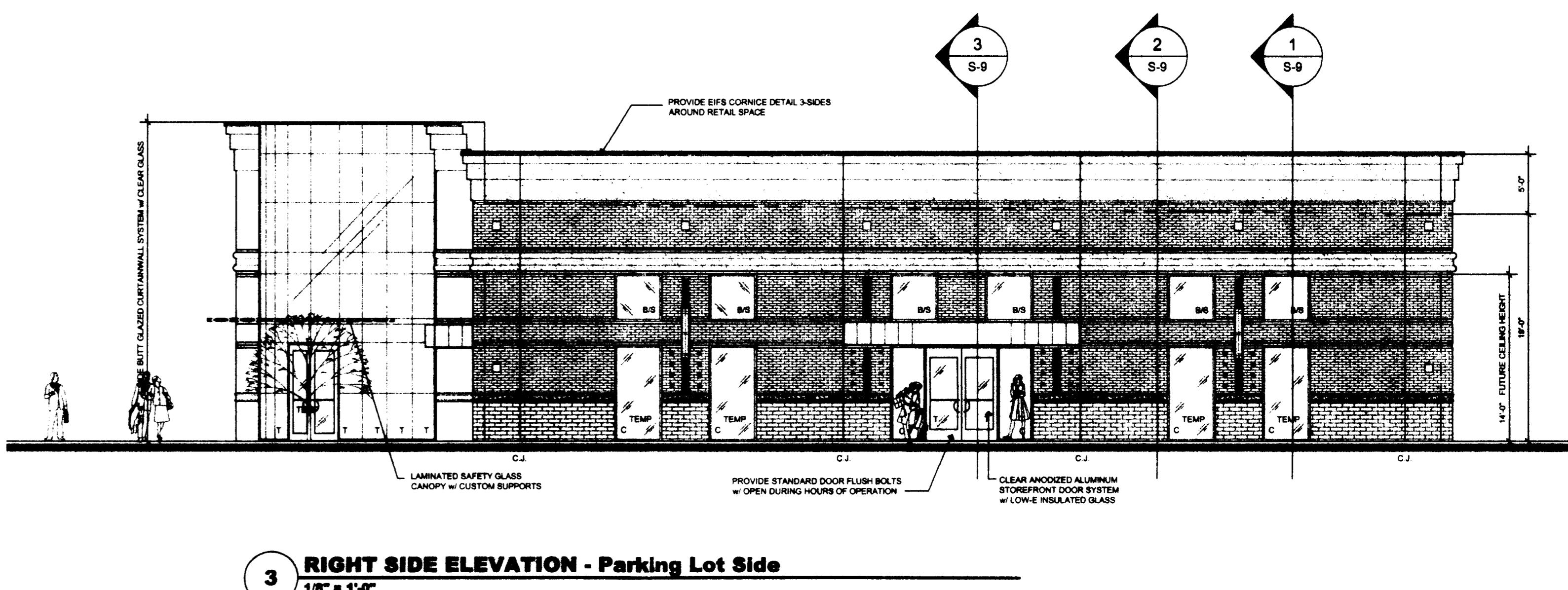
Attached is a survey showing a revised sidewalk location and planting strip width along a portion of North Community House Road. This survey reflects this new location and new planting strip width to address existing and proposed topographic constraints. Since this survey reflects minor changes, I am administratively approving this attachment to the above rezoning petition. Please use this attachment when evaluating requests for building permits and certificates of occupancy.

