

Administrative Amendment Application
City of Charlotte

Application for an Administrative Amendment to a previously approved conditional zoning district as per Section 6.207 of the City of Charlotte Zoning Ordinance.

ZONING INFORMATION:

Associated rezoning petition Number: 2000-032 Zoning: RE-3(CD)

Purpose of Administrative Amendment: *(Indicate all proposed changes):*

-To reduce square footage for this Petition (2000-032) by 6375 s.f..

-A new request (Petition 2014-065) has been made to rezone +/- 2.91 acres of this property

from RE-3(CD) to RE-3(SPA) for the purpose of developing an Eating, Drinking & Entertainment Establishment, Type 2 by the property owners

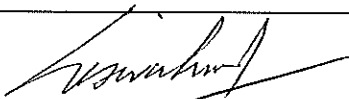
GENERAL INFORMATION:

Property Owner: SAHA International

Owner's Address: 3517 Hayden Drive City, State, Zip: Charlotte, NC 28269

Tax Parcel Number(s): 02902204

Location of Property: along John Adams Road near Galloway Road



Property Owner Signature
(or person(s) authorized to sign on behalf of the property owner)

CONTACT INFORMATION:

Nasir Ahmad

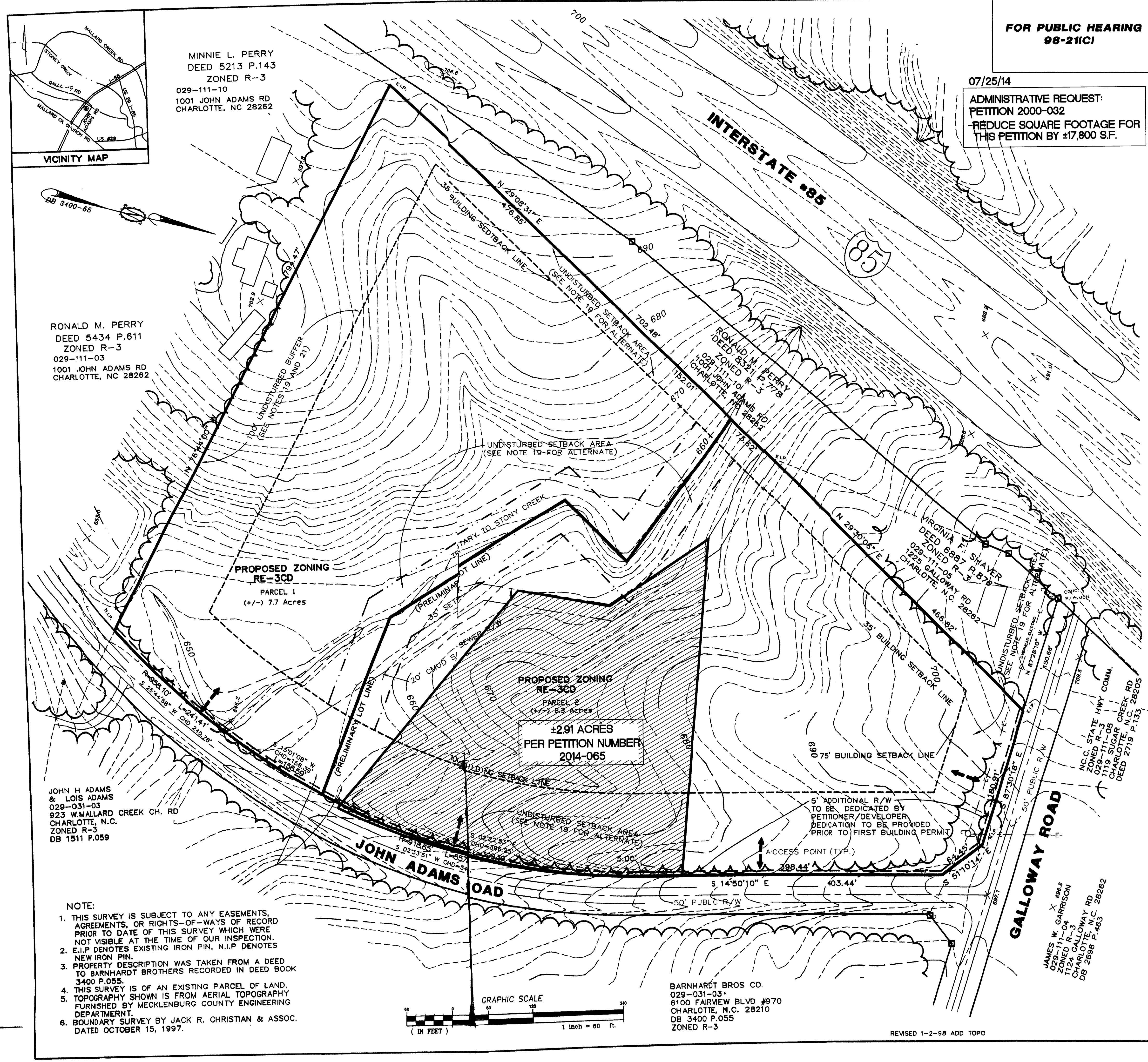
Name of Contact

980-833-9412

Telephone Number

sahmad0615@gmail.com

E-Mail Address



FOR PUBLIC HEARING
98-211C1

07/25/14
ADMINISTRATIVE REQUEST:
PETITION 2000-032
REDUCE SQUARE FOOTAGE FOR
THIS PETITION BY ±17,800 S.F.

JOHN ADAMS ROAD
MECKLENBURG COUNTY
NORTH CAROLINA

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: 9/30/2014
APPROVED BY: [Signature]
SITE DATA:
SITE AREA ±/-16.0 ACRES
EXISTING ZONING R-3
PROPOSED ZONING RE-3CD ±142,200
MAXIMUM BUILDING SQ. FOOTAGE: ±466,000 SQ. FT. (- ±17,800 S.F. PER
MINIMUM LOT SIZE: 4 ACRES PETITION 2014-065)

