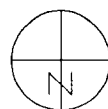
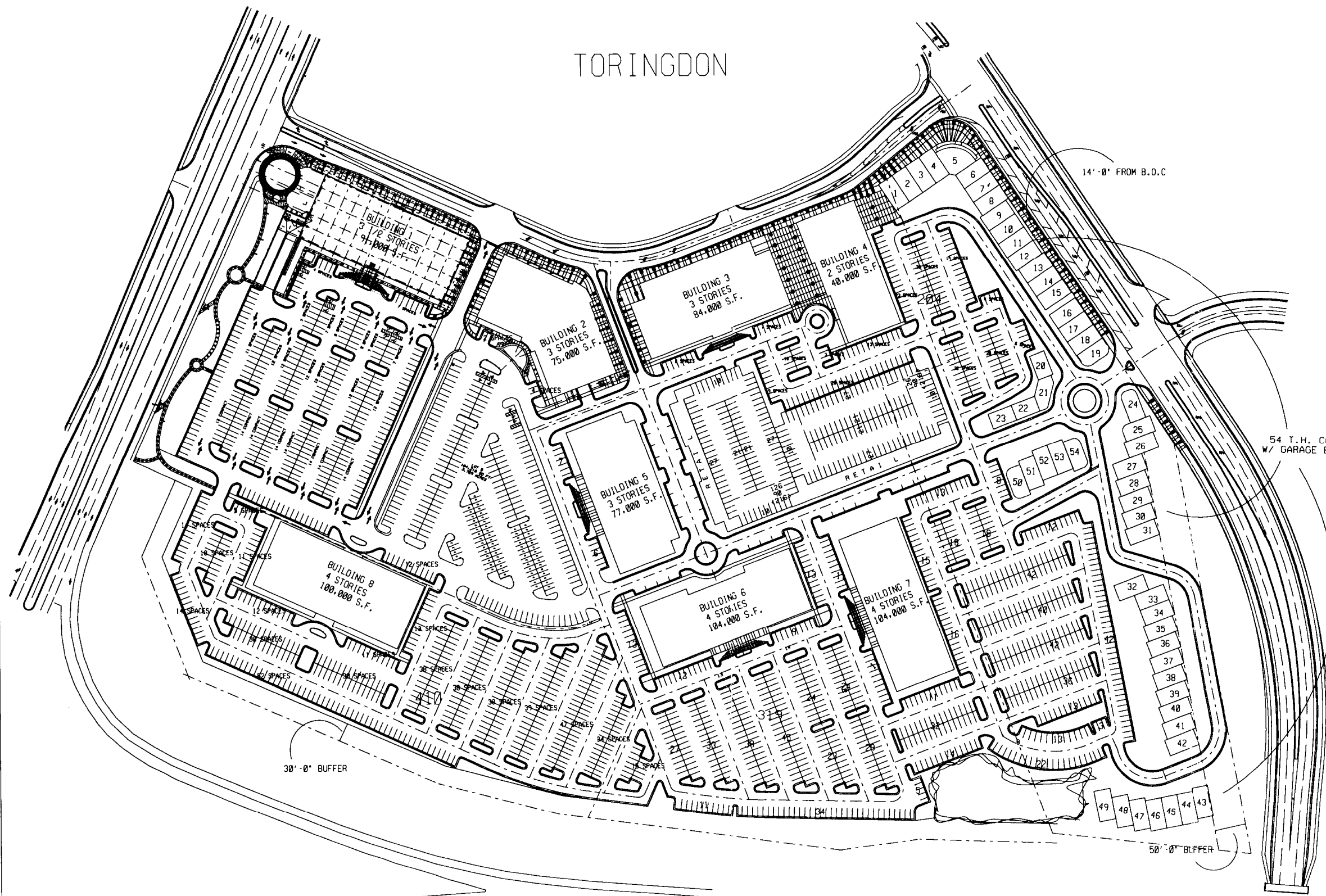


CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION



TORINGDON



1 MASTER PLAN
A-00 SCALE: 1" = 60' - 0"

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: *December 10, 2002*
BY: MARTIN R. CRAMTON, JR.

99-88



TO: Robert Brandon
Zoning Administrator

DATE: December 10, 2002

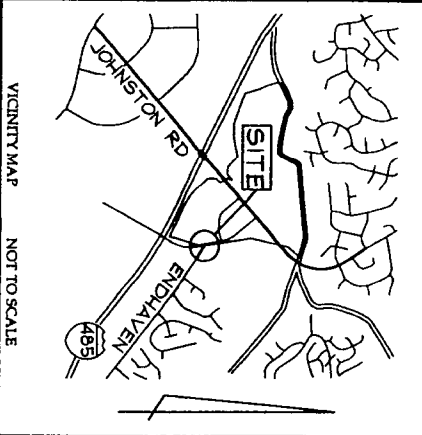
FROM: *MR*
Martin R. Cramton, Jr.
Planning Director

SUBJECT: Administrative approval for 99-88 (Trammell-Crow Wood Partners)

Attached is the revised site plan for rezoning petition 99-88 Trammell-Crow Wood Partners. This plan includes revisions to the building and parking layout only. Since these changes are minor, I am administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

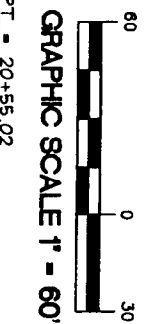
Note: All other conditional notes as shown on the administrative approval dated June 24, 2002 still apply.

*See Administrative Packet
December 12, 2002
~~June 24, 2002~~ for conditional
Notes*



VICINITY MAP NOT TO SCALE

PRELIMINARY PLAT
 NOT FOR RECORDATION,
 CONVEYANCES, OR SALES



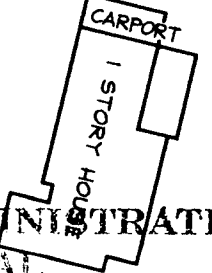
GRAPHIC SCALE 1" = 60'

ET - 201551.02

5' CONCRETE SIDEWALK
 5' GRASS STRIP
 5' CONCRETE SIDEWALK
 3' GRASS STRIP

99-88

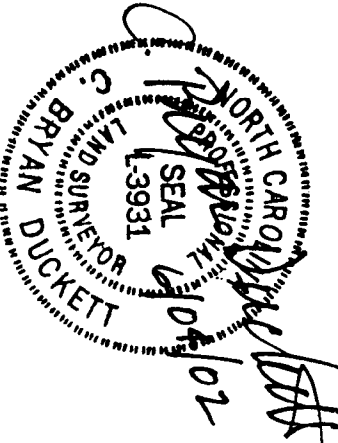
NOM OR FORMERLY
 ROMAN CATHOLIC DIOCESE
 DEED BOOK 6539 PAGE 366
 TAX PARCEL 223-481-03



