

Development Standards
U.S. Highway 29 at Clark Boulevard
Revised 9/10/99

General Provision

All development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the B-1 Zoning District Classification shall be followed in connection with development taking place on the Site unless more stringent standards are established by these Development Standards.

The configurations, placements and sizes of the buildings depicted on the Schematic Site Plan are schematic in nature and, subject only to the provisions set forth below under Architectural Controls, may be altered or modified during design development and construction document phases within the maximum building envelope lines established on this Technical Data Sheet. Parking layouts may also be modified to accommodate final building locations.

Permitted Uses

- Subject to the limitations imposed under Paragraphs 2 and 3 below, the Site may be devoted to general retail uses and general office uses except that only sit-down type restaurants will be allowed on the Site and the following uses will not be allowed: convenience stores, gasoline service stations, hotels, motels and fast food restaurants with drive-through windows.
- The gross floor area of all buildings constructed on the Site cannot exceed 24,500 square feet and only 12,250 square feet of this permissible square footage may be devoted to general retail uses.
- No retail uses will be allowed on the second floor of any building constructed on the Site and any building constructed along the western property line of the Site may only be devoted to general office uses.

Landscaping and Screening

- All screening will meet or exceed the requirements of the Ordinance.
- The dumpster area will be screened in accordance with the requirements of the Ordinance. Dumpster areas will be enclosed on all four sides by a wooden fence or brick wall with one side being a hinged gate. If one or more sides of the dumpster area adjoin a rear wall of a building, the rear wall may be substituted for the fence along such side.
- Landscaping areas will be planted and improved in sequences which are keyed to each phase of development taking place on the Site.

Buffer Areas

The Buffer Areas established on this Technical Data Sheet shall conform to the standards of Section 12.302 of the Ordinance, subject, however, to the provisions of Section 12.304 thereof.

- All existing trees having calipers of over 2 inches which lie within that portion of any buffer area located within 15 feet of the western exterior property line will be preserved.
- Where existing trees and natural vegetation are located to accommodate grading, pedestrian sidewalks or pathways, walls, berms, fences and the installation of utilities, the cleared, unimproved areas will be landscaped with trees and shrubs.
- No parking spaces, maneuvering areas or storm water detention facilities may be located within Buffer Areas.
- Utility installations may only cross Buffer Areas at interior angles measured at property lines which are not less than 75 degrees.

Setbacks

- All buildings constructed within the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the B-1 Zoning District.
- All trees having a caliper of 8 inches or greater lying within a setback area will be preserved, unless their preservation is not practical because of the installation of a utility line, an access drive or they are too close to off-street parking areas to be saved.

Parking

- Each of the parking areas depicted on this Technical Data Sheet may vary in size and location, but in all events, off street parking will meet the minimum standards established under the Ordinance.
- Parking areas may be constructed inside and outside building envelopes.

Lighting

- A uniform lighting system will be employed throughout the Site.
- The maximum height of any free standing lighting fixture (including its base) may not exceed 25 feet in height.

Signs

- All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.
- Only one free standing sign will be allowed on Clark Boulevard and only one free standing sign will be allowed on U.S. Highway 29.
- Free standing signs shall be of the ground mounted monument type and may not exceed 7 feet in height or 50 square feet in area of copy on either side.

Access Points (Driveways)

- The number of vehicular access points to the Site shall be limited to the number depicted on this Technical Data Sheet.
- The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the Charlotte Department for Transportation and the North Carolina Department of Transportation.

Fire Protection

- Adequate fire protection in the form of fire hydrants will be provided to the Fire Marshal's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences.
- Fire hydrants will be located within 500 feet of any building constructed on the Site.

Architectural Controls

- All buildings placed on the Site will be constructed so as to be architecturally compatible through the use of building materials, accent features and color.
- The elevation of any building built along Clark Boulevard will be designed and constructed so as to break up long expanses of blank walls. This may be accomplished by the use of two or more of the following architectural features: doors, windows, pilasters, columns, arches or other architectural accents or elements at intervals of no more than 30 feet. A minimum of 80% of all opaque vertical surfaces of the elevation of the building will be brick and other masonry materials.
- A minimum of 80% of all opaque vertical surfaces of the front and side elevations of each building constructed on the Site will be brick and other masonry materials.
- No building constructed on the Site may exceed 35 feet in height or contain more than two stories above grade.
- All mechanical equipment including roof top equipment shall be screened from view.

