

Conditional Notes
 The site plan consists of the Technical Data Sheet and the Schematic Site Plan. The Technical Data Sheet contains all development notes and conditions governing the development of the site and includes such things as the vehicular access points, buffers, setbacks/yards, generalized areas for buildings/parking/circulations areas, development intensity/density, etc. The Schematic Site Plan depicts a development scenario based upon the conditions imposed by the Technical Data Sheet, but other development scenarios are permitted as a matter of right which will allow alternatives to the number and arrangement of buildings, building shapes and sizes, lot arrangements, streets/parking/circulation layouts, etc. and in no event, however, shall buffer or yard setback dimensions be decreased or the maximum level of development density for the entire site be increased from that shown on the Technical Data Sheet.

All proposed development on the site shall comply with ordinance requirements regarding the number and arrangement of off-street parking spaces, signage, yard dimensions, buffers, screening, landscaping, etc.

The proposed development shall consist of a combination of single family detached and multi-family homes. The multi-family dwelling units shall be for sale.

Vehicular access points shall be limited to the locations depicted on the site plan. However, these locations may vary somewhat from that depicted based upon final design and construction plans. The location and design shall comply with applicable standards and requirements of the Mecklenburg County and/or the N.C. Dept. of Transportation.

Multi-family buildings shall be limited to a maximum of two stories and shall not exceed 40 feet in height.

Height and # stories are to be measured from front of buildings. Basements are permitted.

Buffers and common open space areas shall be established throughout the site as shown on the site plan. The width of these various areas shall not be reduced from the dimensions outlined on the site plan. The common open space areas shall consist of a combination of natural areas, landscaped areas and areas which are improved with amenities for residents, including pathways, tennis courts, swimming pool, clubhouse/cabana, etc. Storm water detention shall not be allowed within buffers and areas. Pathways and utility connections, however, may be located within buffers.

As required, a Class "C" Buffer measuring 50 feet shall be established around the out parcel tract. This buffer shall remain undisturbed except for any necessary utility connections, if any, required to service the development. The open space area measuring 100 feet which separates the proposed multi-family and single family areas shall remain largely undisturbed, but will include a common pathway and possible utility connections as well as any grading necessary to prepare the multi-family area for development.

Grading necessary to prepare the multi-family area is permitted.

The Petitioner shall dedicate land along the site's Marvin Road frontage sufficient to establish a 35 foot road right-of-way as measured from the centerline of the road to the edge of the site. Such dedication shall occur prior to the issuance of any building permit associated with the site. Setback dimensions shown on the plan along Marvin Road are measured from the next right-of-way.

Dumpsters shall be located within enclosures, with gates.

Parking lot lighting associated with the multi-family development shall be limited to a maximum of 20 feet.

The proposed development of the site along the "East-West" circumferential thoroughfare shall observe a 50 foot setback. This area shall be attractively landscaped and will not contain any buildings or parking areas.

All Single Family yard and buffer dimensions shall be measured from the common open space boundaries.

Petitioner/developer shall provide left turn lanes at the two proposed access points along Marvin Road. The turn lane shall be constructed at the time each driveway is constructed. Also, the petitioner/developer shall widen Marvin Road to a minimum of 12 feet of pavement from the centerlines along the site's frontage if the existing total width of the road is less than 22 feet.

Petitioner/developer shall construct curb, gutter, and sidewalk improvements along the site's Wade Ardrey Road frontage. The sidewalk shall be 5 ft. wide with an 8 ft. planting strip. Along Marvin Road, the petitioner shall provide a 5 foot wide sidewalk at the back of the future R/W.

16. The proposed development shall comply with all phasing requirements of the MX-2 zoning district.

17. The common open space pedestrian connection, which are shown in various locations connecting the overall open space system to convenient street/lot locations are illustrative as to the precise locations. These connections are representative of a portion or the required open space, but the locations may shift depending upon final design plans for the subdivision lot and street and layout.