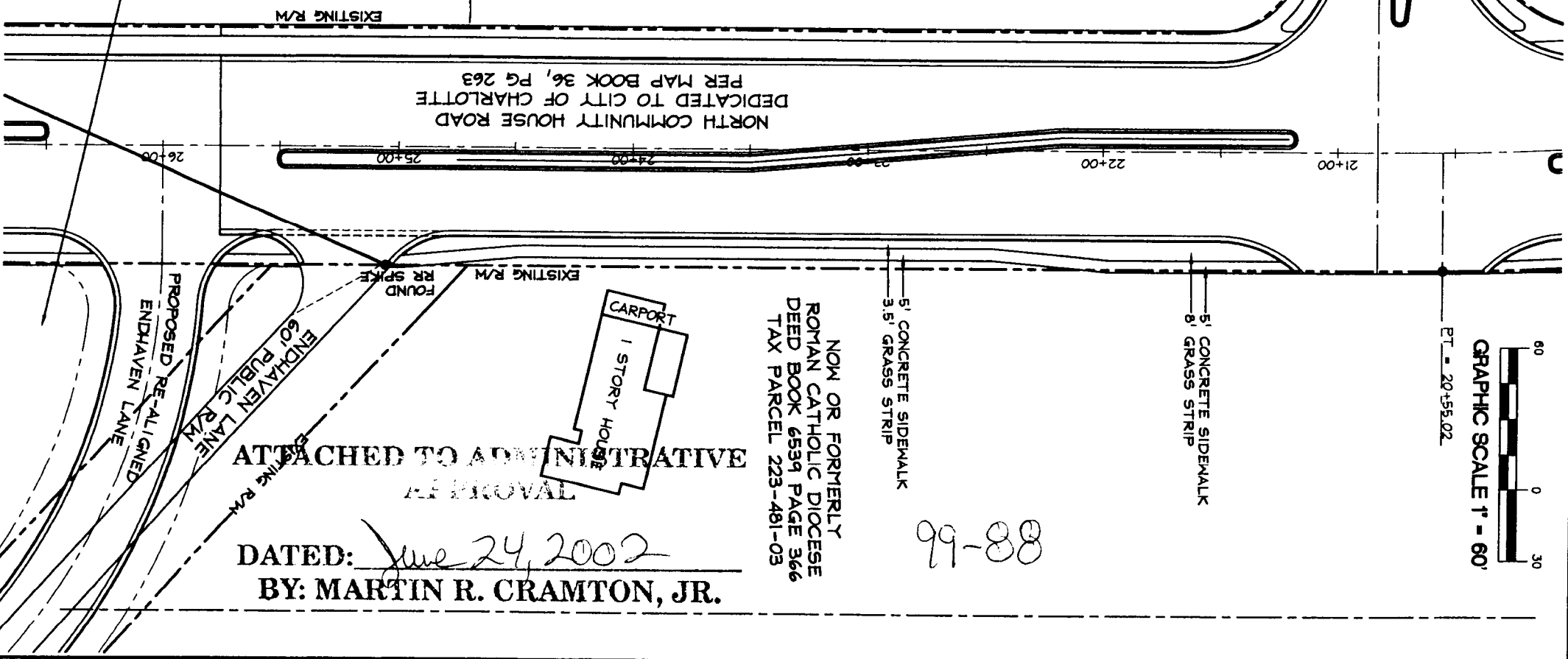
ATTACHED TO ADMINISTRATIVE
 APPROVAL

DATED: June 24, 2002
 BY: MARTIN R. CRAMTON, JR.

LOT 7
 TORINGDON DEVELOPMENT
 MAP BOOK 36 PAGE 930
 362,574 SQ FT
 8.323 ACRES



NOM OR FORMERLY
 WILLIAM TROTTER, SR.
 DEED BOOK 5985 PAGE 680
 TAX PARCEL 223-222-98



REVISED SIDEWALK LOCATION
 TORINGDON DEVELOPMENT
 NORTH COMMUNITY HOUSE ROAD
 AT ENDAHVEN LANE
 MECKLENBURG COUNTY - NORTH CAROLINA



THE SURVEY
 COMPANY, INC.

4105-B STUART ANDREW BLVD
 CHARLOTTE, NC 28217
 (704) 561-9970 (704) 561-9972 FAX

**CHARLOTTE - MECKLENBURG
 PLANNING COMMISSION**
INTER-OFFICE COMMUNICATION

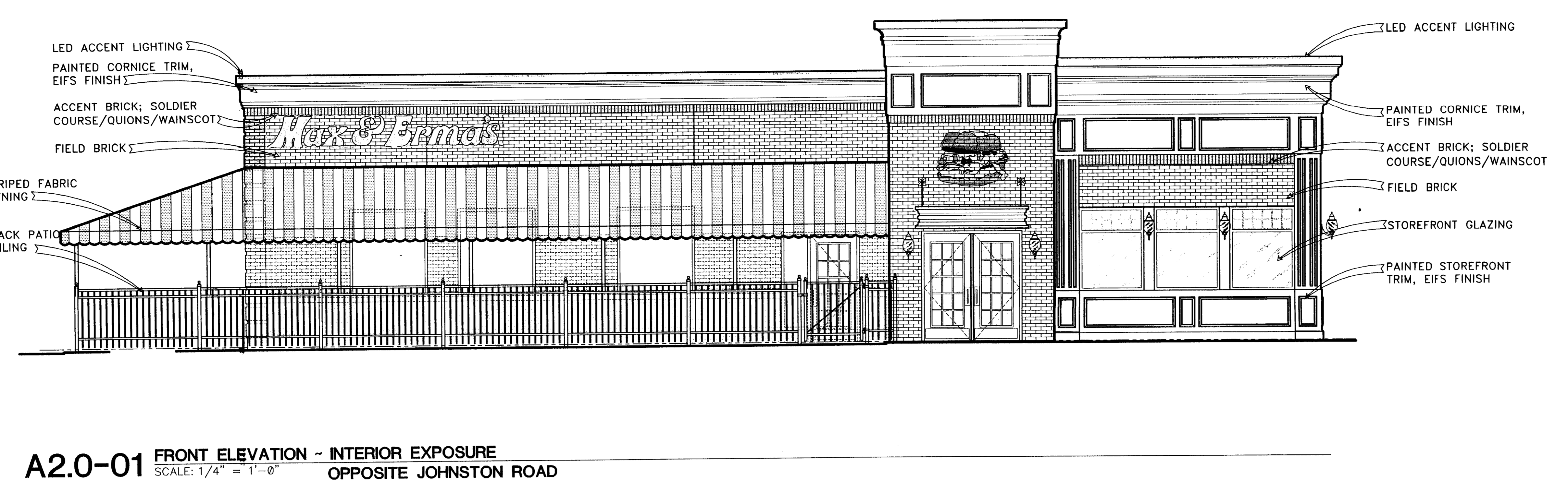
TO: Robert Brandon
 Zoning Administrator

FROM: Martin Cramton
 Director of Planning

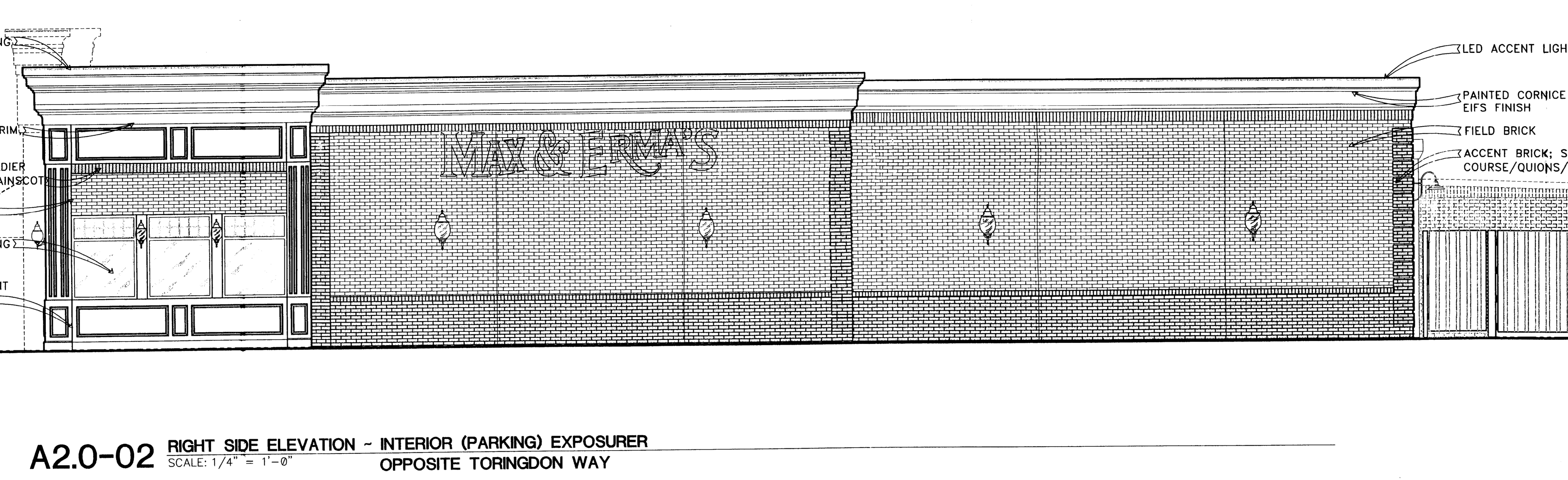
DATE: June 24, 2002

SUBJECT: Administrative approval for 99-88 (Trammell-Crow Wood Partners)

Attached is a survey showing a revised sidewalk location and planting strip width along a portion of North Community House Road. This survey reflects this new location and new planting strip width to address existing and proposed topographic constraints. Since this survey reflects minor changes, I am administratively approving this attachment to the above rezoning petition. Please use this attachment when evaluating requests for building permits and certificates of occupancy.

