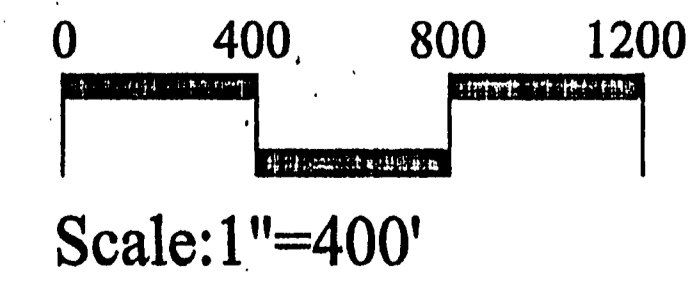
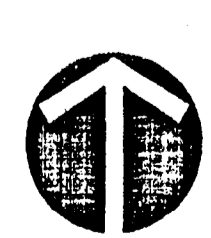
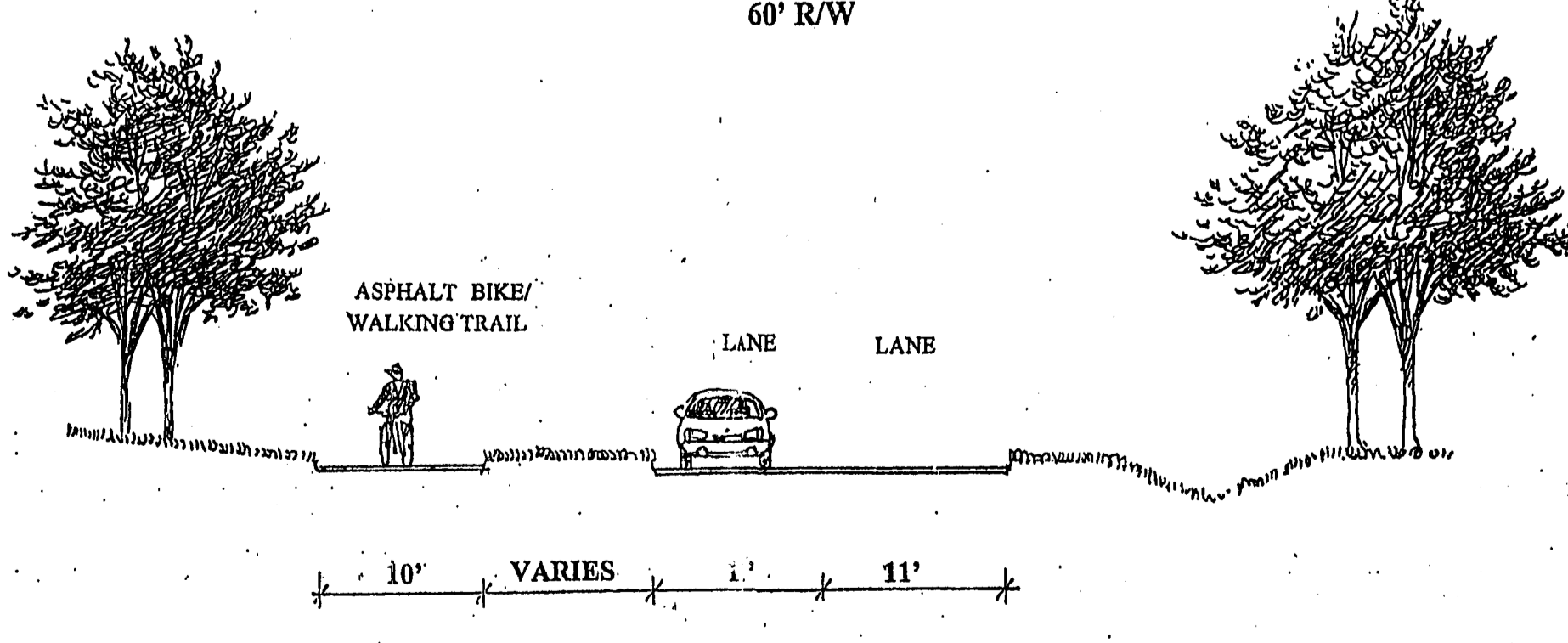
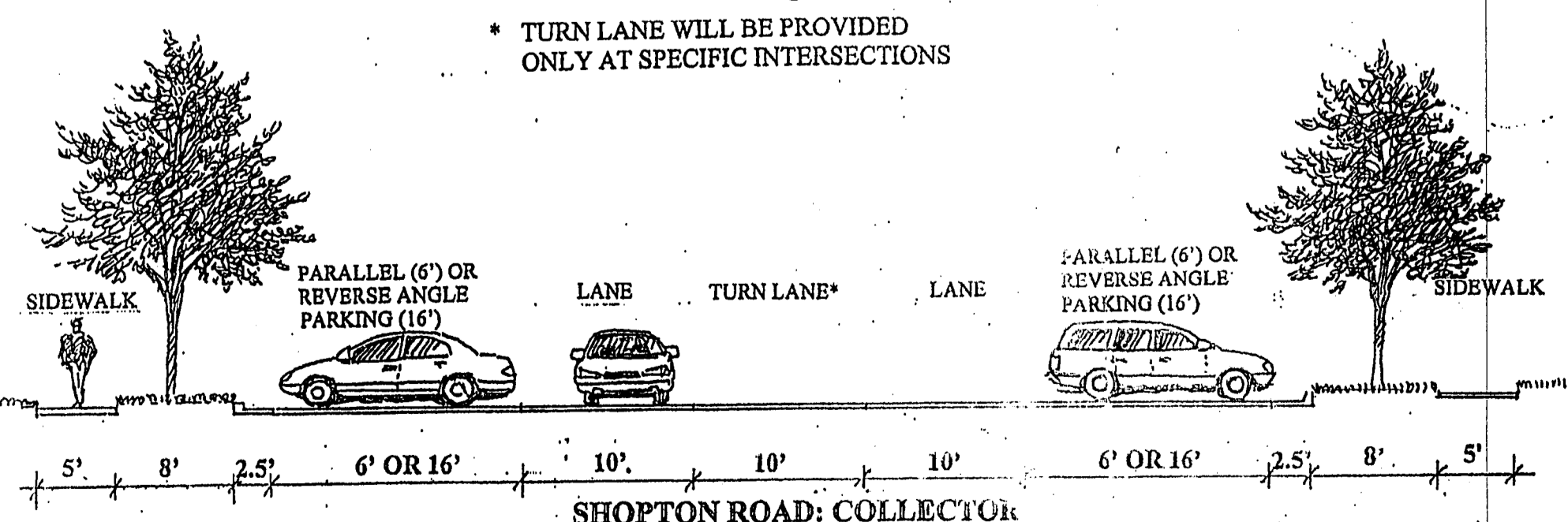