Storm Water Management

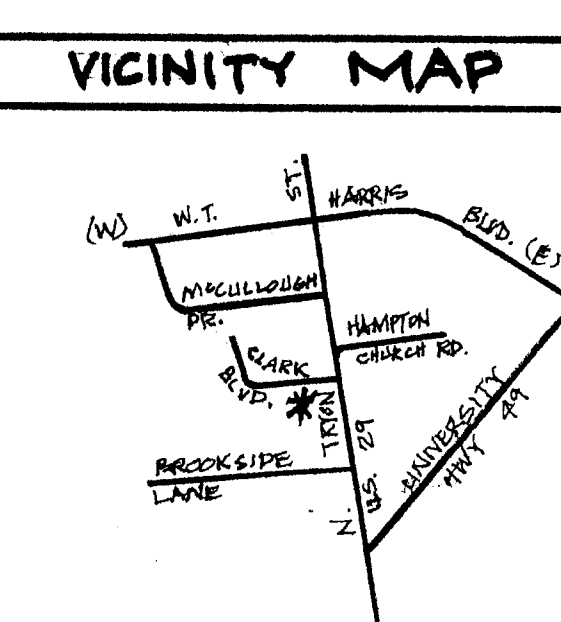
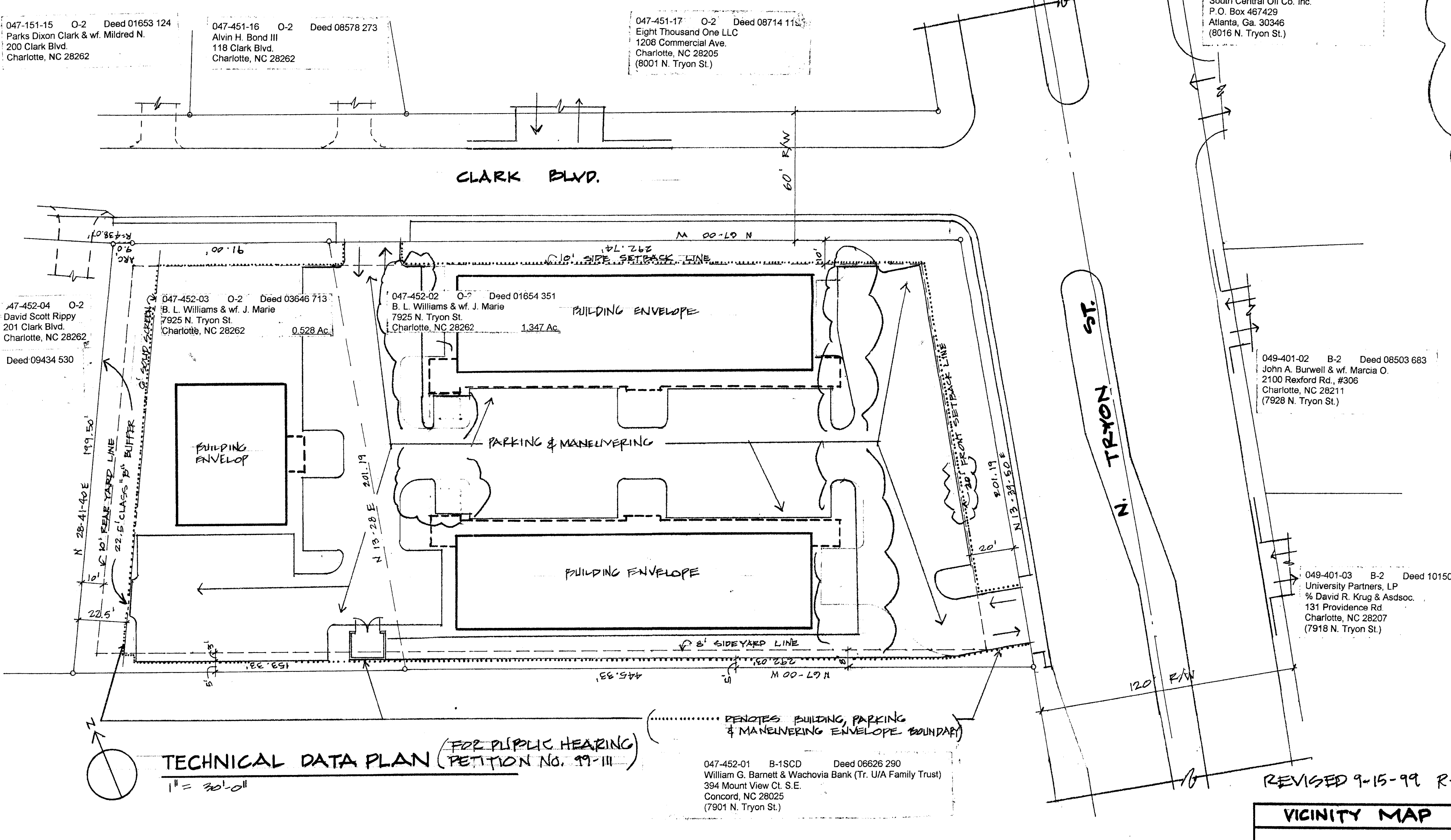
- Storm water runoff from the Site will be managed through the existing detention area which satisfy the standards imposed by the County Engineering Department.
- Storm water detention facilities will not be allowed in buffer areas or setback areas.