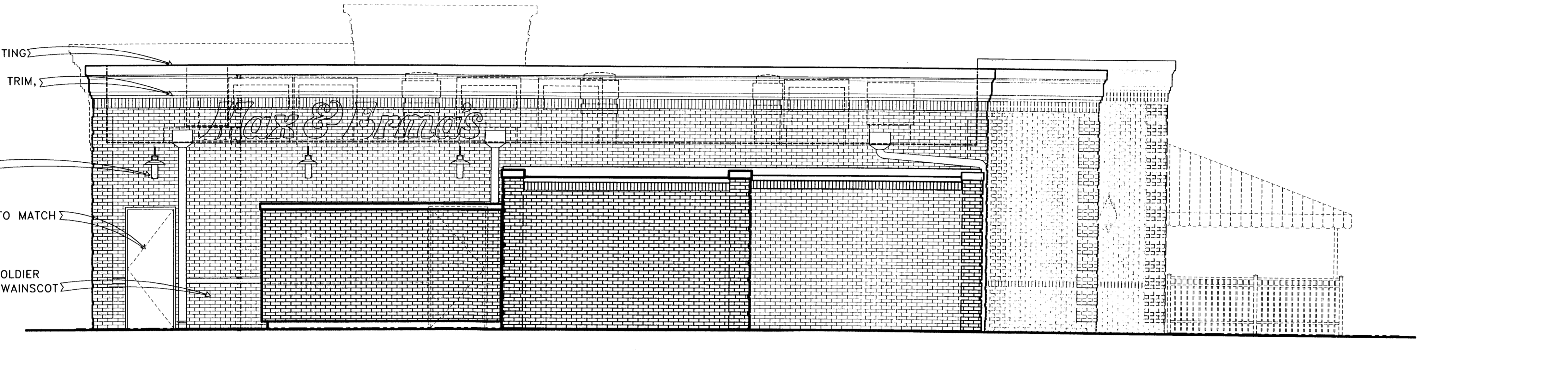


A2.0-01 FRONT ELEVATION - INTERIOR EXPOSURE
SCALE: 1/4" = 1'-0"
OPPOSITE JOHNSTON ROAD

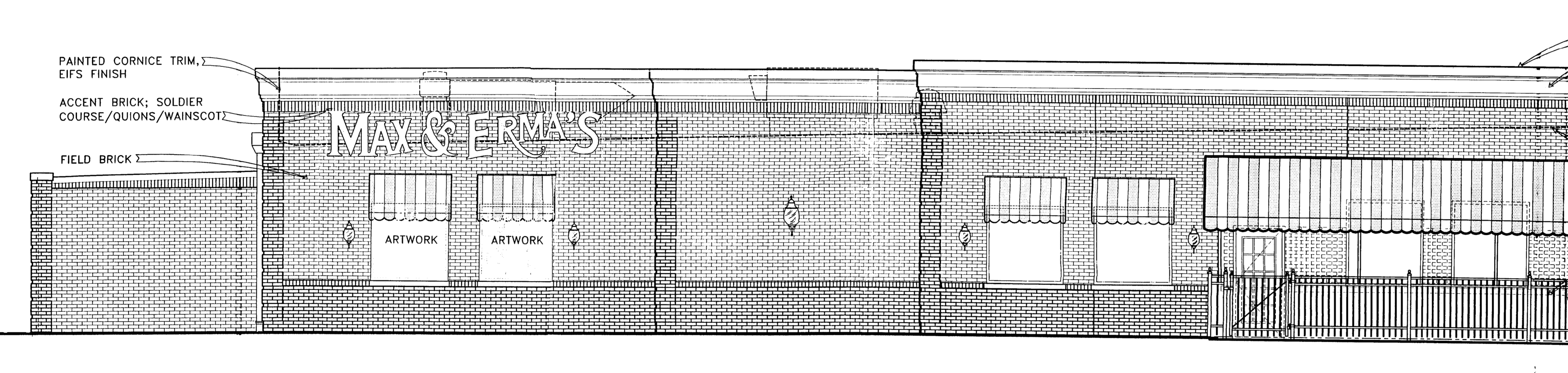


A2.0-02 RIGHT SIDE ELEVATION - INTERIOR (PARKING) EXPOSURE
SCALE: 1/4" = 1'-0"
OPPOSITE TORINGDON WAY

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: October 17, 2003
BY: MARTIN R. CRAMTON, JR.
99-88

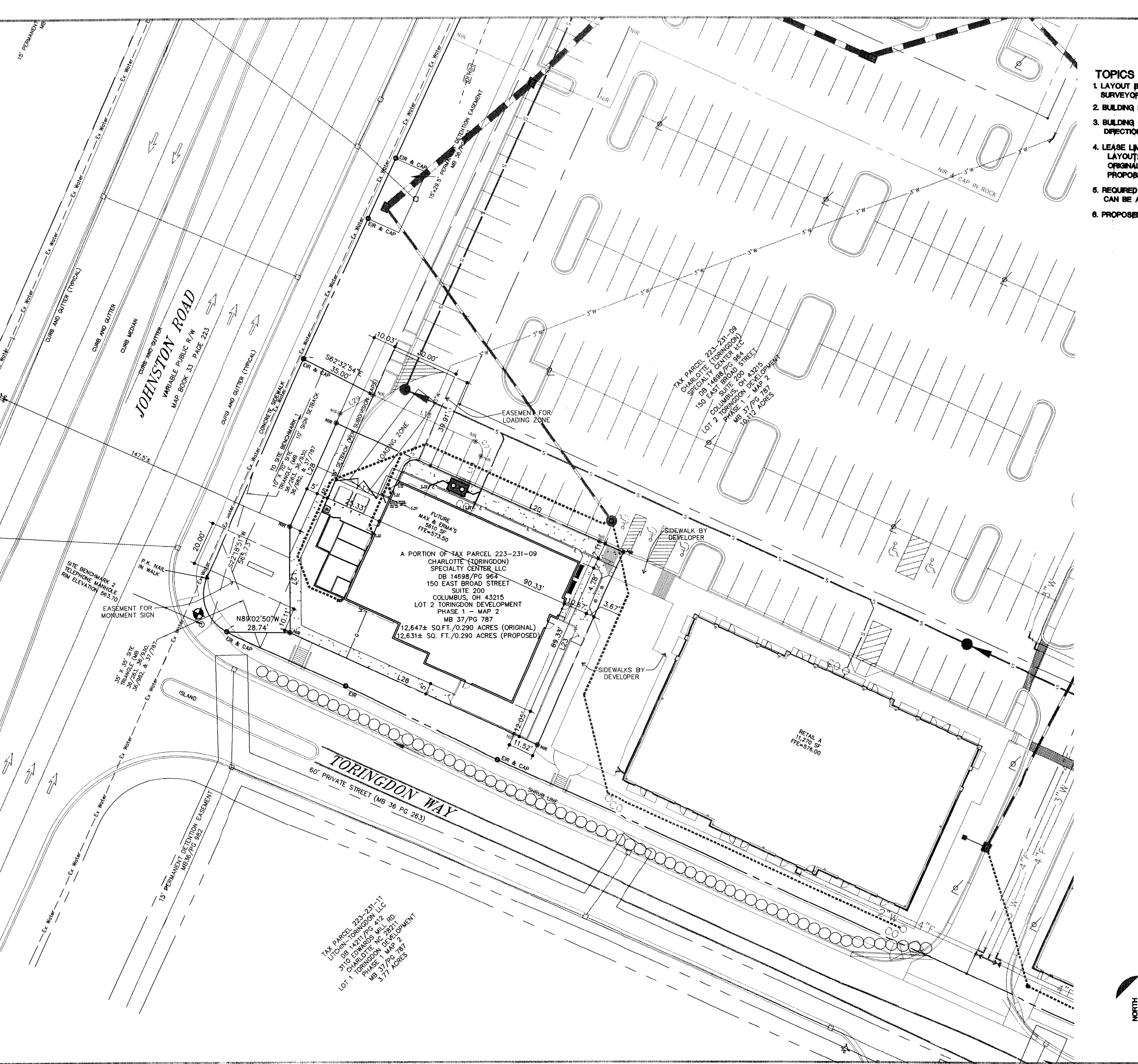


A2.1-01 REAR ELEVATION - JOHNSTON ROAD EXPOSURE
SCALE: 1/4" = 1'-0"