DATE: June 24, 2002

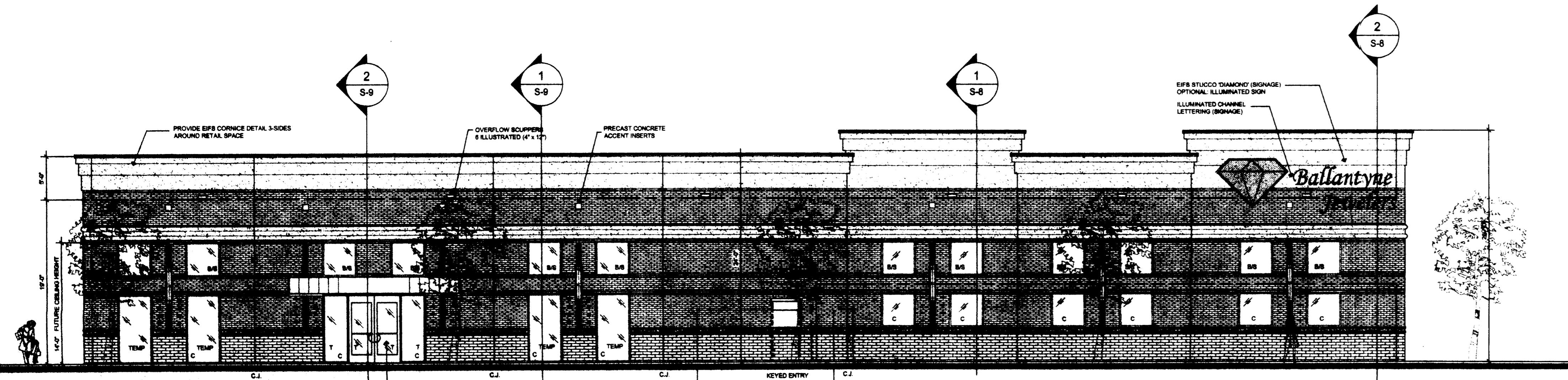
Attached is a survey showing a revised sidewalk location and planting strip width along a portion of North Community House Road. This survey reflects this new location and new planting strip width to address existing and proposed topographic constraints. Since this survey reflects minor changes, I am administratively approving this attachment to the above rezoning petition. Please use this attachment when evaluating requests for building permits and certificates of occupancy.