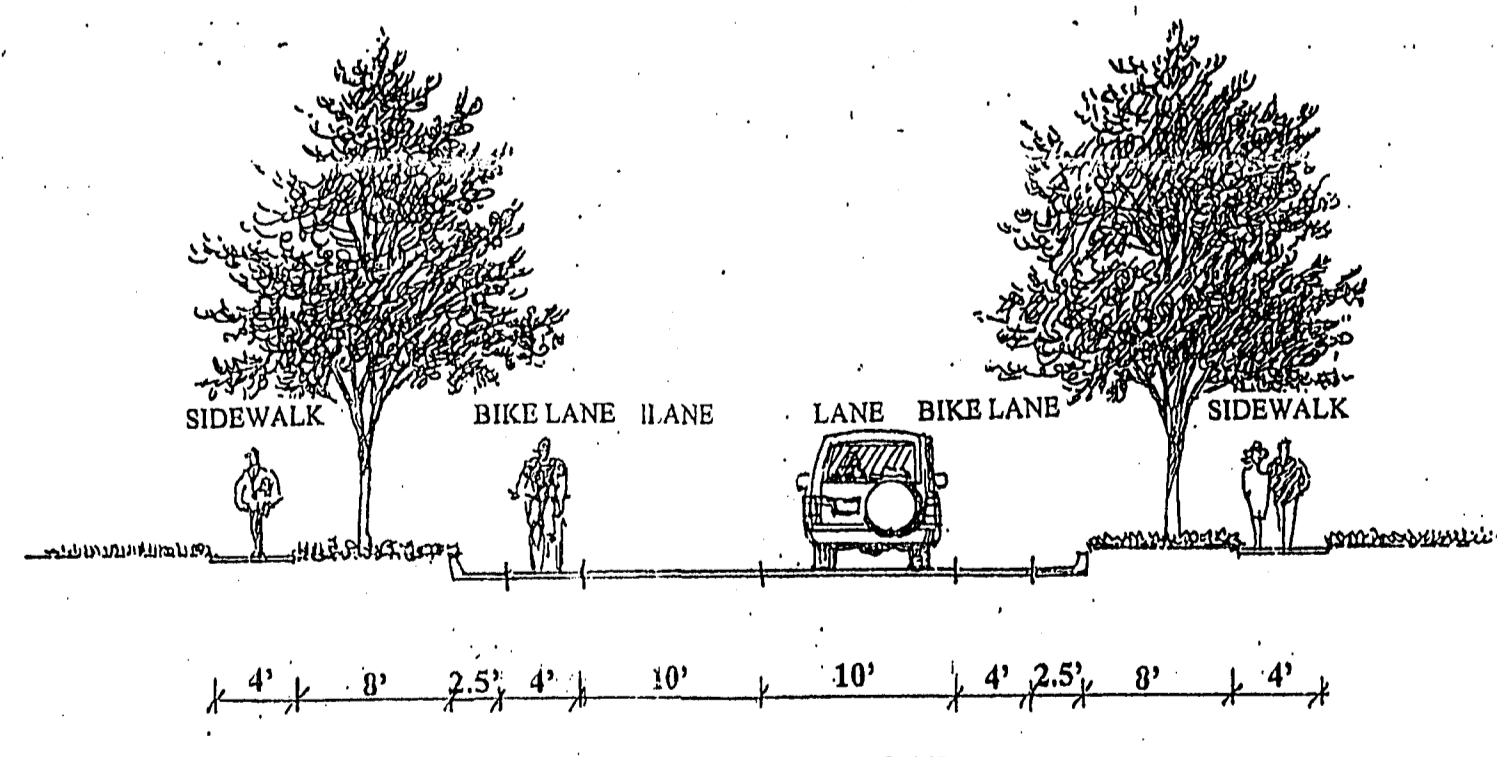
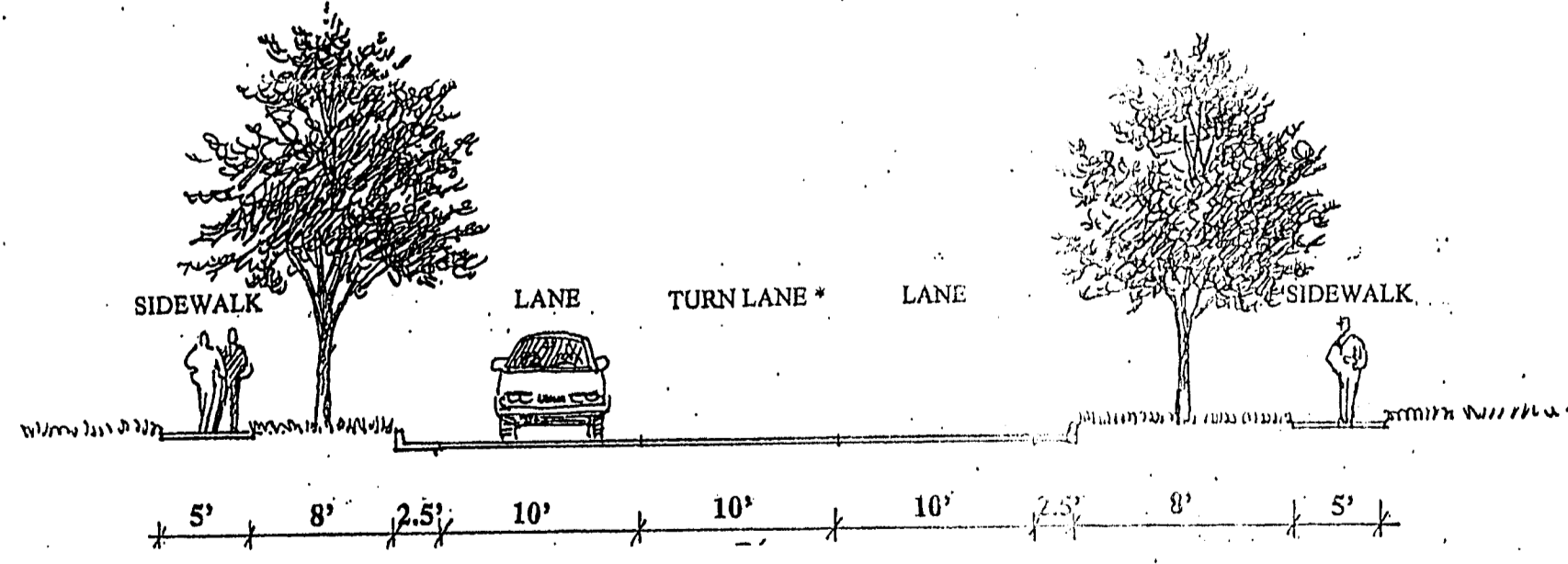