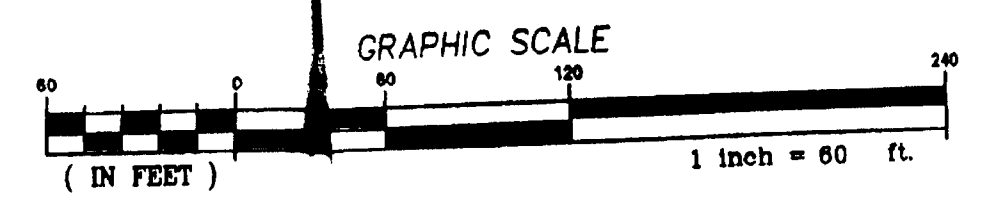
LEGAL DESCRIPTION:
BEGINNING AT AN EXISTING IRON PIN ON THE SOUTHERN RIGHT-OF-WAY OF GALLOWAY ROAD (50' R/W) SAID POINT BEARING S 87°22'10" E FROM A CONCRETE RIGHT-OF-WAY MONUMENT ON THE EASTERN RIGHT-OF-WAY OF INTERSTATE HIGHWAY #85; THENCE WITH THE RIGHT-OF-WAY OF GALLOWAY ROAD S 87°30'18" E 180.91 FEET TO A POINT; THENCE S 91°10'14" E 64.45 FEET TO A POINT ON THE WESTERN RIGHT-OF-WAY OF JOHN ADAMS ROAD (50' R/W) THREE (3) CALLS: (1) S 14°50'10" E 403.44 FEET TO A POINT; (2) WITH THE ARC OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 918.65 FEET WITH ARC DISTANCE 857.89 FEET TO A POINT (SUBTENDED BY A CHORD BEARING S 02°33'51" W 459.44 FEET); (3) WITH THE ARC OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 958.10 FEET WITH ARC DISTANCE 241.41 FEET TO A POINT (SUBTENDED BY A CHORD BEARING S 26°44'58" W 240.78 FEET) TO A NEW IRON PIN IN THE NORTHEASTERN CORNER OF PROPERTY OWNED BY RONALD M. PERRY DEED RECORDED IN DEED BOOK 5434 PAGE 611 OF THE MECKLENBURG PUBLIC REGISTRY; THENCE WITH RONALD M. PERRY'S (DEED RECORDED IN DEED BOOK 5213 PAGE 143 OF THE MECKLENBURG PUBLIC REGISTRY) NORTHERN LINE N 16°44'00" W 794.47 FEET TO AN EXISTING IRON PIN, A CORNER OF THE RONALD M. PERRY PROPERTY DEED RECORDED IN DEED BOOK 8321 PAGE 778 OF THE MECKLENBURG PUBLIC REGISTRY; THENCE WITH THE PERRY LINE N 29°08'31" E 702.48 FEET TO AN EXISTING IRON PIN IN THE SOUTHWEST CORNER OF THE PROPERTY OWNED BY VIRGINIA F. SHAWER DEED RECORDED IN DEED BOOK 6887 PAGE 576 OF THE MECKLENBURG PUBLIC REGISTRY; THENCE WITH THE SHAWER LINE N 29°30'06" E 466.82 FEET TO THE POINT AND PLACE OF BEGINNING AND CONTAINING 16 ACRES, MORE OR LESS.