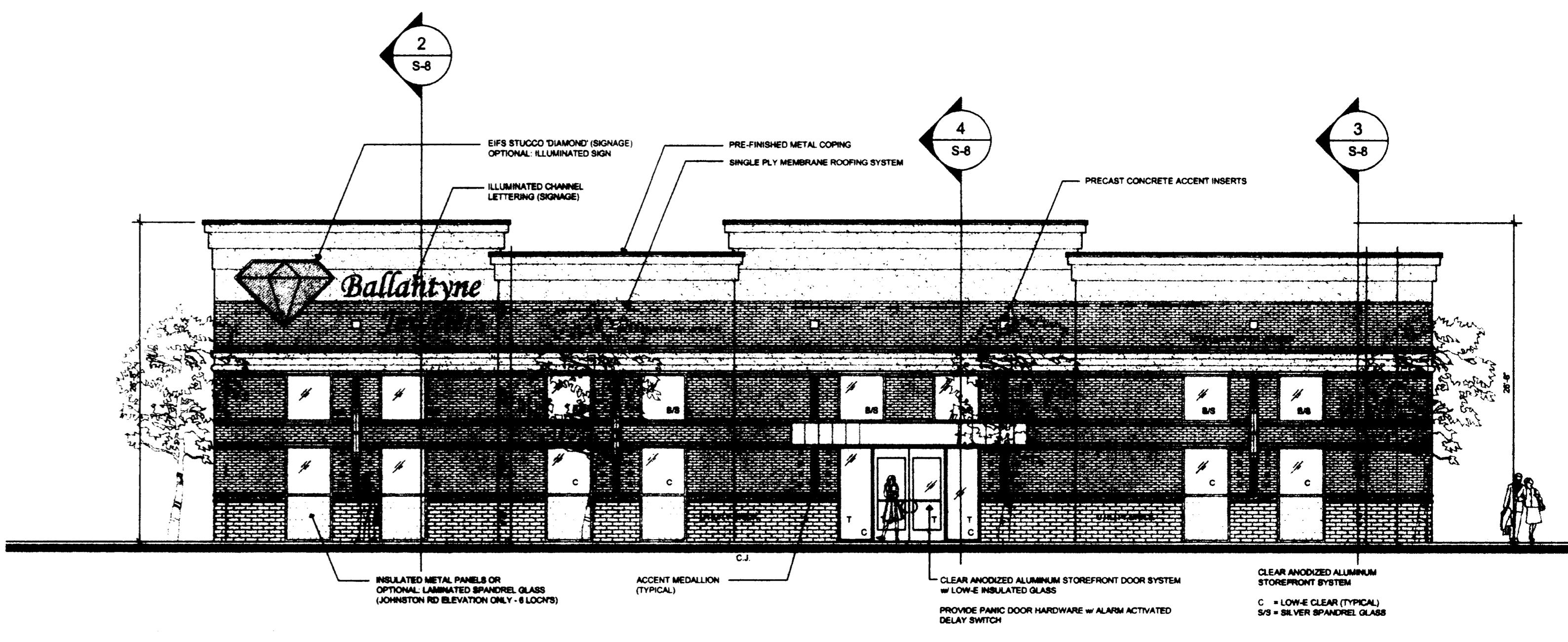
1 FRONT ELEVATION - Parking Lot Side



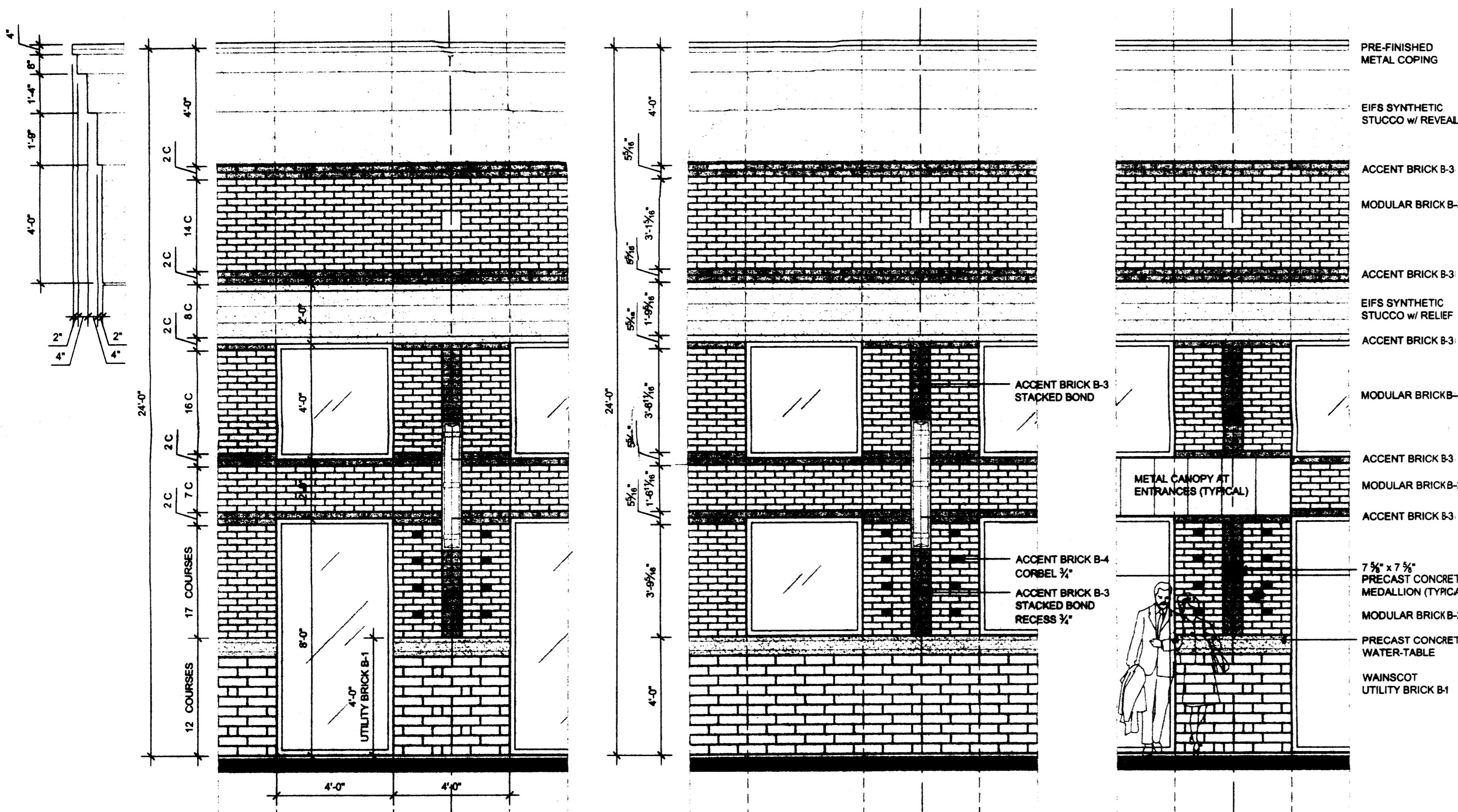
3 RIGHT SIDE ELEVATION - Parking Lot Side