18. The "East-West" thoroughfare right-of-way shown on this plan has already been deeded by petitioner to NCDOT.

19. The following agencies shall be contacted regarding wetland and water quality permits:
 401/404 permit NCDHNR - Raleigh Office (919)733-1786
 Wetlands Permit: US Army Corp. of Engineers (704)271-4854

20. An overtopping analysis shall be performed on the existing Wade Ardrey Road pipe culvert. The petitioner agrees to add to the existing pipe underneath the road such that the pipe system is adequately sized to accommodate the increased storm water run-off associated with the proposed development.

21. The Single Family 40' Setback along Marvin Rd. and the 50' Setback along the East-West Circumferential Rd. shall be screened by means of a wall, fence, berm, landscaping and existing vegetation or combination thereof. By covenant, these areas shall be deeded to the Homeowners Assoc.

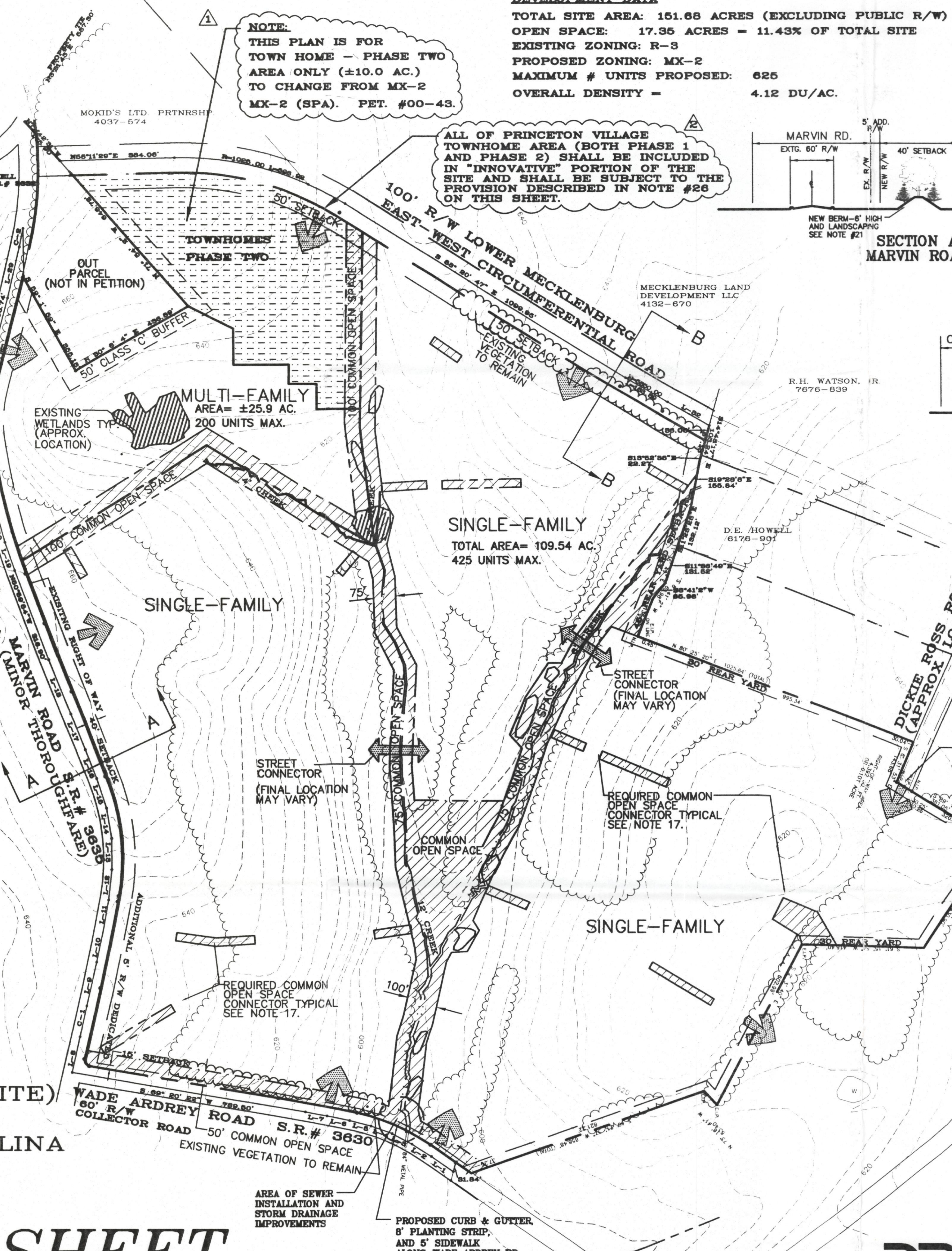
23. Centex Homes agrees that it will not execute a purchase contract with any buyer who has not executed a disclosure of the proposed Highway 521 landfill.