- DEVELOPMENT NOTES:**
1. THE SITE PLAN CONSISTS OF THE TECHNICAL DATA SHEET (SHEET 1 OF 2) AND THE ILLUSTRATIVE SITE PLAN (SHEET 2 OF 2). THE TECHNICAL DATA SHEET CONTAINS ALL DEVELOPMENT NOTES AND CONDITIONS REGARDING SUCH THINGS AS VEHICULAR CIRCULATION AREAS, DEVELOPMENT INTENSITY, ECT. THE ILLUSTRATIVE SITE PLAN DEPICTS A DEVELOPMENT SCENARIO BASED UPON THE CONDITIONS IMPOSED BY THE TECHNICAL DATA SHEET, BUT OTHER DEVELOPMENT SCENARIOS ARE PERMITTED AS A MATTER OF RIGHT WHICH ALLOWS ALTERNATIVES TO THE ARRANGEMENT OF BUILDINGS/PARKING/CIRCULATION AREAS, BUILDING FOOTPRINTS, AND SHAPES, ECT. IN NO EVENT, HOWEVER, SHALL YARD OR SETBACK SPACES TO BE DECREASED OR THE MAXIMUM LEVEL OF DEVELOPMENT INTENSITY INCREASED FROM THAT SHOWN ON THE TECHNICAL DATA SHEET.
 2. ALL PROPOSED DEVELOPMENT ON THE SITE SHALL COMPLY WITH MECKLENBURG COUNTY ORDINANCE REQUIREMENTS REGARDING THE NUMBER AND ARRANGEMENT OF THE OFF-STREET PARKING SPACES, SIGNAGE, YARD DIMENSIONS, BUFFERS, SCREENING, AND LANDSCAPING.
 3. THE PROPOSED DEVELOPMENT SHALL BE SUBDIVIDED AS GENERALLY SHOWN. USES PERMITTED ON THE SITE SHALL BE THOSE ALLOWED IN THE RE-1 AND RE-2 DISTRICTS AND THE ONLY RE-3 USES PERMITTED SHALL BE HOTELS/MOTELS AND RESTAURANTS WITHOUT DRIVE-IN SERVICE.
 4. THE SITE SHALL BE SERVICED BY AN EXISTING 50' RIGHT-OF-WAY PUBLIC STREET, JOHN ADAMS ROAD, AND GALLOWAY ROAD. THE NUMBER OF DRIVEWAYS INTO EACH LOT SHALL BE LIMITED TO THOSE SHOWN IN THE TECHNICAL DATA SHEET AND WILL BE LOCATED IN THE GENERAL AREAS DEPICTED SUBJECT TO NDOT APPROVAL.
 5. THE LOCATIONS OF PROPOSED LOT LINES WITHIN THE DEVELOPMENT ARE CONCEPTUAL. FINAL LOCATIONS AND NUMBER OF LOT LINES MAY BE ADJUSTED BASED UPON DEVELOPER/TENANT DESIGN CRITERIA, BUT SHALL BE IN COMPLIANCE WITH ZONING/SUBDIVISION ORDINANCE STANDARDS.
 6. THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE STORM DRAINAGE AND STORM WATER DETENTION REQUIREMENTS OF MECKLENBURG COUNTY. DETENTION SHALL NOT BE PERMITTED WITHIN SETBACKS OR YARDS.
 7. PARKING LOT SCREENING AND INTERIOR LANDSCAPING SHALL MEET OR EXCEED MECKLENBURG COUNTY INTERIOR LANDSCAPE AND SCREENING REQUIREMENTS.
 8. THE MAXIMUM HEIGHT OF DETACHED LIGHTS SHALL BE 30 FEET.