2 REAR ELEVATION - Community House Road



4 LEFT SIDE ELEVATION - Johnston Road



5	10/17/05	Issued for Agency Review (City Planning)
4	10/11/05	Review Windows and Cornice per Owner Request
3	09/30/05	Review Windows and Cornice per Owner Request
2	09/09/05	Enlarge Windows / Brick Details / Cornice per ARC
1	08/29/05	Add Enlarged Brick Detail Elevations / Enlarge Windows
0	06/16/05	RELEASED FOR CONSTRUCTION
		H 06/01/05 Revised Per Agency Review Comments
		G 07/26/05 Revised Exterior Per Owner Request and City Planning
		F 07/01/05 ISSUED FOR SHELL PERMIT
		E 06/06/05 Revised Elevations Per Owner Request
		D 04/16/05 Revised Elevations Per Owner Request
		C 03/06/05 Revised Per Owner Request
		B 02/25/05 Revised Per Owner Request
		A 12/08/04 Issued For Pricing
		NO. DATE APP'D DESCRIPTION
		REVISIONS
		OWNERS APPROVAL: DATE: PART NO.: 2004/PN06_Torington/dwg/drawing.dwg
		DRW BY: MAJRD CHK BY: RAB DATE: 03/14/05 SCALE: AS NOTED

ATTACHED TO ADMINISTRATIVE

DATE: October 19, 2005

Ballantyne Jewelers at Torington Market
12335 North Community House Road
Charlotte (Mecklenburg Co.), North Carolina 28277

SC HONDROS & ASSOCIATES, INC.
PLANNING DESIGN CONSTRUCTION
POST OFFICE BOX 220426
CHARLOTTE, N.C. 28222-0426

SC HONDROS & ASSOCIATES, INC.
WEB SITE: WWW.SCHONDROS.COM
TEL.: (704) 377-4614 FAX: (704) 372-1252

Building Elevations

S-7

CHARLOTTE-MECKLENBURG
PLANNING COMMISSION

INTER-OFFICE COMMUNICATION

DATE: October 19, 2005

TO: Katrina Young
Interim Zoning Administrator

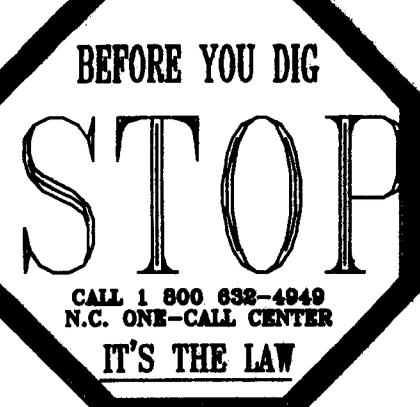
FROM: Debra Campbell
Planning Director

SUBJECT: Administrative approval for 99-88 (Trammell-Crow Wood Partners)

