

LEGEND

- PROPOSED TEMPORARY VEHICULAR ACCESS POINT
- PROPOSED PERMANENT VEHICULAR ACCESS POINT
- PEDESTRIAN CIRCULATION

RESERVATION OF FUTURE RIGHT-OF-WAY

The Petitioner makes the following covenants with respect to development of the Site:

- To reserve the area depicted on the Technical Data Sheet for acquisition by the NCDOT for I-485 and to make no improvements between other than the proposed easement and no grading that might be done by the engineering and construction firm.
- To grant to the NCDOT an option to acquire any portion of such area that may fall within the final alignment of the right-of-way for I-485 for the period commencing upon the approval of the Petitioner and expiring on the fourth anniversary of the date on which the Option Period has been approved at a price per acre as determined as follows:
 - Five times the highest bid received for the acquisition of the Site by the State of North Carolina for the period of the Option Period.
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 - Five times the highest bid received for the acquisition of the Site by the State of North Carolina for the period of the Option Period.
- Not to construct any building or other structure on the Site until the right-of-way for I-485 has been acquired by the State of North Carolina.
- To dedicate and convey to the NCDOT for right-of-way for I-485 the portion of the Site that is shown on the Technical Data Sheet as being reserved for the future Loganville Road.

PEDESTRIAN CIRCULATION

- The Petitioner agrees to construct a pedestrian circulation system that shall be generally as depicted on the Technical Data Sheet in order to provide for pedestrian circulation between the Site and the future Loganville Road.
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PROPOSED 60 FOOT RIGHT-OF-WAY WITH THE SITE

- The Petitioner agrees to reserve a 60 foot right-of-way for the proposed public street which lies to the north of the Site and has previously been built as a roadway under the public street easement between Property Church Road and the point of the rear of the Site which is depicted on the Technical Data Sheet as Figure 7.
- The Petitioner agrees to reserve the 60 foot right-of-way for the proposed public street which lies to the north of the Site and has previously been built as a roadway under the public street easement between Property Church Road and the point of the rear of the Site which is depicted on the Technical Data Sheet as Figure 7.
- The Petitioner agrees to reserve the 60 foot right-of-way for the proposed public street which lies to the north of the Site and has previously been built as a roadway under the public street easement between Property Church Road and the point of the rear of the Site which is depicted on the Technical Data Sheet as Figure 7.

SCREENING AND LANDSCAPED AREAS

- Screening and conform with the standards and treatment specified in Section 2303 of the Ordinance. All landscaping installed on the Site will meet or exceed the requirements of the Ordinance.
- All roof-mounted mechanical equipment will be screened from view from public streets.
- Any dumpsters visible from a public street or from an adjacent parcel of land will be screened from view by a solid enclosure with gates. If one or more sides of the dumpster area are a rear wall of a building, the rear wall may be substituted for the fence along each side.

SETBACKS

- Building setbacks within the Site will be established at a minimum of 14 feet from the back of the future roadway.
- No storm water detention facilities may be located within the setback.

PARKING

- The Site has been designed to create building setbacks along proposed Loganville Road. Ultimately, there will be no parking area located within the setback between building footings on the road and the right-of-way line of Loganville Road. In the interim period, however, until Loganville Road has been constructed and access to the Site has been established, parking areas may be located between buildings and existing Property Church Road generally in the manner depicted on the Schematic Site Plan.
- Parking areas may be located behind and outside building envelopes subject to the standards outlined above.

