

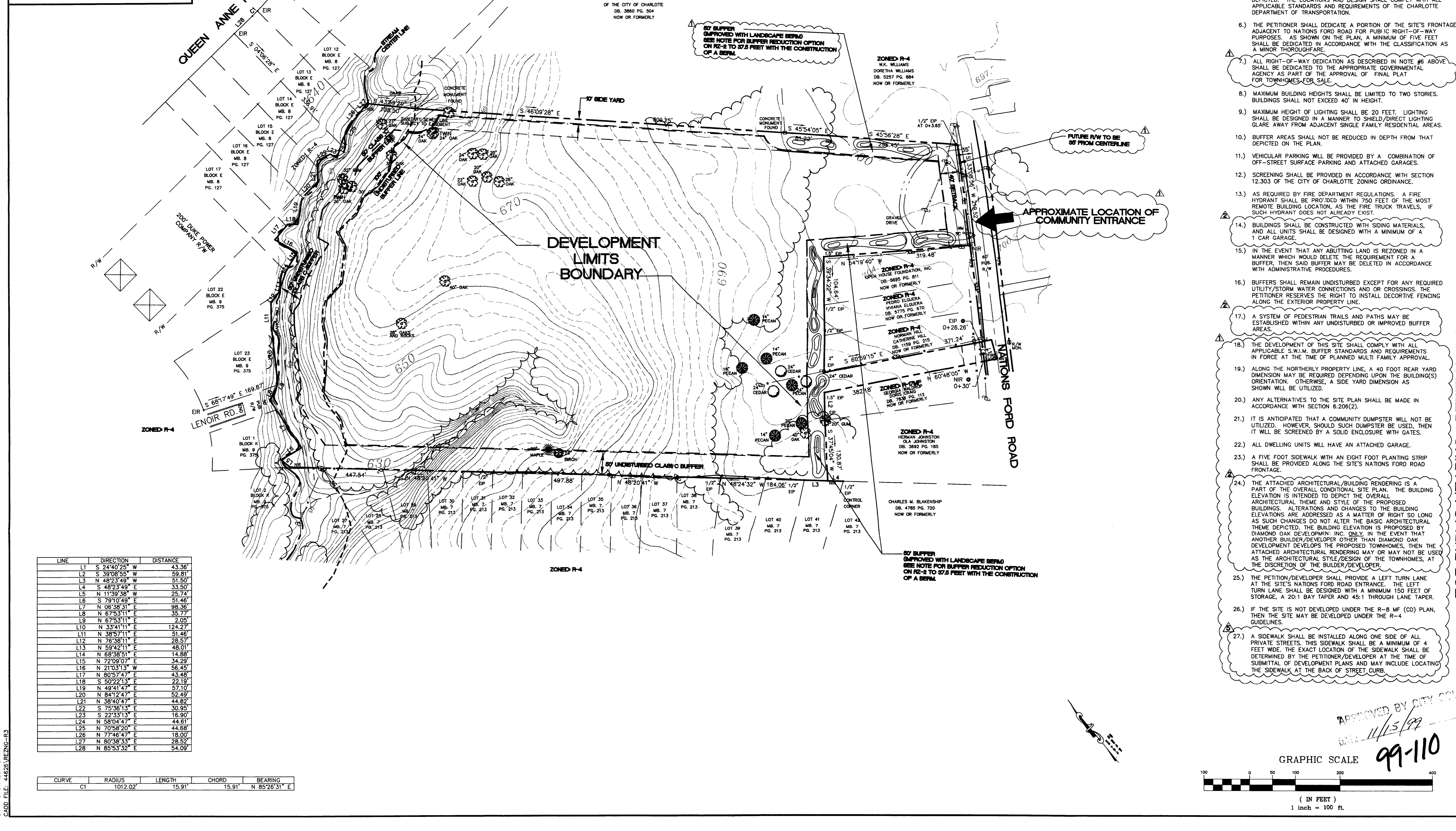
VICINITY MAP N.T.S.