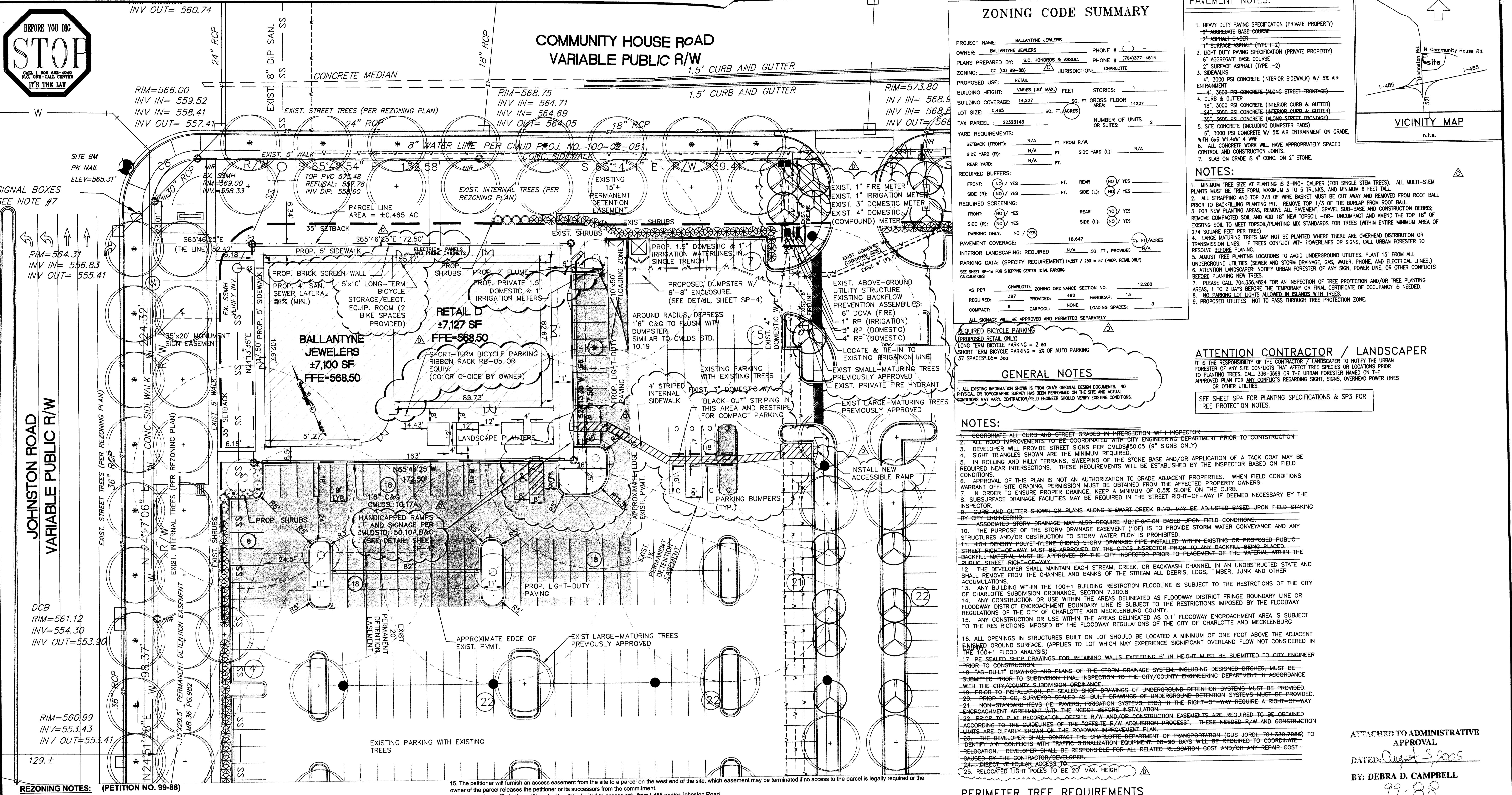
Attached are revised elevations, and floor plan for the Ballantyne Jewelers that will be located on the above mentioned site. The Planning Staff has reviewed these plans and found that they meet the requirements of the conditional rezoning plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note: All other conditional notes as shown on the administrative approval dated June 24, 2002 still apply. This approval does not include signage approval.