24. The petitioner shall provide sidewalks as shown on the Schematic Site Plan.

25. Existing vegetation to remain along Wade Ardrey Road except as required for the installation of road improvements, storm drainage, utility lines, sight triangles, and entrance monuments. No more than 12 feet of the common open space can be graded from the right of way to allow for the road improvements. The installation of the sewer lines and upgrading of the culvert at the creek crossing of Wade Ardrey Road will disturb more than 12 feet of existing vegetation.

26. The existing Townhome areas shall be subject to innovative standards. The following innovative standards shall apply:

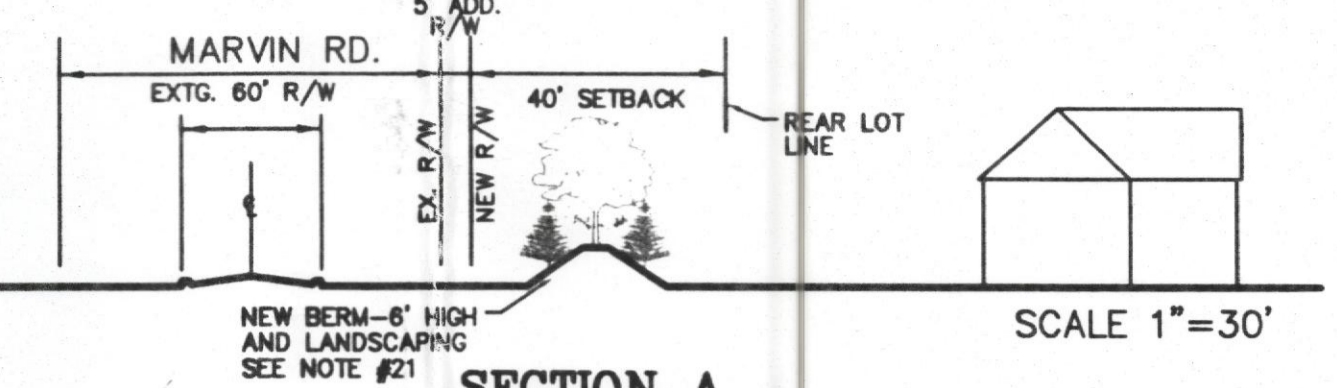
- a) Lots may be created around each building (building lots) and such lots need not front on a public street.
- b) The following minimum standards shall be established for each building lot:
 - 1) area: 8,000 sq. ft.
 - 2) front setback from existing recorded private street: 0'
 - 3) side yard: 1'
 - 4) rear yard: 1'
 - 5) minimum width: 80'
- c) The recording of building lots need not change the ownership of or the rights set out in previously recorded maps and declarations relating to the individual parcels within such building lots.