Amendments

Future amendments to the Technical Data Sheet and these Development Standards may be applied for by then Owner of Owners of the parcel or parcels involved in accordance with Chapter 6 of the Ordinance.

Binding Effect of the Rezoning Application

- If the Petitioner's Rezoning Petition is approved, the development program established under these Development Standards, the Technical Data Sheet and other supportive documents shall, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and the current and subsequent owner, of the Site and their respective heirs, and devisees, personal representatives, successors in interest and assigns.
- Throughout these Development Standards, the terms "Petitioner" or "Owners," shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner and the Owners.



TECHNICAL DATA PLAN (FOR PUBLIC HEARING - PETITION NO. 99-111)
1" = 30'-0"

VICINITY MAP
REVISED 9-15-99 R-1

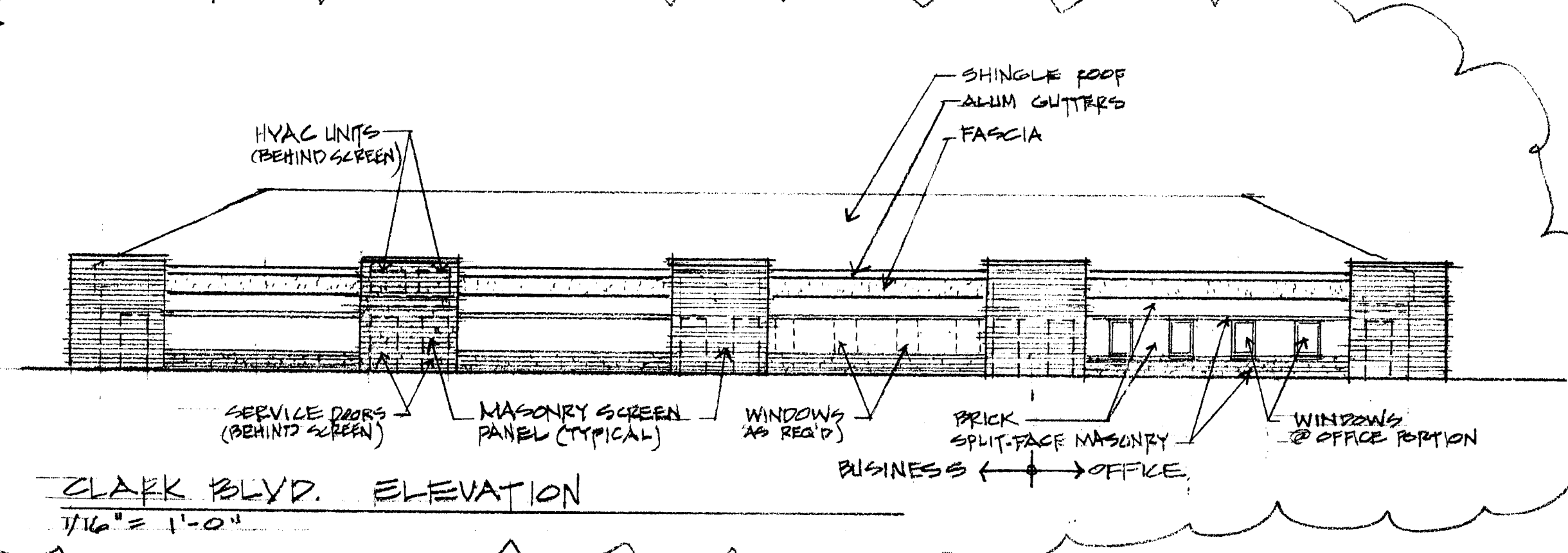
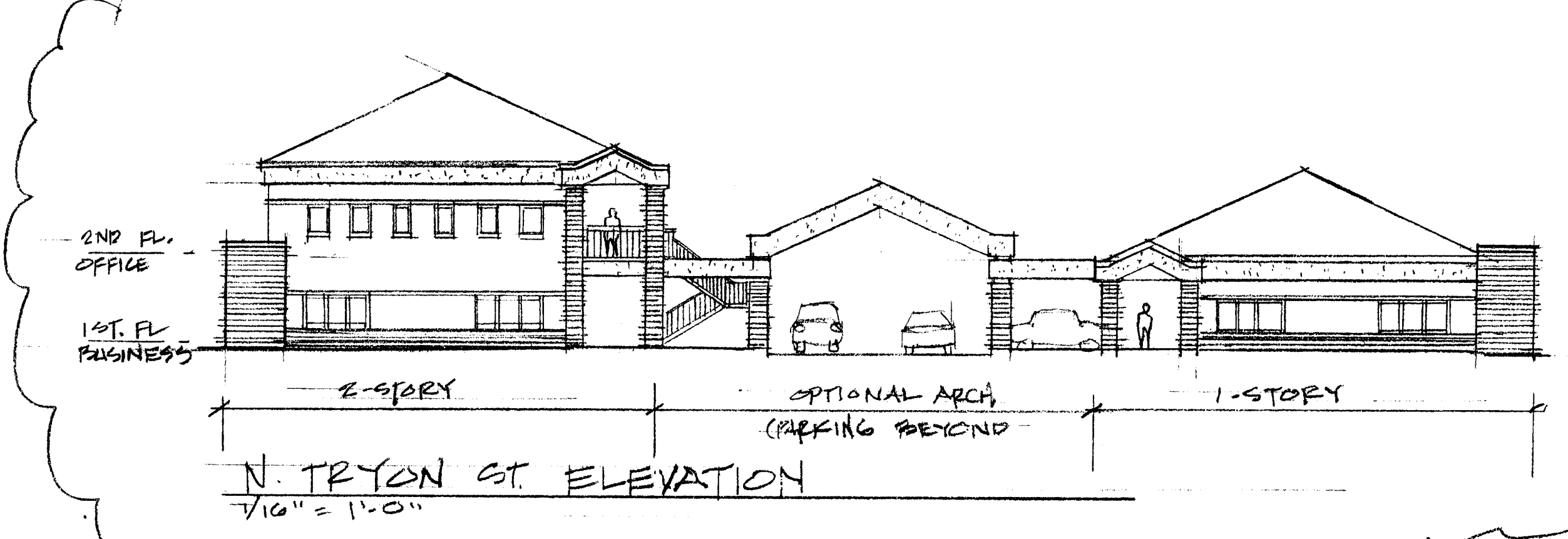
REVISIONS	BY