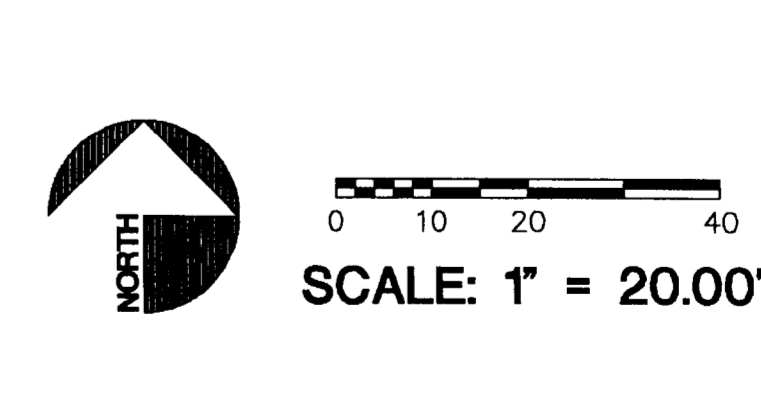
A2.1-02 LEFT SIDE ELEVATION - TORINGDON WAY EXPOSURE
SCALE: 1/4" = 1'-0"

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: October 17, 2003
BY: MARTIN R. CRAMTON, JR.
99-88



- TOPICS OF DISCUSSION 10/09/03**
- LAYOUT BASED ON ELECTRONIC DRAWINGS RECEIVED FROM SURVEYOR AND DEVELOPER.
 - BUILDING FOOTPRINT UPDATED.
 - BUILDING ORIENTATION CHANGED PER CLIENT DIRECTION.
 - LEASE LIMITS WERE ADJUSTED TO ACCOMMODATE NEW LAYOUT:
ORIGINAL LEASE AREA: 12,847 SQ. FT. (0.29 AC.)
PROPOSED LEASE AREA: 12,931 SQ. FT. (0.29 AC.)
 - REQUIRED BY 50' LOADING ZONE SHOWN ON PLAN CAN BE ACCESSED BY DAMAGE TRUCK AND SEMI.
 - PROPOSED UTILITY LOCATIONS SHOWN.

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: October 17, 2003
BY: MARTIN R. CRAMTON, JR.
99-88



CHARLOTTE-MECKLENBURG PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

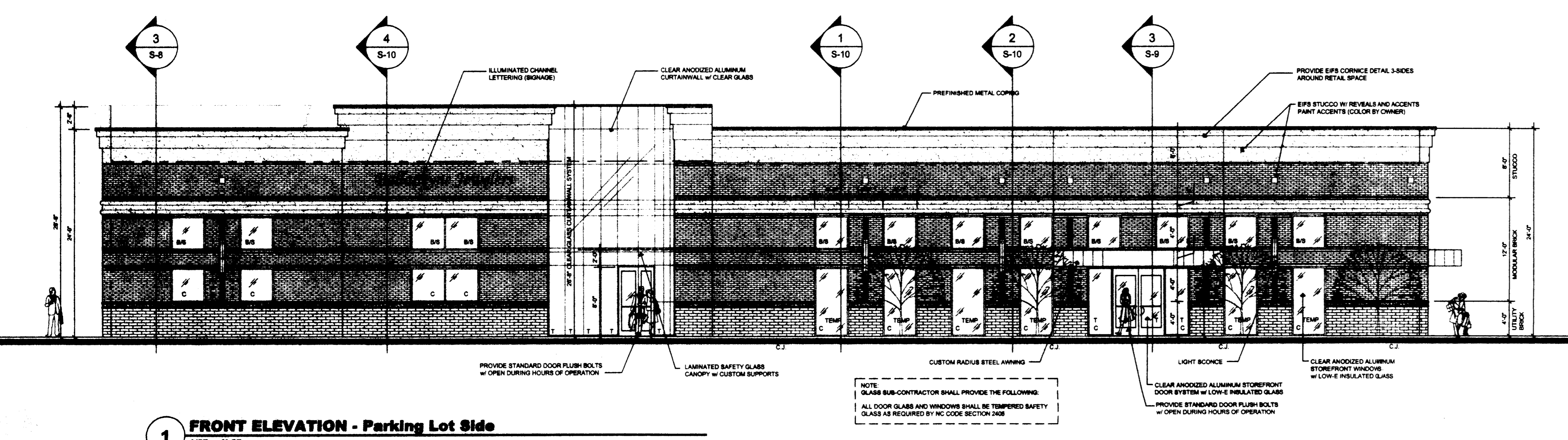
DATE: October 17, 2003

TO: Robert Brandon, Zoning Administrator
FROM: Martin R. Cramton, Jr., Planning Director

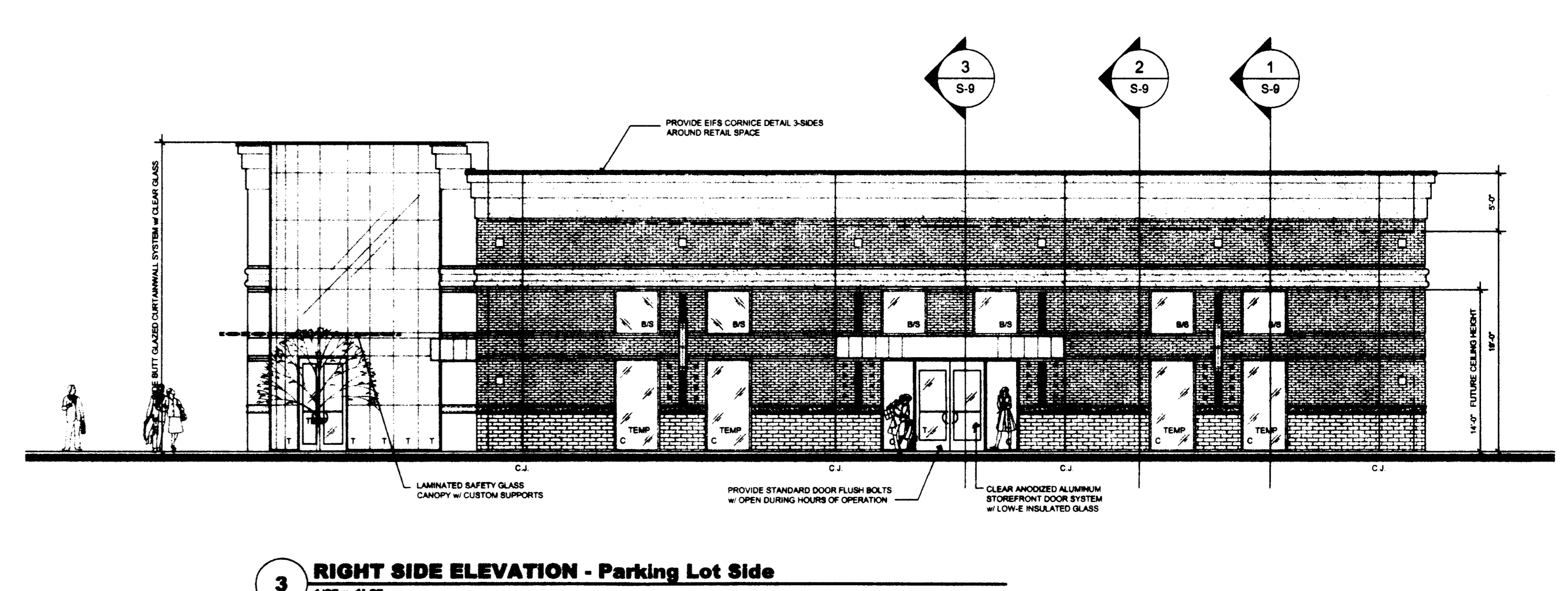
SUBJECT: Administrative approval for 99-88 (Trammell-Crow Wood Partners) Max and Erma's.