SITE DEVELOPMENT DATA:

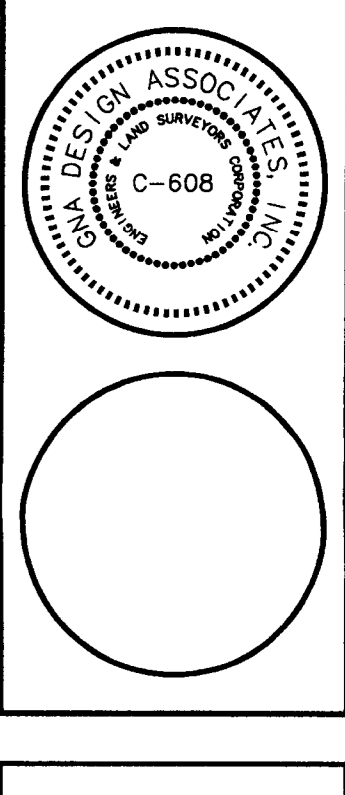
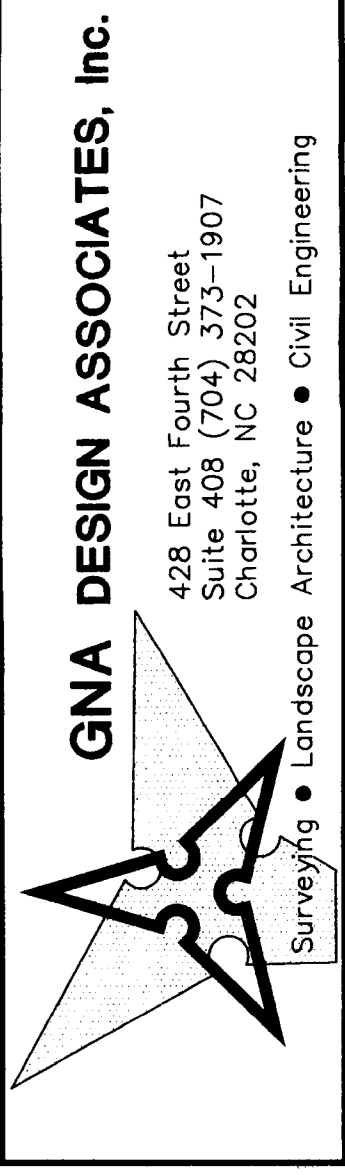
- TAX PARCEL #S: 167-034-03 AND 167-034-06
- 22.526 ACRES (NET)
- EXISTING ZONING: R-4
- PROPOSED ZONING: R-8MF (CD)
- MAXIMUM # OF UNITS ALLOWED: 180
- MAXIMUM # OF UNITS PROPOSED: 180
- MAXIMUM DENSITY 80U/ACRE
- PROPOSED USE: TOWNHOMES FOR SALE

CONDITIONAL NOTES:

- 1) THE SITE PLAN CONSISTS OF THE TECHNICAL DATA SHEET AND THE ILLUSTRATIVE PLAN. THE TECHNICAL DATA SHEET CONTAINS ALL DEVELOPMENT NOTES AND CONDITIONS PER SEVERAL DEVELOPMENT INTENTIONS. THE ILLUSTRATIVE PLAN DEPICTS A DEVELOPMENT SCENARIO BASED UPON THE CONDITIONS IMPOSED BY THE TECHNICAL DATA SHEET, BUT OTHER DEVELOPMENT SCENARIOS ARE PERMITTED AS A MATTER OF RIGHT WHICH ALLOWS ALTERNATIVES TO THE ARRANGEMENT OF BUILDING/PAVING/CIRCULATION AREAS BUILDING FOOTPRINTS AND SHADES, ETC.
- 2) ALL PROPOSED DEVELOPMENT ON THE SITE SHALL COMPLY WITH THE REQUIREMENTS RELAYED TO THE PETITIONER BY THE ARRANGEMENT OF OFF-STREET PARKING SPACES, SIGNAGE, YARD DIMENSIONS, BUFFERS, SCREENING, AND LANDSCAPING.
- 3) THE PROPOSED DEVELOPMENT SHALL CONSIST OF A TOWNHOME FOR SALE COMMUNITY.
- 4) AS REQUIRED, A 50 FOOT WIDE CLASS 'C' BUFFER SHALL BE ESTABLISHED AS SHOWN ALONG THE EDGE OF THE SITE. THIS BUFFER SHALL NOT CONTAIN ANY STORM WATER DETENTION. FURTHERMORE, A 40 FOOT WIDE SETBACK SHALL BE ESTABLISHED ALONG THE SITE'S FRONTAGE. THIS AREA SHALL BE LANDSCAPED WITH ANY COMBINATION OF TREES, SHRUBS, LAWN AREAS, FLOWER BEDS, ETC.
- 5) VEHICULAR ACCESS TO THE SITE SHALL BE LIMITED TO THE POINTS OF ACCESS/EGRESS AS SHOWN ON THE SITE PLAN. THE LOCATIONS MAY VARY SOMEWHAT FROM THAT SPECIFIED IN THE TECHNICAL DATA SHEET, BUT ALL APPLICABLE STANDARDS AND REQUIREMENTS OF THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.
- 6) THE PETITIONER SHALL DEDICATE A PORTION OF THE SITE'S FRONTAGE PURPOSES, AS SHOWN ON THE PLAN, A MINIMUM OF FIVE FEET SHALL BE DEDICATED IN ACCORDANCE WITH THE CLASSIFICATION AS A MAJOR THOROUGHFARE.
- 7) ALL RIGHT-OF-WAY DEDICATION AS DESCRIBED IN NOTE #6 ABOVE SHALL BE DEDICATED TO THE APPROPRIATE GOVERNMENTAL AGENCY AS PART OF THE APPROVAL OF FINAL PLAT FOR TOWNHOMES.
- 8) MAXIMUM BUILDING HEIGHTS SHALL BE LIMITED TO TWO STORES. BUILDINGS SHALL NOT EXCEED 40' IN HEIGHT.
- 9) MAXIMUM HEIGHT OF LIGHTING SHALL BE 20 FEET. LIGHTING SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY OF CHARLOTTE'S LIGHTING STANDARDS AND REQUIREMENTS FOR TOWNHOMES.
- 10) BUFFER AREAS SHALL NOT BE REDUCED IN DEPTH FROM THAT SPECIFIED ON THE PLAN.
- 11) VEHICULAR PARKING WILL BE PROVIDED BY A COMBINATION OF OFF-STREET SURFACE PARKING AND ATTACHED GARAGES.
- 12) SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 6.2.3.3 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
- 13) AS REQUIRED BY FIRE DEPARTMENT REGULATIONS, A FIRE HYDRANT SHALL BE PROVIDED WITHIN 750 FEET OF THE FIRST FLOOR BUILDING LOCATIONS AND ROCK TRAVELS, IF SUCH HYDRANT DOES NOT ALREADY EXIST.
- 14) BUILDINGS SHALL BE CONSTRUCTED WITH SOUND MATERIALS. ALL UNITS SHALL BE DESIGNED WITH A MINIMUM OF A CAR GARAGE.