Note the landscape plan and site layout plan approved administratively August 3, 2005 still applies.



**JOHNSTON ROAD
VARIABLE PUBLIC R/W**



REZONING NOTES: (PETITION NO. 99-88)

1. Development of the site will be controlled by the standards depicted on this site plan and by the standards of the City of Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the general arrangement of proposed uses on the site, but the exact details of configuration, placement, and size of individual site elements may be modified within the limits prescribed by the ordinance during the design development and construction phases. The proposed development is to extend Johnston Road.

2. The petition may develop for any use allowed in the CC district in accordance with the standards of that district and the restrictions of this site plan. The petition may develop for any use allowed in the NC 51 district in accordance with the zoning regulations of Johnston Road.

3. The petition may develop for any use allowed in the NC 51 district from the site to other site elements and uses and to arrange spaces to focus on the intersection area. Further, accommodate additional landscaping and pedestrian facilities along Johnston Road.

4. The petition may place retail uses within office buildings on the site as well as within the retail center in order to further the mixed uses of the site. Retail floor and located within office buildings will not be counted toward the total retail floor area located elsewhere on the site.

5. Stormwater detention facilities will be designed to meet the applicable standards of Charlotte-Mecklenburg Stormwater services. No stormwater detention will occur within any required stormwater detention areas. In the petitioner's intent to reduce the existing lake along the Johnston portion of the site with a water quality improvement project, the Johnston portion of the site will be reduced to a water feature.

6. The petitioner will dedicate a minimum of 100' of right-of-way for Johnston Road and for the future of Community House Road. The exact alignment for the Community House Road will be determined in concert with the City of Charlotte and with the property owners east of the site.

7. The petitioner will provide for the connection of Johnston Road to the new section of Community House Road as shown on the technical drawings. The petitioner will provide for the connection of Johnston Road to the new section of Community House Road as shown on the technical drawings. The petitioner will provide for the connection of Johnston Road to the new section of Community House Road as shown on the technical drawings.

8. Any detached lighting on the site will be limited to 10' in height.

9. Signage will be permitted in accordance with applicable zoning standards, and obscured signs will be limited to ground mounted signs.

10. All windows will be screened with a solid enclosure with the zoning ordinance.

11. Screening will conform to the applicable standards of the zoning ordinance.

12. All dumpsters on site will be screened with a solid enclosure with the zoning ordinance.

13. The petitioner will design and develop a formalized open space element of at least 1,500 SF within the retail portion of the site as pedestrian space.

14. No restaurants with drive through service or gasoline/convenience facilities may be located on the site.

ZONING CODE SUMMARY

PROJECT NAME:	BALLANTYNE JEWELERS	PHONE #:	(704) 377-4614
OWNER:	BALLANTYNE JEWELERS	PHONE #:	(704) 377-4614
ZONING:	CC (CD 59-90)	JURISDICTION:	CHARLOTTE
PROPOSED USE:	RETAIL	FEET:	1
BUILDING HEIGHT:	VARIES (MAX)	STORIES:	1
BUILDING COVERAGE:	VARIES (MAX)	FT. AREA:	14227
LOT SIZE:	0.445	SO. FT. ACRES:	.004
NUMBER OF UNITS:	2	NUMBER OF SUITES:	2

LANDSCAPING REQUIREMENTS:

FRONT YARD: N/A FT. FROM R/W.