Attached are the site layout plan and elevations for the Max and Erma's at this location. Since these plans meet the requirements of the conditional site plan, I am administratively approving these specific plans. Please use these plans when evaluating requests for building permits and certificates of occupancy.

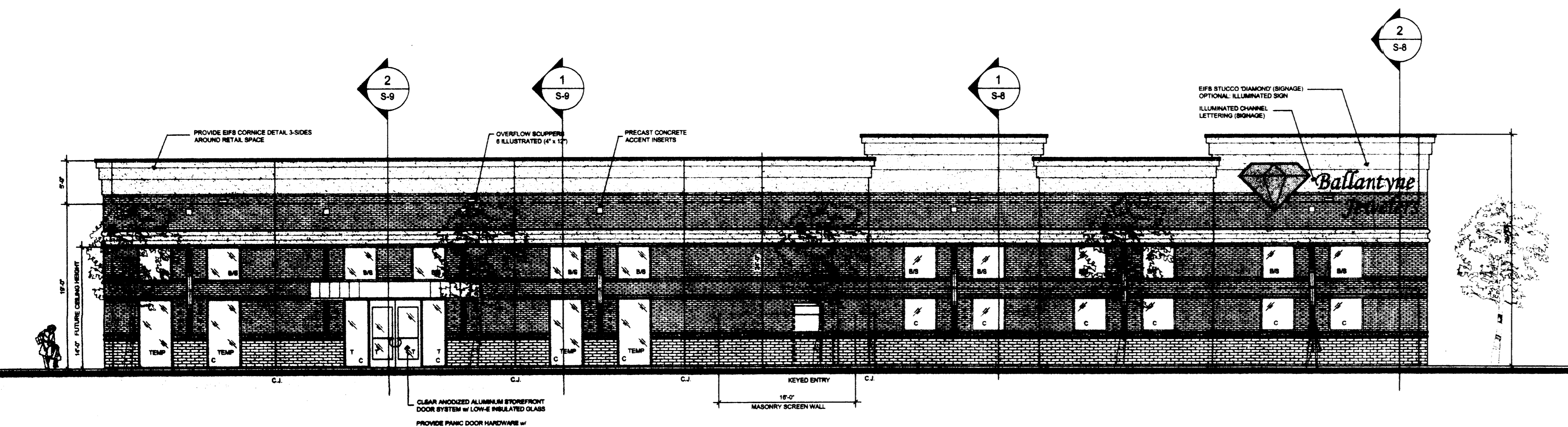
Note: All other conditional notes as shown on the originally approved plan still apply.



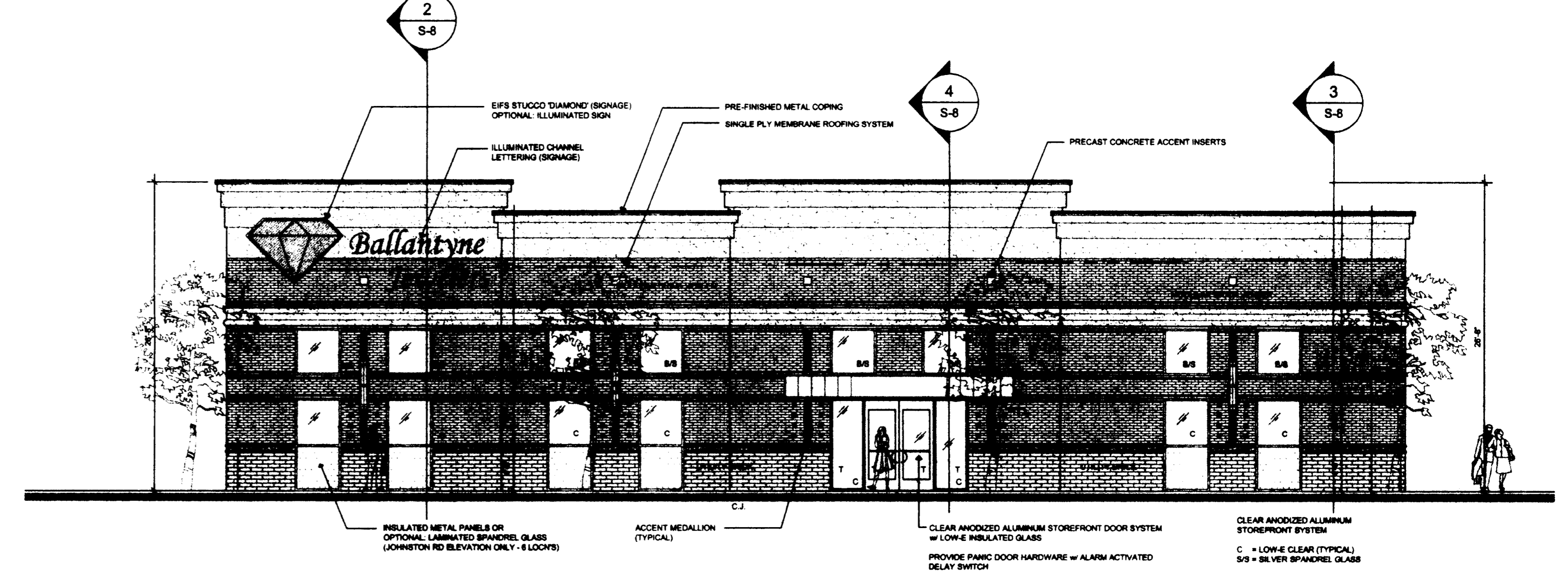
1 FRONT ELEVATION - Parking Lot Side
1/8" = 1'-0"