STEELE CREEK DIXIE/ BERRYHILL CONCEPT PLAN



DATE	1/21/03
TIME	1:00 PM
SCALE	1" = 400'
PROJECT	STEELE CREEK
SHEET NO.	1 OF 1

NO.	DATE	DESCRIPTION
1	1/21/03	CONCEPT PLAN

Concept Plan
Steele Creek
Mecklenburg County
North Carolina
Pappas Properties

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: January 24, 2003
BY: MARTIN R. CRAMTON, JR.
LandDesign, Inc.
Landscape Architecture
Urban Design
Civil Engineering

2001-d(c) + 2001-30

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: April 22, 2005

TO: Katrina Young
Interim Zoning Administrator

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition 2001-06(c) and 2001-30 by Pappas Properties.

Attached are revised plans and Development notes for the above rezoning petitions. The plans and notes have been revised to reflect revised roadway alignments. Since these changes are minor, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of occupancy.

Note that the edge condition/buffer plan from the original approval still applies.

**CHARLOTTE - MECKLENBURG
PLANNING COMMISSION**

INTER - OFFICE COMMUNICATION

DATE: April 27, 2005

TO: Katrina Young
Interim Zoning Administrator

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition 2001-06(c) and 2001-30 by Pappas Properties.

Attached are revised plans for the above rezoning petitions. The plans have been revised to remove the buffer requirement along a portion of Windygap Road and the northern property line on Parcel E. The lots on this parcel will front Windygap Road. Since these changes are minor, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of occupancy.

Note that the edge condition/buffer plan from the original approval still applies.

Note all other ordinance requirements still apply.