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1915 N. TRYON ST.
CHARLOTTE, NC 28209
(704) 333-1905

FOR PUBLIC HEARING - PETITION NO. 99-111
CONDITIONAL REZONING - TECHNICAL DATA SHEET
PROPOSED COMMERCIAL CENTER
7925 N. TRYON ST.
CHARLOTTE, NC
DNC, INC. - PETITIONER

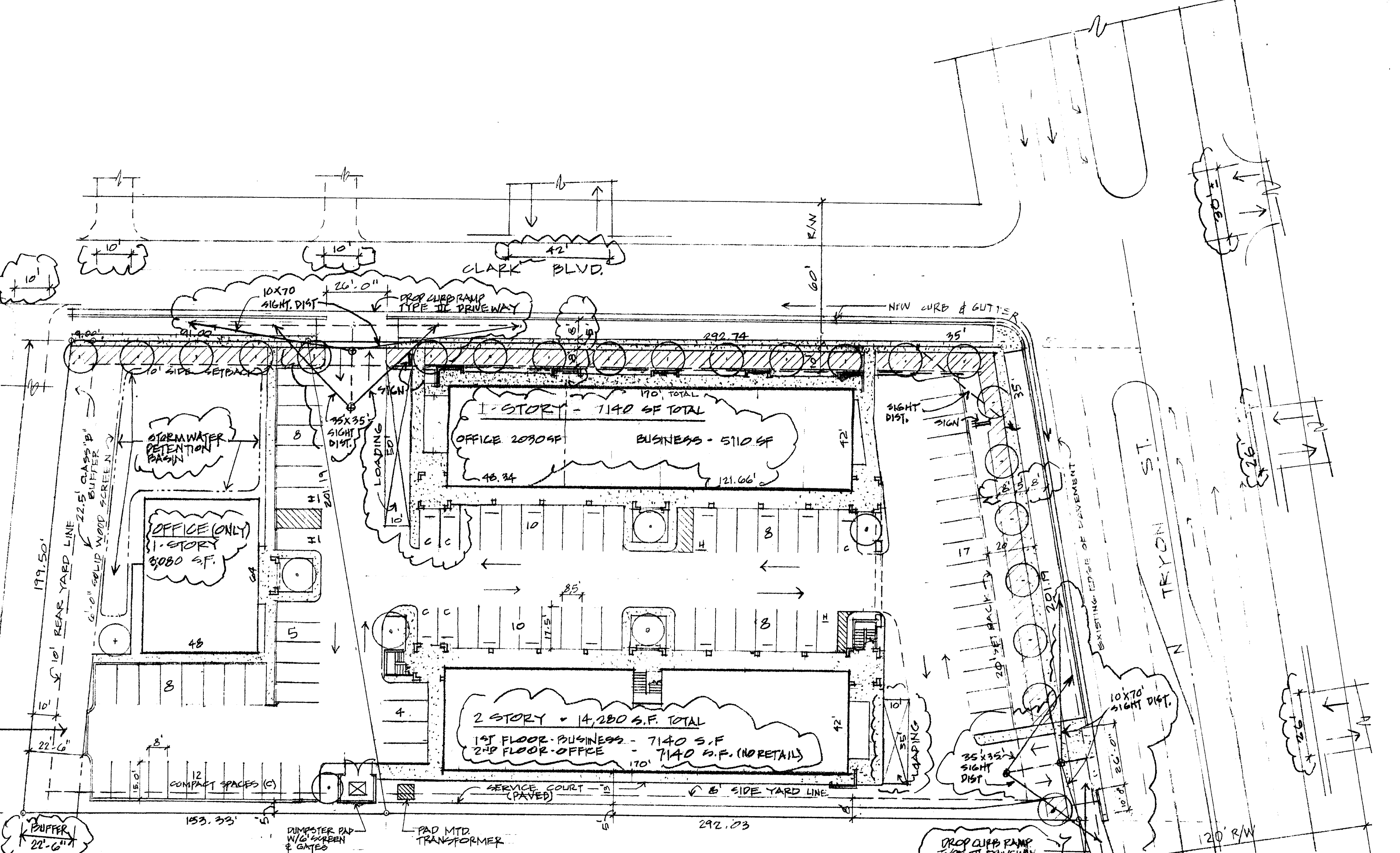
DRAWN	TFM
CHECKED	TFM
DATE	6/7/99
SCALE	1" = 30'-0"
JOB NO.	
SHEET	1
OF 2 SHEETS	

1999-111



N TRYON ST ELEVATION
1/16" = 1'-0"

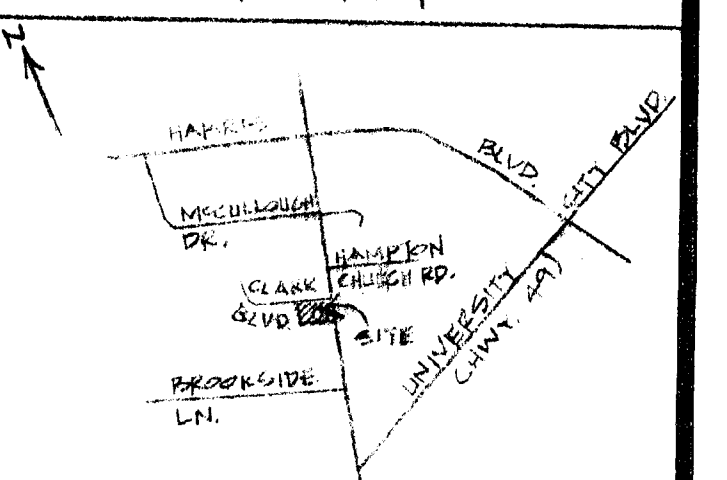
CLARK BLVD. ELEVATION
1/16" = 1'-0"



PRELIMINARY SITE PLAN (FOR PUBLIC HEARING - PETITION NO. 99-111)
1" = 30'-0"

SITE DATA
LAND AREA - 1.09 ACRES
EXIST. ZONING - O-2
PROPOSED ZONING - B-1 (CD)
PROPOSED USES w/ MAX. BUILDING AREA: 12,250 S.F.
A. BUSINESS (MAXIMUM) - 12,250 S.F.
B. OFFICE - 12,250 S.F.
TOTAL FLOOR AREA - 24,500 S.F.

REVISED 9-15-99 R-1



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FOR PUBLIC HEARING - PETITION NO. 99-111
CONDITIONAL REZONING PLAN FOR
PROPOSED COMMERCIAL CENTER
7925 N. TRYON ST.
CHARLOTTE, NC
DNC, INC. - PETITIONER

DRAWN	TFM
CHECKED	TFM
DATE	6/7/99
SCALE	1" = 30'-0"
JOB NO.	
SHEET	2
OF 2 SHEETS	