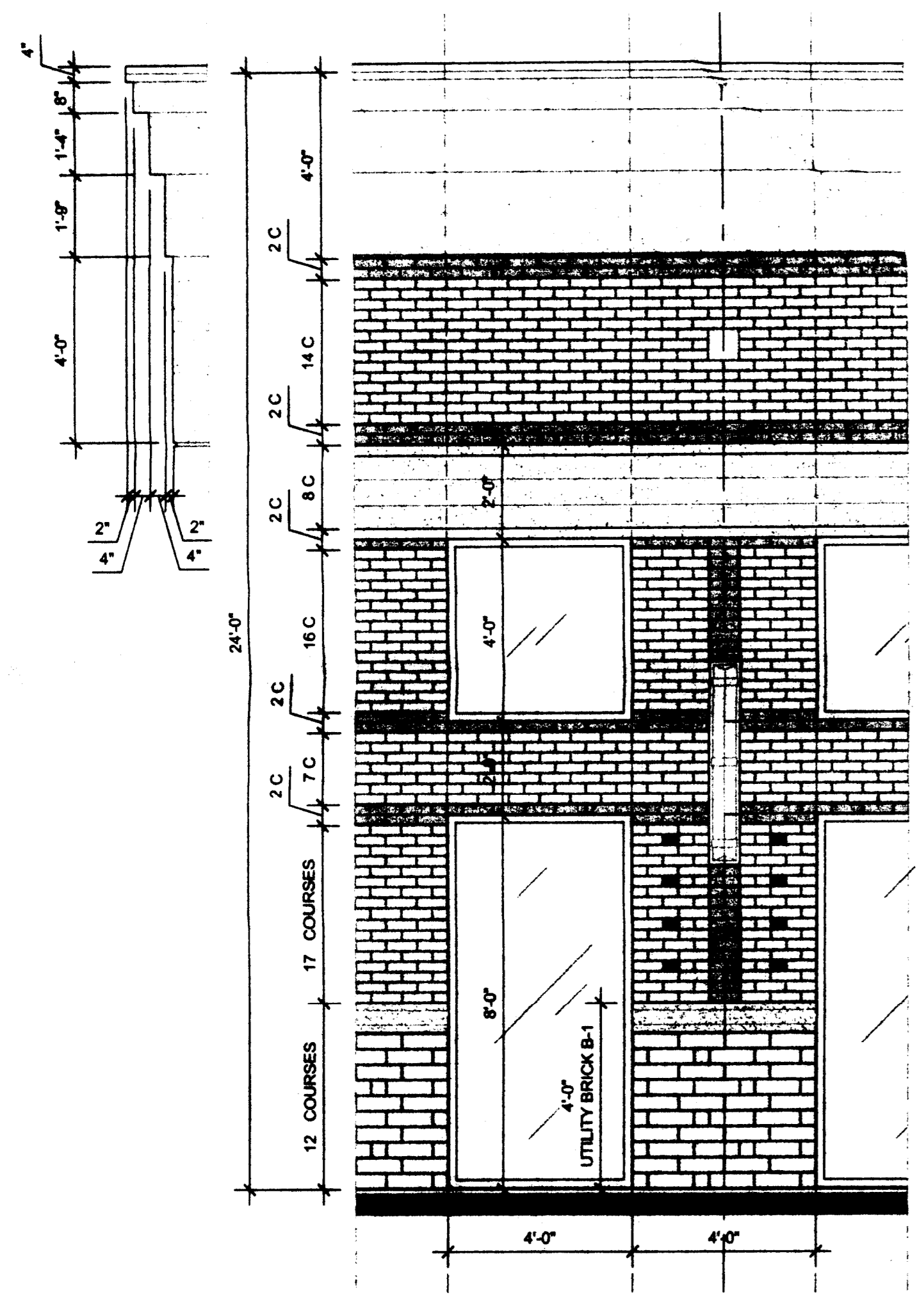
3 RIGHT SIDE ELEVATION - Parking Lot Side
3/8" = 1'-0"



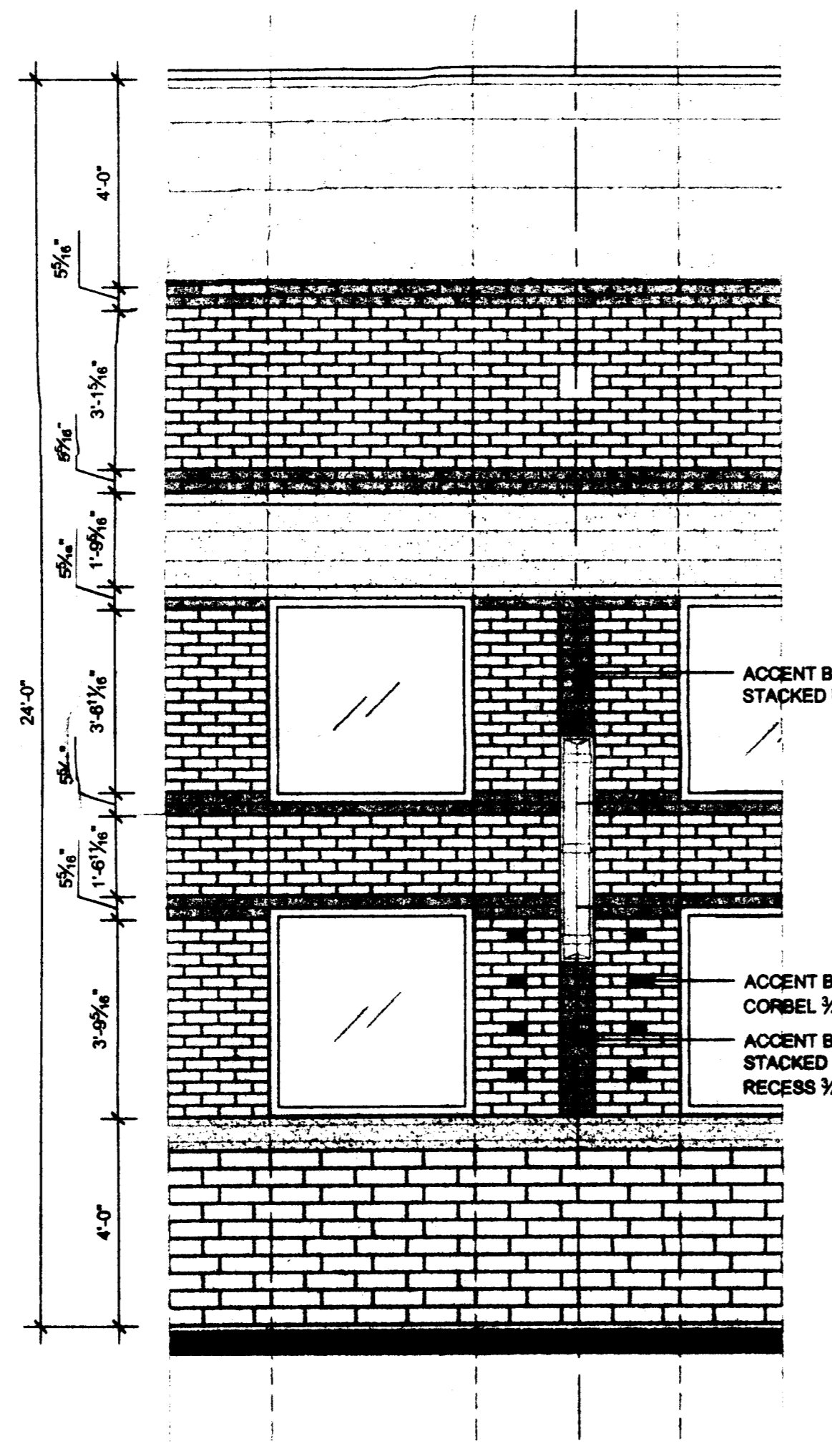
2 REAR ELEVATION - Community House Road
1/8" = 1'-0"



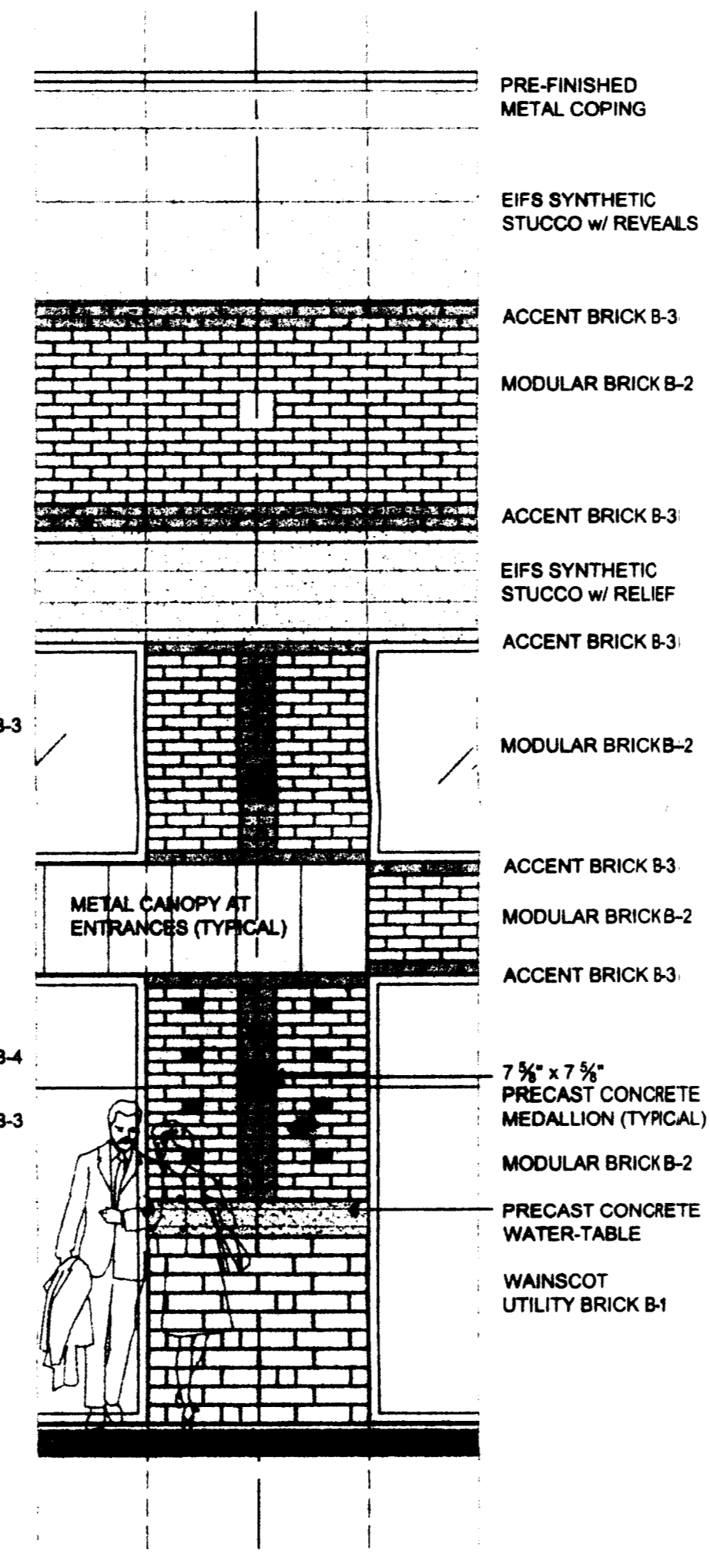
4 LEFT SIDE ELEVATION - Johnston Road
3/8" = 1'-0"