Charlotte-Mecklenburg Planning Department

DATE: July 29, 2011

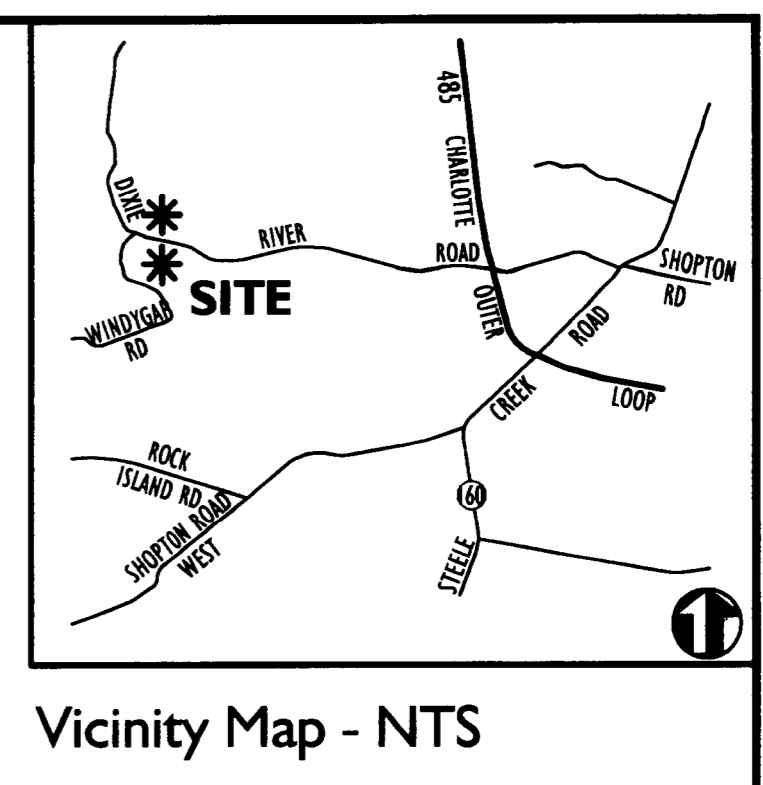
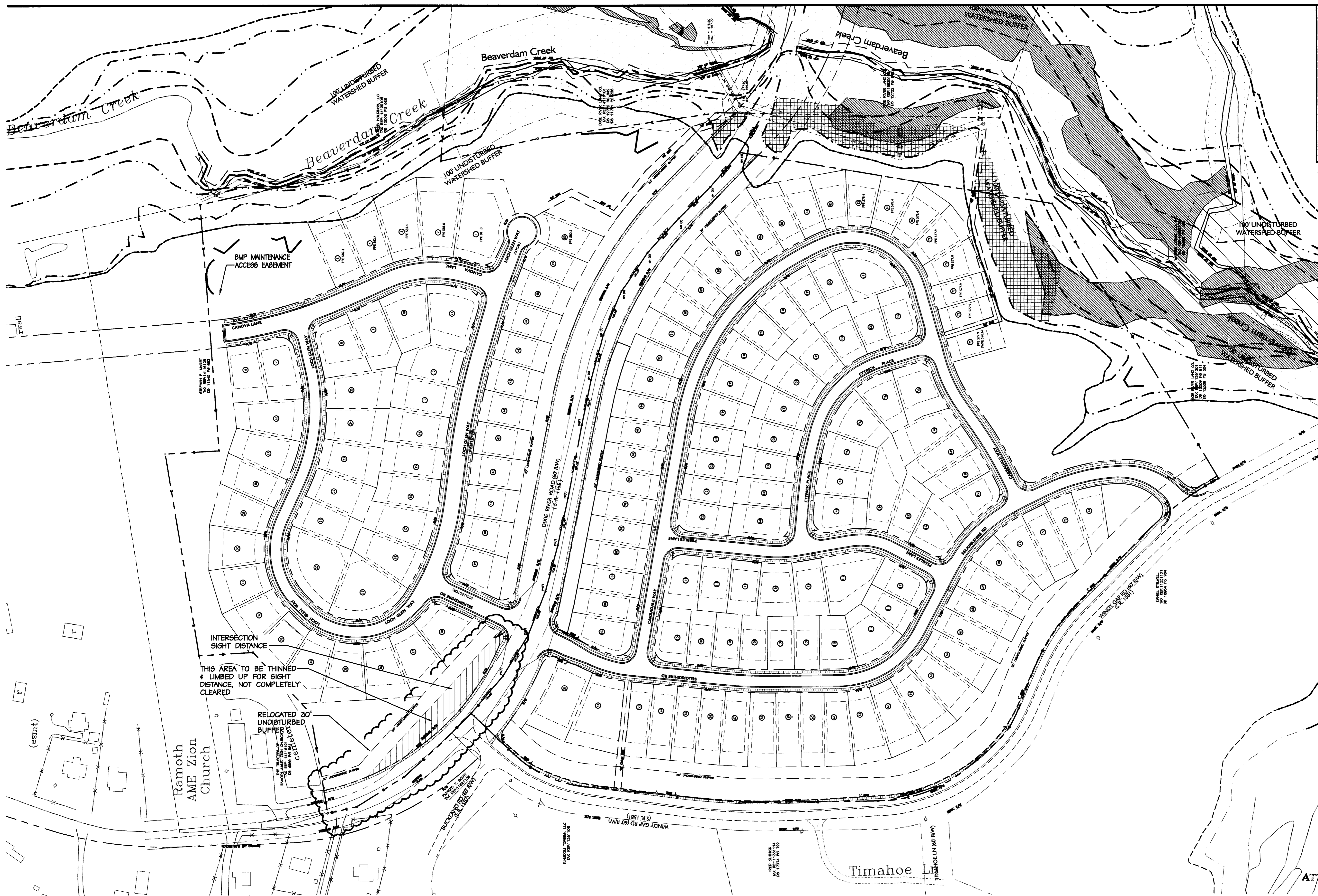
TO: Mark Fowler
Zoning Supervisor