- 15) IN THE EVENT THAT ANY ADJUTING LAND IS REZONED IN A MANNER WHICH WOULD DELETE THE REQUIREMENT FOR A BUFFER, THEN SAID BUFFER MAY BE DELETED IN ACCORDANCE WITH ADMINISTRATIVE PROCEDURES.
- 16) BUFFERS SHALL REMAIN UNDISTURBED EXCEPT FOR ANY REQUIRED UTILITY/STORM WATER CONNECTIONS AND/OR CROSSINGS. THE PETITIONER RESERVES THE RIGHT TO INSTALL DECORATIVE FENCING ALONG THE EXTERIOR BUFFER AREAS.
- 17) A SYSTEM OF PEDESTRIAN TRAILS AND PATHS MAY BE ESTABLISHED WITHIN ANY UNDISTURBED OR IMPROVED BUFFER AREAS.
- 18) THE DEVELOPMENT OF THIS SITE SHALL COMPLY WITH ALL APPLICABLE LOCAL BUFFER HANDLING REQUIREMENTS IN FORCE AT THE TIME OF PLANNED MULTI-FAMILY APPROVAL.
- 19) ALONG THE NORTHERLY PROPERTY LINE, A 40 FOOT REAR YARD DIMENSION MAY BE REQUIRED DEPENDING UPON THE BUILDING(S) ORIENTATION. OTHERWISE, A SIDE YARD DIMENSION AS SHOWN WILL BE UTILIZED.
- 20) ANY ALTERNATIVES TO THE SITE PLAN SHALL BE MADE IN ACCORDANCE WITH SECTION 6.2.06(2).
- 21) IT IS ANTICIPATED THAT A COMMUNITY DUMPSTER WILL NOT BE UTILIZED. HOWEVER, SHOULD SUCH DUMPSTER BE USED, THEN IT WILL BE SCREENED BY A SOLID ENCLOSURE WITH GATES.
- 22) ALL DWELLING UNITS WILL HAVE AN ATTACHED GARAGE.
- 23) A FIVE FOOT SIDEWALK WITH AN EIGHT FOOT PLANTING STRIP SHALL BE PROVIDED ALONG THE SITE'S NATIONS FORD ROAD FRONTAGE.
- 24) THE ATTACHED ARCHITECTURAL/BUILDING RENDERING IS A PART OF THE OVERALL CONDITIONAL SITE PLAN. THE BUILDING ELEVATION IS INTENDED TO REFLECT THE OVERALL ARCHITECTURAL THEME AND STYLE OF THE PROPOSED BUILDINGS. ALTERATIONS AND CHANGES TO THE BUILDING ELEVATIONS ARE ADDED AS A MATTER OF RIGHT SO LONG AS SUCH CHANGES DO NOT ALTER THE BASIC ARCHITECTURAL THEME DEPICTED. THE BUILDING ELEVATION IS PROPOSED BY DIAMOND OAK DEVELOPMENT, INC. ONLY. IF THE PETITIONER/DEVELOPER/ANOTHER BUILDER/DEVELOPER OTHER THAN DIAMOND OAK DEVELOPMENT DEVIATES FROM THE PROPOSED TOWNHOMES, THEN THE ATTACHED ARCHITECTURAL RENDERING MAY OR MAY NOT BE USED AS THE ARCHITECTURAL STYLE/DISCRETION OF THE BUILDER/DEVELOPER.
- 25) THE PETITIONER/DEVELOPER SHALL PROVIDE A LEFT TURN LANE AT THE SITE'S NATIONS FORD ROAD ENTRANCE. THE LEFT TURN LANE SHALL BE DESIGNED WITH A MINIMUM 150 FEET OF STORAGE, A 20:1 BAY TAPER AND 45:1 THROUGH LANE TAPER.
- 26) IF THE SITE IS NOT DEVELOPED UNDER THE R-8 MF (CD) PLAN, THEN THE SITE MAY BE DEVELOPED UNDER THE R-4 (CD) PLAN GUIDELINES.
- 27) A SIDEWALK SHALL BE INSTALLED ALONG ONE SIDE OF ALL PRIVATE STREETS. THIS SIDEWALK SHALL BE A MINIMUM OF 4 FEET WIDE. THE EXACT LOCATION OF THE SIDEWALK SHALL BE DETERMINED BY THE PETITIONER/DEVELOPER AT THE TIME OF SUBMITTAL OF DEVELOPMENT PLANS AND MAY INCLUDE LOCATING THE SIDEWALK AT THE BACK OF STREET CURB.