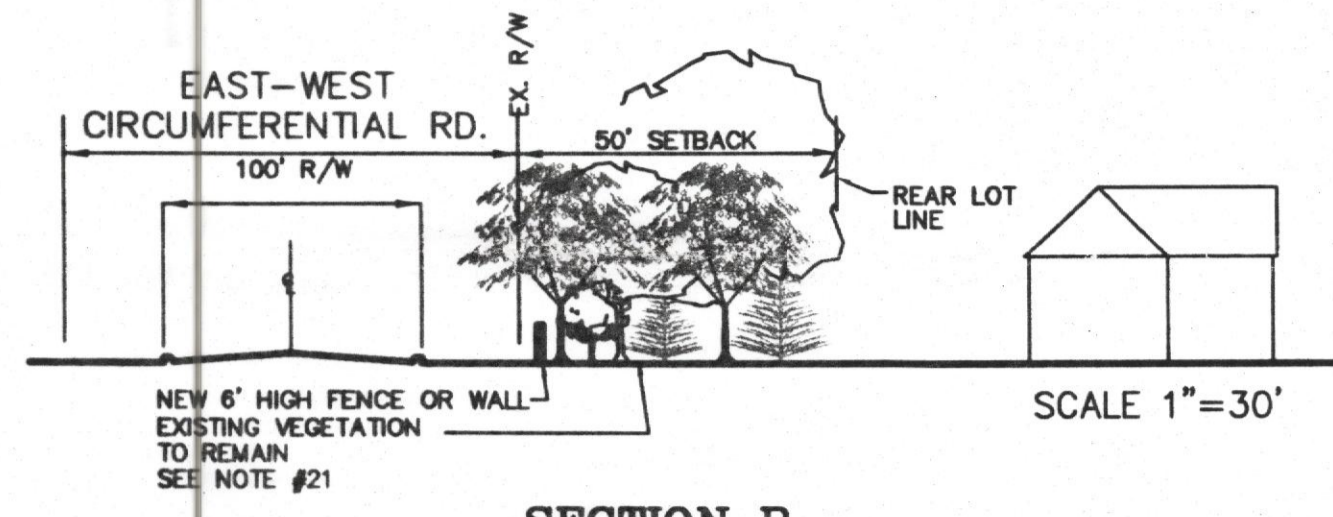
NOTE:
 THIS PLAN IS FOR
 TOWN HOME - PHASE TWO
 AREA ONLY (±10.0 AC.)
 TO CHANGE FROM MX-2
 MX-2 (SPA). PET. #00-43.

DEVELOPMENT DATA
 TOTAL SITE AREA: 161.68 ACRES (EXCLUDING PUBLIC R/W)
 OPEN SPACE: 17.36 ACRES - 11.43% OF TOTAL SITE
 EXISTING ZONING: R-3
 PROPOSED ZONING: MX-2
 MAXIMUM # UNITS PROPOSED: 625
 OVERALL DENSITY - 4.12 DU/AC.

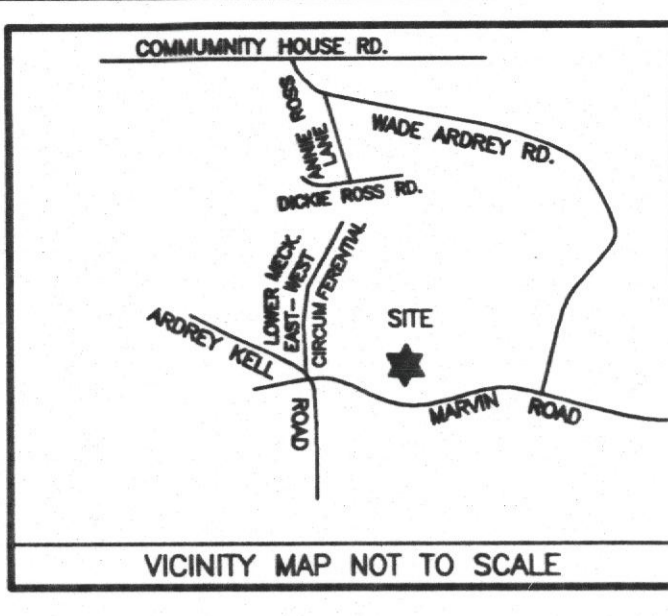
ALL OF PRINCETON VILLAGE TOWNHOME AREA (BOTH PHASE 1 AND PHASE 2) SHALL BE INCLUDED IN "INNOVATIVE" PORTION OF THE SITE AND SHALL BE SUBJECT TO THE PROVISION DESCRIBED IN NOTE #26 ON THIS SHEET.