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-030 & 2001-006(C) Pappas Properties

Attached is a revised site plan for the above referenced rezoning petition. The site plan shows the proposed 30 foot buffer being adjusted out of the sight triangle and sight distance. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance and conditional requirements still apply.



LEGEND

⊕	EXISTING SIGN
⊙	EXISTING IRON PIN
⊚	EXISTING LIGHT POLE
⊛	EXISTING FIRE HYDRANT
⊜	EXISTING UTILITY POLE
⊝	EXISTING FENCE
⊞	EXISTING UNDERGROUND ELECTRIC LINE
⊟	EXISTING OVERHEAD POWER LINE
R/W	RIGHT-OF-WAY
ACG	ACCESSIBLE RAMP
⊘	EXISTING TREE TO REMAIN
⊙	EXISTING CURB AND GUTTER
⊚	PROPOSED CURB AND GUTTER
⊛	PROPERTY LINE
⊜	CENTERLINE
⊝	LOT NUMBER
⊞	STREET SIGN
⊟	STOP SIGN
⊠	CONCRETE BIOWALK
⊡	LIMITS OF CONSTRUCTION
⊢	PROPOSED TREE PROTECTION
⊣	PROPOSED RETAINING WALL
⊤	UN-DETAIN DRAINAGE

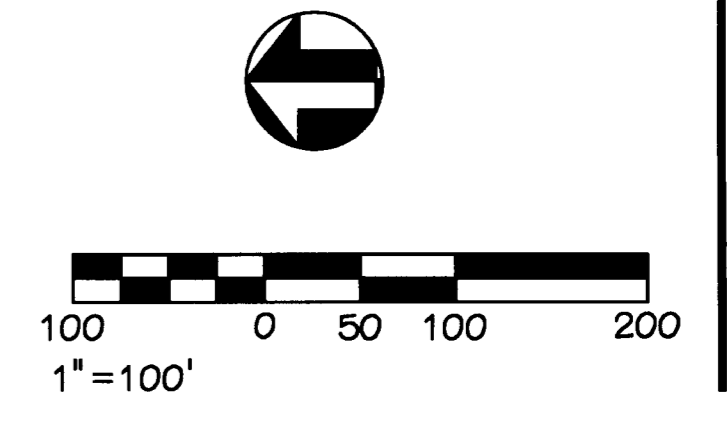
SITE SOLUTIONS
 2 3 2 0
 W. Morehead Street
 Charlotte, NC 28208
 Landscape Architecture
 Site Planning
 Civil Engineering
 www.sitesolutionspa.com
 Telephone: 704-521-9880
 Facsimile: 704-521-8955

Seal:
 Corp. NC License C-1398

Berewick - Phase 8
Village of Selkirk at Berewick
KLP Selkirk LLC
 Charlotte, North Carolina

Project No: 2601A
 Drawn By: S.S.
 Designed By: S.S.
 Checked By: P. Hobbs
 Date: 2011
 Revisions:
 Rev. 30' Undist. Buffer 07.20.2011

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: 7-29-2011 BY: DEBRA D. CAMPBELL



AMENDMENT TO REZONING PETITIONS
 NUMBER 2001-30 & 2001-006(C)



Charlotte-Mecklenburg Planning Department

DATE: July 29, 2011
TO: Mark Fowler, Zoning Supervisor
FROM: Debra Campbell, Planning Director
SUBJECT: Administrative Approval for Petition No. 2001-030 & 2001-006(C) Pappas Properties

Attached is a revised site plan for the above referenced rezoning petition. The site plan shows the proposed 30 foot buffer being adjusted out of the sight triangle and sight distance. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance and conditional requirements still apply.