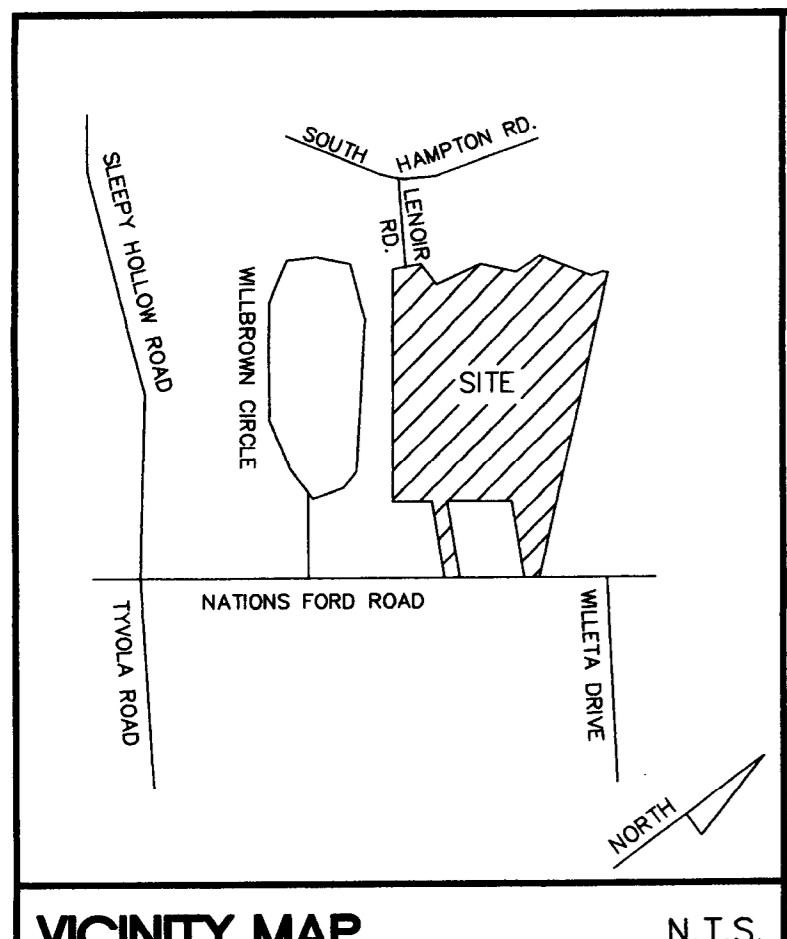


FOR PUBLIC HEARING: PETITION # 99-110

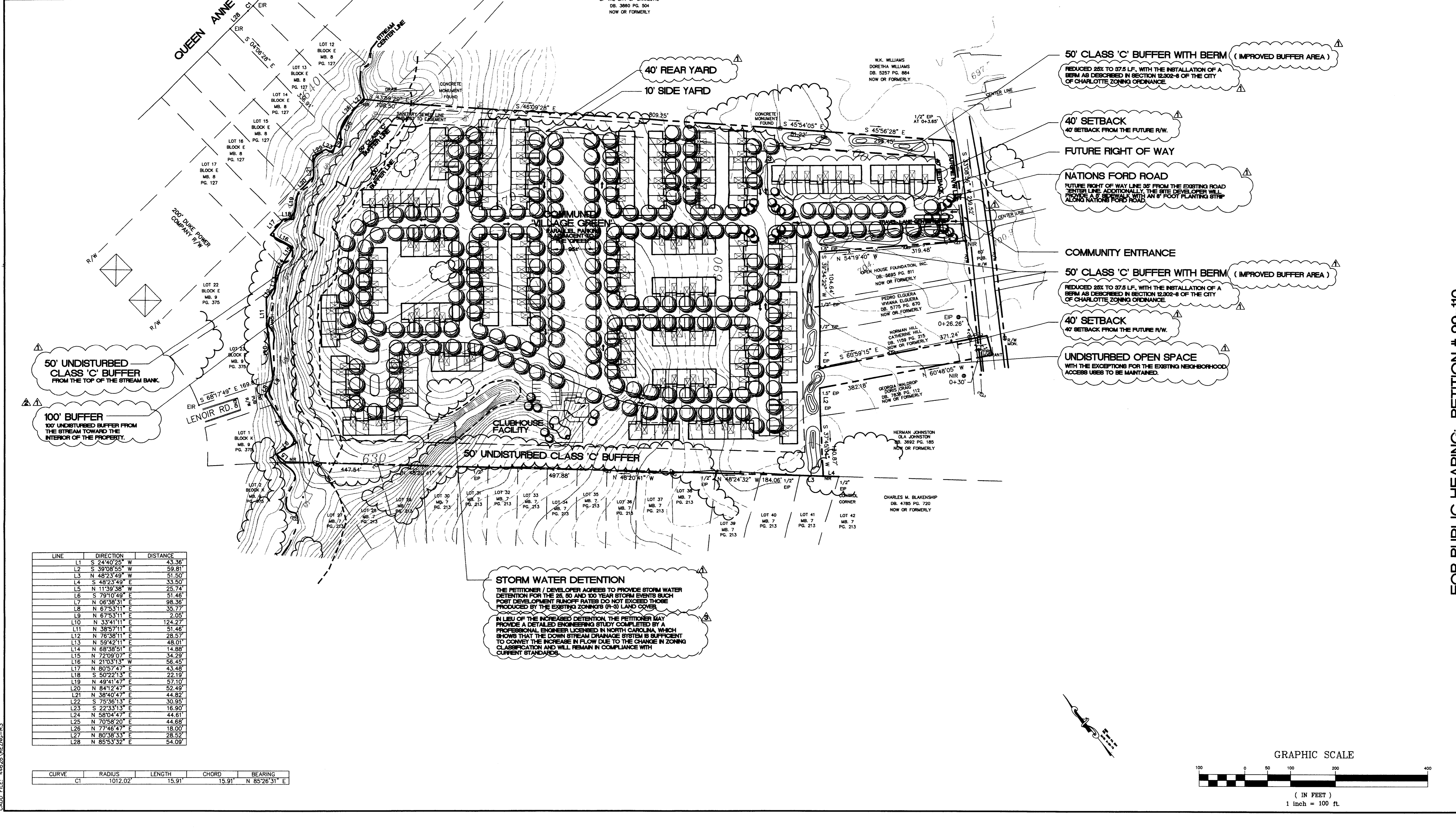


CONDITIONAL REZONING REQUEST
 STONEBROOK AT TYOLA TOWNHOMES
 PETITIONER: DIAMOND OAK DEVELOPMENT, INC.
 SHEET TITLE: TECHNICAL DATA SHEET

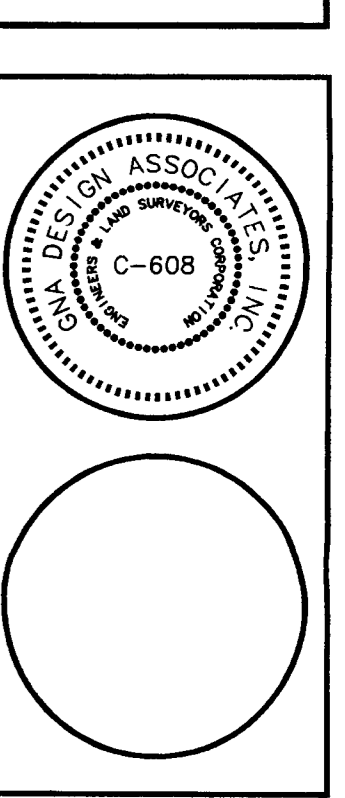
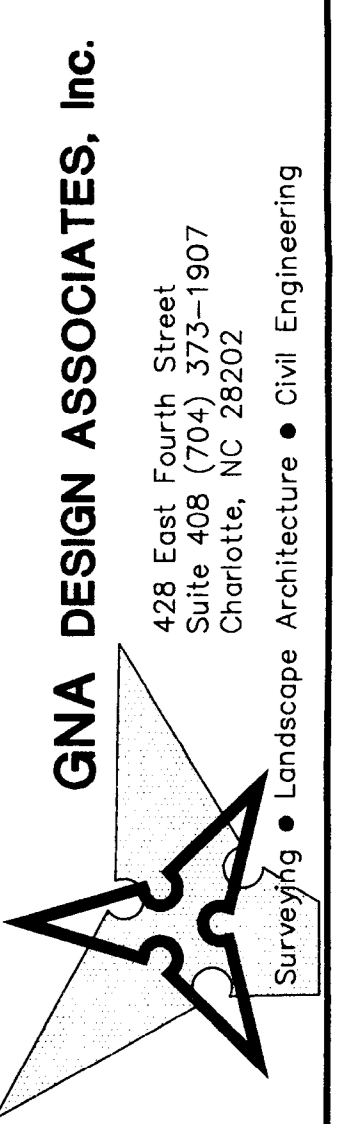
Project No. 44626
 Checked by: TLH
 Drawn by: PAM/RGC
 Date Drawn: 5/16/99
 Revisions:
 9/17/99
 10/22/99
 10/22/99
 11/17/99



VICINITY MAP N.T.S.



FOR PUBLIC HEARING: PETITION # 99-110



CONDITIONAL REZONING REQUEST
 STONEBROOK AT TYOLA TOWNHOMES
 PETITIONER: DIAMOND OAK DEVELOPMENT, INC.
 SHEET TITLE: SCHEMATIC SITE PLAN

Project No. 44626
 Checked by: TLH
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 10/22/99
 11/17/99



ELEVATION ILLUSTRATION

URBAN ARCHITECTURAL GROUP, PA



ELEVATION ILLUSTRATION

STONEBROOK

A DIAMOND OAK DEVELOPMENT