SECTION A
MARVIN ROAD



SECTION B
EAST-WEST CIRCUMFERENTIAL RD.



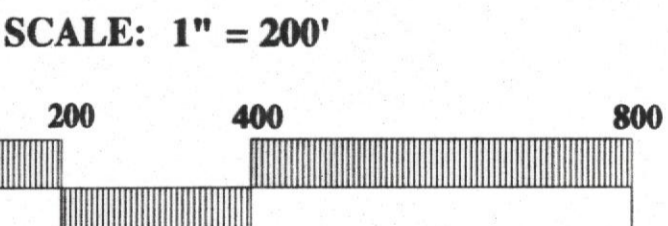
CURVE TABLE

CURVE #	BEARING	RADIUS	ARC DIST.	CHORD BEARING	CHORD DIST.
C-1	S107°00'00" W	100.00	N 17°44'07" W	100.00	100.00
C-2	S114°00'00" W	61.76	N 15°00'00" W	61.76	61.76
C-3	S00°00'00" W	80.00	N 04°00'00" W	80.00	80.00

LINE TABLE

LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE
L-1	N 80°04'07" W	89.80	L-17	N 00°10'00" W	100.00
L-2	N 87°30'00" W	79.80	L-18	N 00°10'00" W	100.00
L-3	S 07°13'00" W	79.21	L-19	N 00°10'00" W	100.00
L-4	S 79°03'00" W	76.58	L-20	N 48°41'00" W	99.80
L-5	S 74°03'17" W	74.88	L-21	N 48°41'00" W	99.80
L-6	S 71°30'00" W	76.63	L-22	N 48°22'54" W	80.25
L-7	S 70°00'00" W	76.19	L-23	N 48°41'00" W	99.80
L-8	N 17°02'11" W	101.42	L-24	N 30°41'30" W	64.90
L-9	N 17°02'00" W	147.89	L-25	N 30°41'00" W	64.90
L-10	N 18°18'00" W	108.17	L-26	N 30°41'00" W	64.90
L-11	N 20°07'02" W	108.80	L-27	N 30°41'00" W	64.90
L-12	N 24°30'00" W	100.00	L-28	N 30°41'00" W	64.90
L-13	N 30°00'00" W	104.71	L-29	N 16°07'42" W	176.00
L-14	N 42°07'00" W	103.03	L-30	N 00°00'00" W	176.00
L-15	N 48°01'07" W	103.77	L-31	N 00°00'00" W	176.00
L-16	N 62°07'00" W	100.80	L-32	N 00°00'00" W	176.00

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: Dec 17, 2003
 BY: MARTIN R. CRAMTON, JR.



DPR ASSOCIATES, INC.
 Landscape Architects
 Planners & Engineers
 430 Hawthorn Lane
 Charlotte, NC 28204
 704/332-1204
 DPR # 97067

SHEET NO.
RZ-1
 OF

SOUTHAMPTON REZONING
 (FORMERLY KNOWN AS MARVIN ROAD SITE)
 FOR CENTEX HOMES
 MECKLENBURG COUNTY, NORTH CAROLINA

REV. 2/18/2000
 REV. 10/24/2003

TECHNICAL DATA SHEET
 PETITION NO. # 00-43
 FOR PUBLIC HEARING

CHARLOTTE - MECKLENBURG
 PLANNING COMMISSION
 INTER - OFFICE COMMUNICATION

DATE: January 2, 2004

TO: Robert Brandon
 Zoning Administrator

FROM: Martin R. Cramton, Jr.
 Planning Director

SUBJECT: Innovative Site Plan Approval for Petition No. 00-43 by Princeton Village @ Southampton HOA

Attached is an innovative site plan for the Princeton Village at Southampton townhomes. The innovative site plan allows the creation of individual lots on private streets with setbacks as shown on the site plan. Each individual lot will have only one attached multifamily building with less than 12 units in it. The Zoning Committee of the Charlotte-Mecklenburg Planning Commission approved this innovative site plan on December 17, 2003. Please use this plan when evaluating requests for building permits and certificates of occupancy.