SIDE YARD (R): N/A FT. SIDE YARD (L): N/A FT.

Rear Yard: N/A FT.

REQUIRED BUFFERS:

FRONT: (R) YES FT. REAR: (L) YES FT.

SIDE (R) YES FT. SIDE (L) YES FT.

REQUIRED SCREENING:

FRONT: (R) YES FT. REAR: (L) YES FT.

SIDE (R) YES FT. SIDE (L) YES FT.

PARKING ONLY: NO / YES

PARKING COVERAGE: 18.847 ACRES

INTERIOR LANDSCAPING: REQUIRED 14,227 / 250 (PROP. RETAIL ONLY)

SET SHEET SP-14 FOR SHOPPING CENTER PARKING

AS PER CHARLOTTE ZONING ORDINANCE SECTION NO. 12.202

REQUIRED: 387 PROVIDED: 462 HANDCAP: 13

COMPL: 6 CARPOOL: NONE LOADING SPACES: 3

All signage will be approved and permitted separately

RELIED ON CYCLE PARKING

PROPOSED CYCLE PARKING = 24 OF AUTO PARKING

SPACES=100

EXIST. CYCLE PARKING = 24 OF AUTO PARKING

SPACES=100

ATTENTION CONTRACTOR / LANDSCAPER

IF THE RESPONSIBILITY OF THE CONTRACTOR IS UNKNOWN TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR

TO PLANTING. THE CONTRACTOR MUST CALL THE URBAN FORESTER NAME AND ADDRESS APPROVED BY THE CONTRACTOR FOR CONCERN REGARDING SOIL, GROWTH, OVERHEAD POWER LINES OR OTHER UTILITIES.

SEE SHEET SP4 FOR PLANTING SPECIFICATIONS & SP3 FOR

TREE PROTECTION NOTES.

GENERAL NOTES

ALL EXISTING INFORMATION SHOWN IS FROM DAY'S ORIGINAL DESIGN DOCUMENTS. NO HYDRAULIC, SEISMIC, OR LOAD ANALYSIS HAS BEEN CONDUCTED. DESIGNERS MAY WANT CONTRACTOR/FIELD ENGINEER SHADWY X997 EXISTING CONDITIONS.

1. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS SHALL BE TREE FORM, MAXIMUM 1 TO 5 TRUNKS, AND 8 FT. TALL. NO CUT ANGLES ARE TO BE MADE FROM ROOT BALL.

2. ALL STUMP AND WOODY TISSUE MUST BE CUT AWAY AND REMOVED FROM ROOT BALL.

3. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONCRETE DEBRIS.

4. DENSIFY SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITH ENTIRE MINIMUM AREA OF 15' X 15').

5. NO PLANTING IS TO BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR

TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES, CALL URBAN FORESTER TO

RESOLVE BEFORE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL

UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).

6. PLANTING IS TO BE PLANTED IN SOIL THAT IS NOT COMPACTED. NOTIFY URBAN FORESTER OF ANY SOIL, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.

7. NO PARKING LOT LIGHTS ALLOWED IN PLANTING AREAS.

8. PROPOSED UTILITIES NOT TO PASS THROUGH TREE PROTECTION ZONE.

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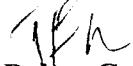
84. PROPOSED UTILITIES NOT

**CHARLOTTE - MECKLENBURG
PLANNING COMMISSION**

INTER - OFFICE COMMUNICATION

DATE: August 3, 2005

TO: **Katrina Young**
Interim Zoning Administrator

FROM: 
Debra Campbell
Planning Director

SUBJECT: Administrative approval for 99-88 (Trammell-Crow Wood Partners)

Attached are elevations, landscaping and site layout plans for the Ballantyne Jewelers that will be located on the above mentioned site. The Planning Staff has reviewed these plans and found that they meet the requirements of the conditional rezoning plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note: All other conditional notes as shown on the administrative approval dated June 24, 2002 still apply. This approval does not include signage approval.