LIGHTING

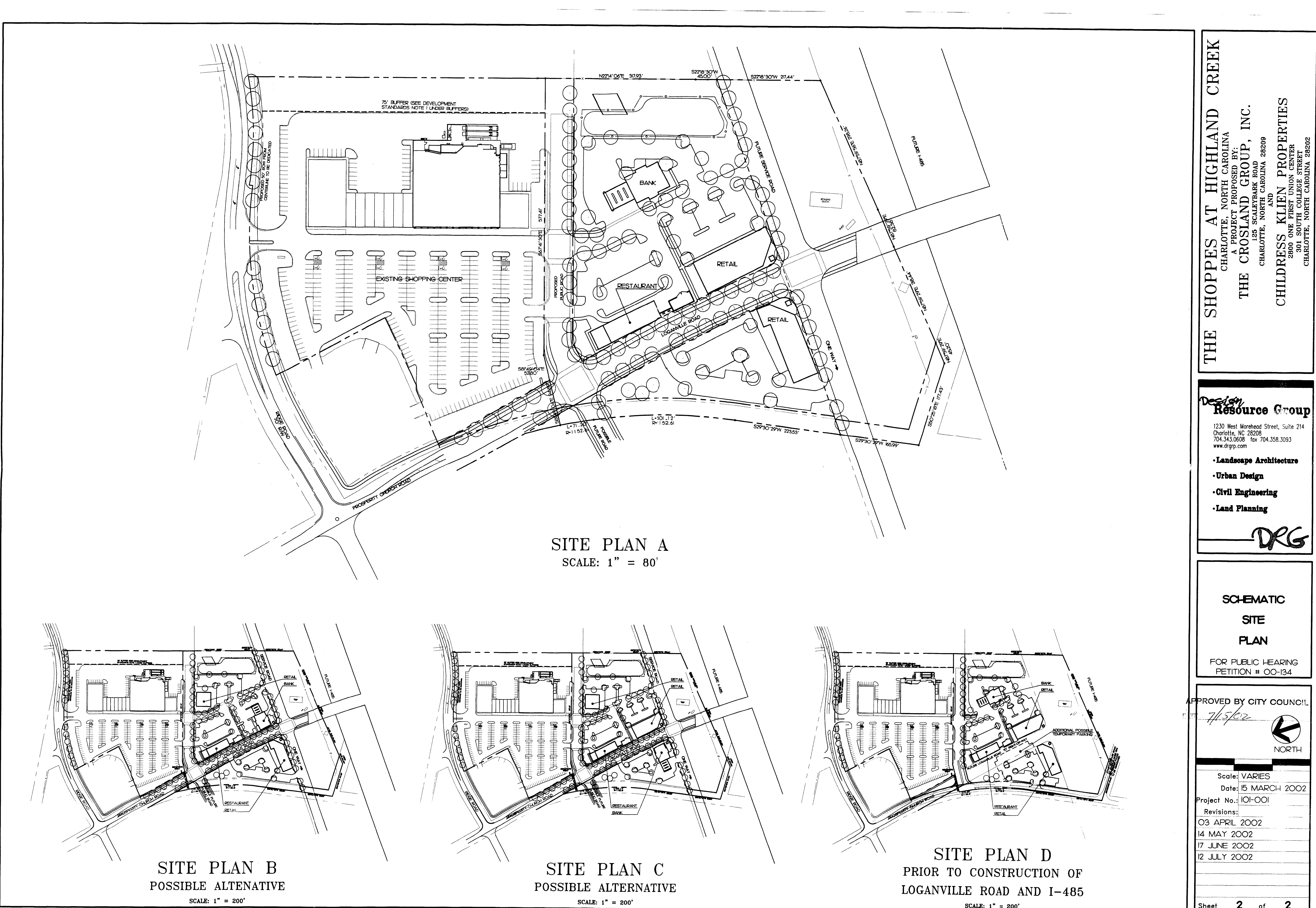
- All exterior lighting shall be shielded from the Site.
- The maximum height of any new lighting fixture (including its mast) shall not exceed 30 feet in height. All lighting within the Site shall be shielded so as to prevent light spillage onto adjacent properties and to prevent light trespass. All lighting shall be shielded so as to prevent light spillage onto adjacent properties and to prevent light trespass. All lighting shall be shielded so as to prevent light spillage onto adjacent properties and to prevent light trespass.

ACCESS POINTS (EASEMENTS)

- Permanent and temporary access points serving the Site will be generally as depicted on the Technical Data Sheet.
- The vehicle access point from Property Church Road into the Site and be amended or modified with the construction of Loganville Road and the abandonment of Property Church Road.
- The placement and configuration of each vehicle access point shall be subject to any minor modifications required to accommodate that site and architectural configuration and design and to any amendments required to be approved by the City of Charlotte Engineering Department and/or the North Carolina Department of Transportation.

DEDICATION OF RIGHT-OF-WAY

The site for the Property Church Road-485 interchange contemplates the realignment of a portion of Property Church Road and changing the name of the portion of the road to Loganville Road. The proposed alignment for the new road is generally depicted on the Technical Data Sheet. Petitioner agrees to follow the final determination of the alignment for Loganville Road and within thirty days after receipt of a written request to do so from the NCDOT or CDOT (whichever department that has jurisdiction over the road) to dedicate and convey (without receiving any consideration) that portion of the Site to the NCDOT or CDOT (as the case may be) for right-of-way for Loganville Road and to grant easements covering two and a half (2 1/2) foot wide strip of land along each side of the 70 foot wide section for sidewalk easement between the roadway margin of Parcel II and the roadway margin of Parcel I.



THE SHOPPES AT HIGHLAND CREEK
 CHARLOTTE, NORTH CAROLINA
 A PROJECT PROPOSED BY:
THE CROSLAND GROUP, INC.
 CHARLOTTE, NORTH CAROLINA 28209
 AND
CHILDRESS KLIEN PROPERTIES
 301 SOUTH COLLEGE STREET
 CHARLOTTE, NORTH CAROLINA 28202

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TECHNICAL DATA SHEET

FOR PUBLIC HEARING
 PETITION # 00-154

APPROVED BY CITY COUNCIL
 DATE 7/1/02

Scale: 1" = 80'
 Date: 15 MARCH 2002
 Project No.: 00-001
 Revisions:
 03 APR 2002
 14 MAY 2002
 17 JUNE 2002
 12 JULY 2002

Sheet 1 of 2

THE SHOPPES AT HIGHLAND CREEK
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SCHEMATIC SITE PLAN

FOR PUBLIC HEARING
 PETITION # 00-154

APPROVED BY CITY COUNCIL
 DATE 7/1/02

Scale: VARIES
 Date: 15 MARCH 2002
 Project No.: 00-001
 Revisions:
 03 APR 2002
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Sheet 2 of 2