5 DETAIL - Brick at Retail Windows
3/8" = 1'-0"

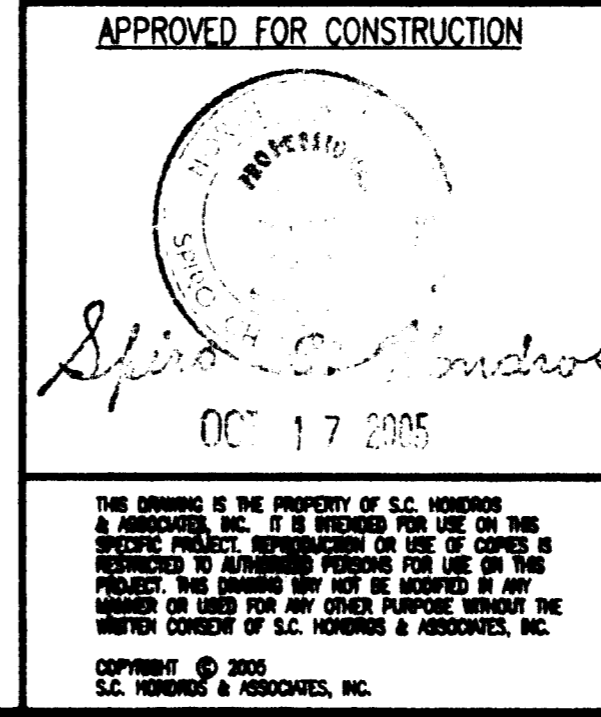


6 DETAIL - Brick at Retail Windows
3/8" = 1'-0"



7 DETAIL - Brick at Medallions
3/8" = 1'-0"

NO.	DATE	APPR'D	DESCRIPTION
5	10/17/05		Issued for Agency Review (City Planning)
4	10/11/05		Revise Windows and Cornice per Owner Request
3	09/30/05		Revise Windows and Cornice per Owner Request
2	09/09/05		Enlarge Windows / Brick Details / Cornice per ARC
1	08/29/05		Add Enlarged Brick Detail Elevations / Enlarge Windows
0	08/18/05		RELEASED FOR CONSTRUCTION
H	08/01/05		Revised Per Agency Review Comments
G	07/26/05		Revised Exterior Per Owner Request and City Planning
F	07/01/05		ISSUED FOR SHELL PERMIT
E	06/06/05		Revised Elevations Per Owner Request
D	04/18/05		Revised Elevations Per Owner Request
C	03/08/05		Revised Per Owner Request
B	02/25/05		Revised Per Owner Request
A	12/08/04		Issued For Pricing



ATTACHED TO ADMINISTRATIVE APPROVAL
DATE: October 19, 2005

Ballantyne Jewelers at Torington Market
12335 North Community House Road
Charlotte (Mecklenburg Co.), North Carolina 28277

SC HONDROS & ASSOCIATES, INC.
PLANNING DESIGN CONSTRUCTION
POST OFFICE BOX 220458
CHARLOTTE, N.C. 28222-0458
TEL: (704) 377-4614 FAX: (704) 372-1252

SC HONDROS & ASSOCIATES, INC.
WWW.SCHONDROS.COM

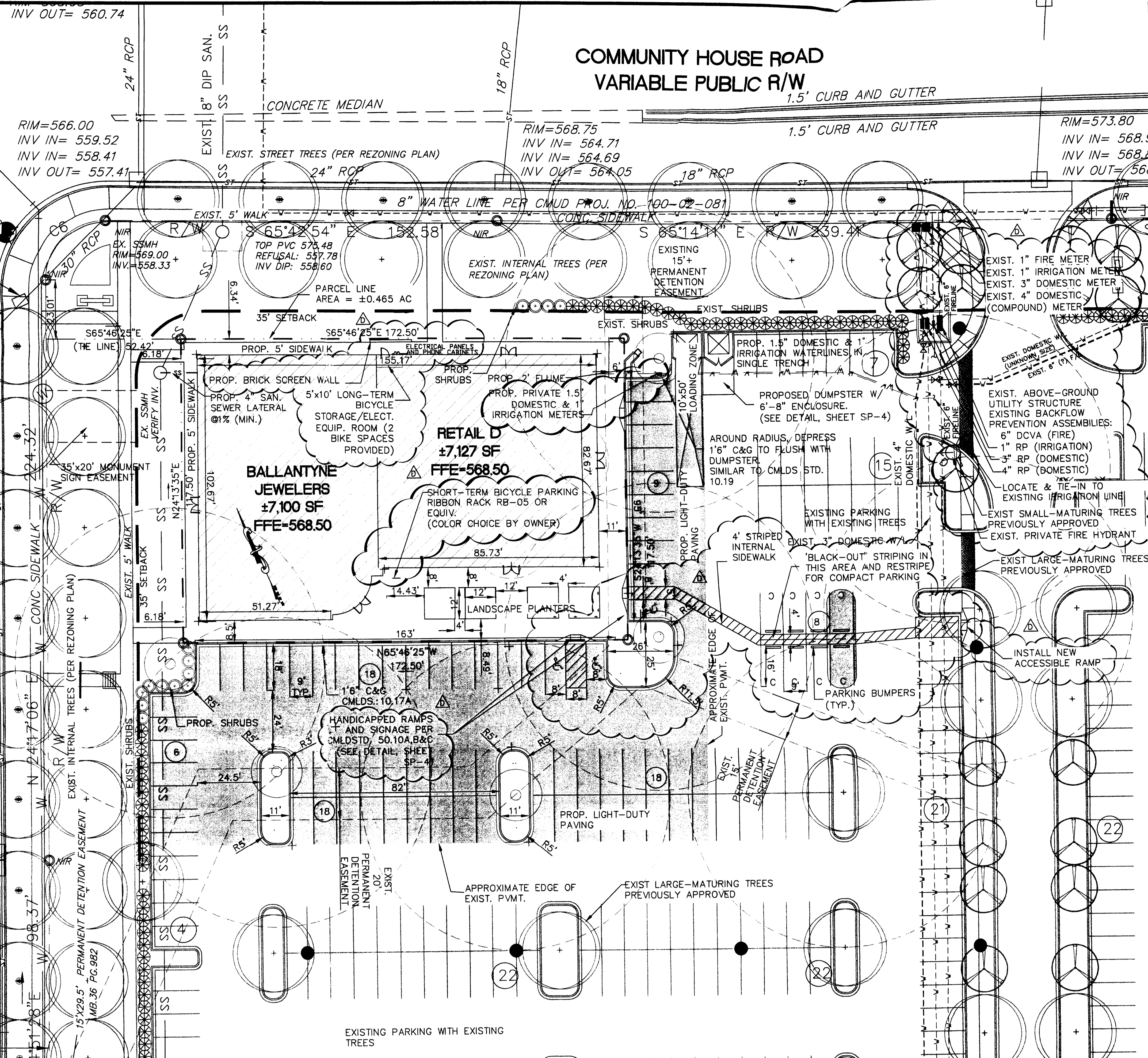
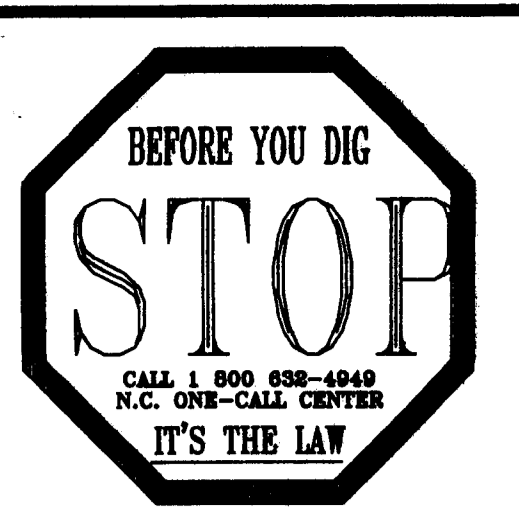
Building Elevations