 9. DUMPSTERS SHALL BE SCREENED BY SOLID ENCLOSURES WITH GATES.
 10. LIGHTING WALL PACKS SHALL NOT BE ALLOWED ON BUILDINGS.
 11. ANTICIPATED MAXIMUM BUILDING HEIGHT IS 40 FEET. BUILDINGS WITH HEIGHT IN EXCESS OF 40 FEET SHALL MEET REQUIREMENTS SET FORTH IN SECTION 9.605(1).
 12. ALL DEVELOPMENT WITHIN THE SITE SHALL COMPLY WITH LANDSCAPING STANDARDS PER SECTION 11.705(3).
 13. PARKING IS NOT PERMITTED WITHIN REQUIRED SETBACKS AND YARDS.
 14. THE FOLLOWING AGENCIES SHALL BE CONTACTED REGARDING FLOOD PLAIN AND WATER QUALITY PERMITS: US ARMY CORPS OF ENGINEERS AND NCDENR (RALEIGH OFFICE).
 15. PETITIONERS SHALL PROVIDE A 5 FOOT SIDEWALK AND AN 8 FOOT PLANTING STRIP ALONG THE SITE'S JOHN ADAMS ROAD AND GALLOWAY RD FRONTAGE.
 16. SETBACK AND YARD AREAS SHALL REMAIN UNDISTURBED EXCEPT FOR A 10% ALLOWANCE AS PERMITTED BY DISTRICT STANDARDS.
 17. PETITIONER/DEVELOPER SHALL IMPROVE JOHN ADAMS ROAD AND GALLOWAY ROAD TO COMMERCIAL STREET STANDARDS ALONG THE SITE'S FRONTAGE.
 18. PETITIONER/DEVELOPER SHALL PERFORM AN OVERTOPPING ANALYSIS OF THE EXISTING CULVERT UNDER JOHN ADAMS ROAD PRIOR TO ISSUANCE OF BUILDING PERMIT FOR THE FIRST BUILDING WITHIN THIS DEVELOPMENT. IF THE ANALYSIS SHOWS THE ROAD OVERTOPS, THE PETITIONER/DEVELOPER SHALL UPGRADE THE CULVERT UNDER JOHN ADAMS ROAD TO MEET CURRENT APPLICABLE DRAINAGE STANDARDS. IMPROVEMENT SHALL NOT INCLUDE REPLACING THE EXISTING CULVERT.
 19. PETITIONER/DEVELOPER RESERVES THE OPTION OF PERFORMING A COMPLETE TREE SURVEY OF SETBACK AND BUFFER AREAS AND SUBMITTING AN ALTERNATE PLANTING/GRADING PLAN FOR APPROVAL BY PLANNING STAFF. THE ALTERNATE PLANTING/GRADING PLAN SHALL SHOW ALL EXISTING LARGE MATURING TREES WITHIN THE SETBACK TO BE PRESERVED, GRADING AREAS, NEW LARGE MATURING TREES, AND SHRUBS TO BE PLANTED WITHIN THE SETBACKS TO COMPLY WITH THE INTENT OF SECTION 11.705(3).
 20. PETITIONER RESERVES THE OPTION OF SUBDIVIDING THE PROPERTY INTO NO MORE THAN THREE PARCELS. PRELIMINARY LOT LINES SHOWN ARE PRELIMINARY AND SUBJECT TO ADJUSTMENTS BY THE PETITIONER/DEVELOPER.
 21. THE 100 FOOT BUFFER ALONG THE SOUTHERLY BOUNDARY LINE MAY BE DELETED AND REPLACED WITH THE NORMALLY REQUIRED 35 FOOT YARD UPON THE REZONING OF THE IMMEDIATELY ADJOINING SITE TO A NONRESIDENTIAL CATEGORY.

APPROVED BY COUNTY COMMISSION
DATE May 19, 1998
TECHNICAL DATA SHEET

MANSOUR EDLIN CONSULTING 1616 MOCKINGBIRD LANE SUITE 802 CHARLOTTE, N.C. 28209 17041 917-9170 JANUARY 12, 1998	also: APPROVED BY CITY COUNCIL DATE <u>February 21, 2002</u>	SHEET 1 OF 2
REVISIONS		
5/6/1998 PER ZONING COMMITTEE AND STAFF COMMENTS		
3/15/1998 PER CMPC, COUNTY ENGINEERING, AND BUILDING STANDARDS COMMITTEE		

- NOTE:**
1. THIS SURVEY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAYS OF RECORD PRIOR TO DATE OF THIS SURVEY WHICH WERE NOT VISIBLE AT THE TIME OF OUR INSPECTION.
 2. E.I.P. DENOTES EXISTING IRON PIN, N.I.P. DENOTES NEW IRON PIN.
 3. PROPERTY DESCRIPTION WAS TAKEN FROM A DEED TO BARNHARDT BROTHERS RECORDED IN DEED BOOK 3400 P.055.
 4. THIS SURVEY IS OF AN EXISTING PARCEL OF LAND.
 5. TOPOGRAPHY SHOWN IS FROM AERIAL TOPOGRAPHY FURNISHED BY MECKLENBURG COUNTY ENGINEERING DEPARTMENT.
 6. BOUNDARY SURVEY BY JACK R. CHRISTIAN & ASSOC. DATED OCTOBER 15, 1997.



BARNHARDT BROS CO.
029-031-03
6100 FAIRVIEW BLVD #970
CHARLOTTE, N.C. 28210
DB 3400 P.055
ZONED R-3

REVISED 1-2-98 ADD TOPO

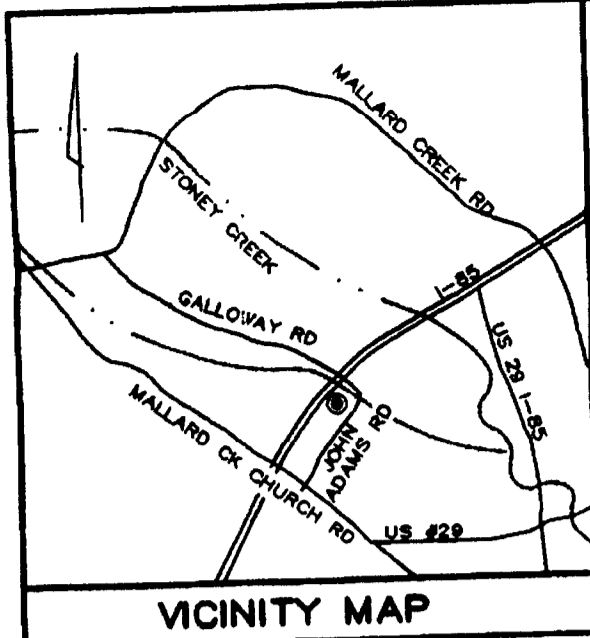
Charlotte-Mecklenburg Planning Department