S-7 OF -

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION
INTER - OFFICE COMMUNICATION

DATE: October 19, 2005
TO: Katrina Young, Interim Zoning Administrator
FROM: Debra Campbell, Planning Director
SUBJECT: Administrative approval for 99-88 (Trammell-Crow Wood Partners)

Attached are revised elevations, and floor plan for the Ballantyne Jewelers that will be located on the above mentioned site. The Planning Staff has reviewed these plans and found that they meet the requirements of the conditional zoning plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.
Note: All other conditional notes as shown on the administrative approval dated June 24, 2002 still apply. This approval does not include signage approval.
Note the landscape plan and site layout plan approved administratively August 3, 2005 still applies.



ZONING CODE SUMMARY table with columns for PROJECT NAME, OWNER, PLANS PREPARED BY, PROPOSED USE, BUILDING HEIGHT, etc.

PAVEMENT NOTES, VIGNICITY MAP, and NOTES sections.

JOHNSTON ROAD VARIABLE PUBLIC R/W, REZONING NOTES (PETITION NO. 99-08)

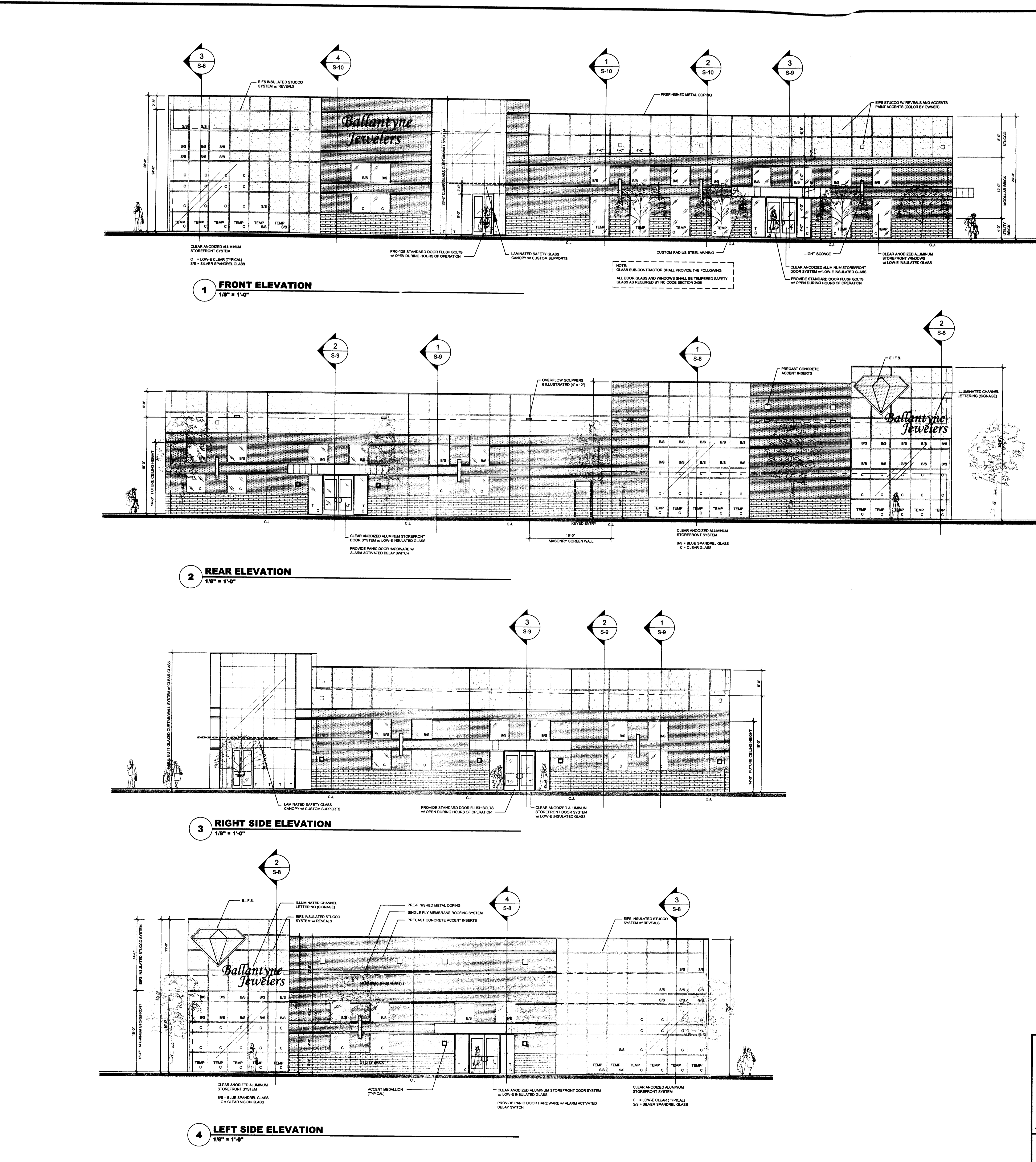
GENERAL NOTES, ATTENTION CONTRACTOR / LANDSCAPER, and NOTES sections.

PERIMETER TREE REQUIREMENTS, PLANT SCHEDULE table, and APPROVED FOR CONSTRUCTION stamp.

- 1. Development of the site will be controlled by the standards depicted on this site plan... 2. The site may be developed for any use... 3. Access to the site will be provided by connections to the new Johnston Road...

PERIMETER TREE REQUIREMENTS table with columns for TREE TYPE, SIZE, and QUANTITY.

PLANT SCHEDULE table and APPROVED FOR CONSTRUCTION stamp with signature.



APPROVED FOR CONSTRUCTION stamp and REVISIONS table with columns for NO., DATE, and APPD.

Ballantyne Jewelers project information, SC HONDROS & ASSOCIATES, INC. logo, and Building Elevations section.

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: August 3, 2005

TO: Katrina Young
Interim Zoning Administrator


FROM: Debra Campbell
Planning Director

SUBJECT: Administrative approval for 99-88 (Trammell-Crow Wood Partners)

Attached are elevations, landscaping and site layout plans for the Ballantyne Jewelers that will be located on the above mentioned site. The Planning Staff has reviewed these plans and found that they meet the requirements of the conditional rezoning plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note: All other conditional notes as shown on the administrative approval dated June 24, 2002 still apply. This approval does not include signage approval.