DATE: September 30, 2014
TO: Mark Fowler
Zoning Supervisor
FROM: Ed McKinney
Interim Planning Director
SUBJECT: Administrative Approval for Petition No. 2000-032 Saha International Corp. Inc

Attached is the revised site plan for the petition above. This request reduces the square footage originally approved since a site plan amendment was approved in 2014 for the subject area. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Reasons for Staff's support of the request:
* The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.
Signage was note reviewed as part of this request.



MINNIE L. PERRY
DEED 5213 P.143
ZONED R-3
029-111-10
1001 JOHN ADAMS RD
CHARLOTTE, NC 28262

RONALD M. PERRY
DEED 5434 P.611
ZONED R-3
029-111-03
1001 JOHN ADAMS RD
CHARLOTTE, NC 28262

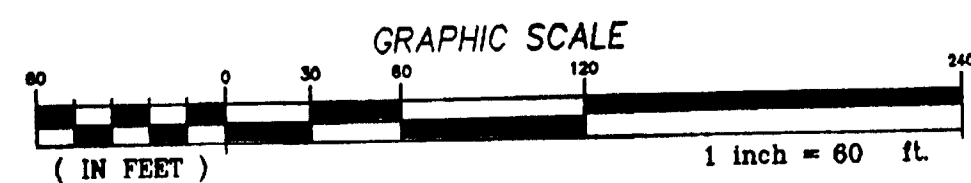
JOHN H ADAMS & LOIS ADAMS
029-031-03
923 W.MALLARD CREEK CH. RD
CHARLOTTE, N.C.
ZONED R-3
DB 1511 P.059

UNDISTURBED SETBACK AREA
(SEE NOTE 19 FOR ALTERNATE)

PROP. STUB TO ABUTTING
PROPERTY TO TIE INTO
EXISTING DRIVEWAY AND
NEW DRIVEWAY

BUILDING LOCATION SHALL MEET
ALL SETBACK REQUIREMENTS
CREATED BY THE NEW PARCEL
UNDER PETITION 2014-065

BARNHART BROS CO.
029-031-03
6100 FAIRVIEW BLVD #970
CHARLOTTE, N.C. 28210
DB 3400 P.055
ZONED R-3



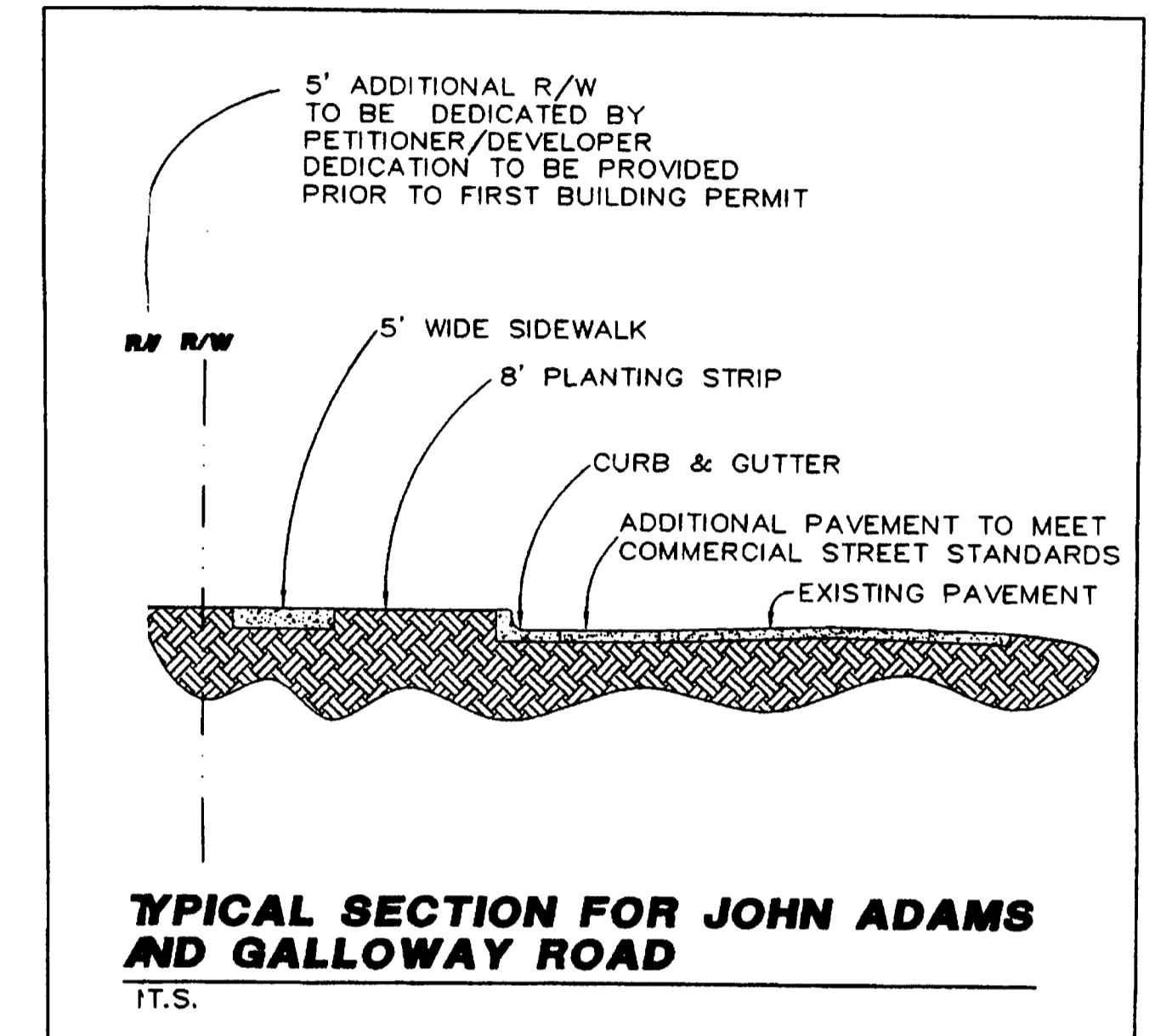
REVISED 1-2-98 ADD TOPO

FOR PUBLIC HEARING
98-211C1

JOHN ADAMS ROAD
MECKLENBURG COUNTY
NORTH CAROLINA

SITE DATA:

SITE AREA +/-16.0 ACRES
EXISTING ZONING R-3
PROPOSED ZONING RE-3CD ±142,200
MAXIMUM BUILDING SQ. FOOTAGE: ~~140,000~~ SQ. FT.
MINIMUM LOT SIZE: 4 ACRES (- ±17,800 S.F. PER PETITION 2014-065)



07/25/14

ADMINISTRATIVE REQUEST:
PETITION 2000-032
-REDUCE SQUARE FOOTAGE FOR
THIS PETITION BY ±17,800 S.F.

ILLUSTRATIVE SITE PLAN

MANSOUR EDLIN CONSULTING
1616 MOCKINGBIRD LANE
SUITE 802
CHARLOTTE, N.C. 28209
17041 672-1660
JANUARY 12, 1998

ATTACHED TO ADMINISTRATIVE
APPROVAL

DATED: 9-30-2014

APPROVED BY: [Signature]

REVISIONS

5/6/1998 ZONING COMMITTEE & STAFF COMMENTS
3/15/1998 PER CMPCC, COUNTY ENGINEERING, AND BUILDING STANDARDS COMMITTEE

SHEET 2