

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: June 10, 2004

TO: Robert Brandon,
Zoning Administrator

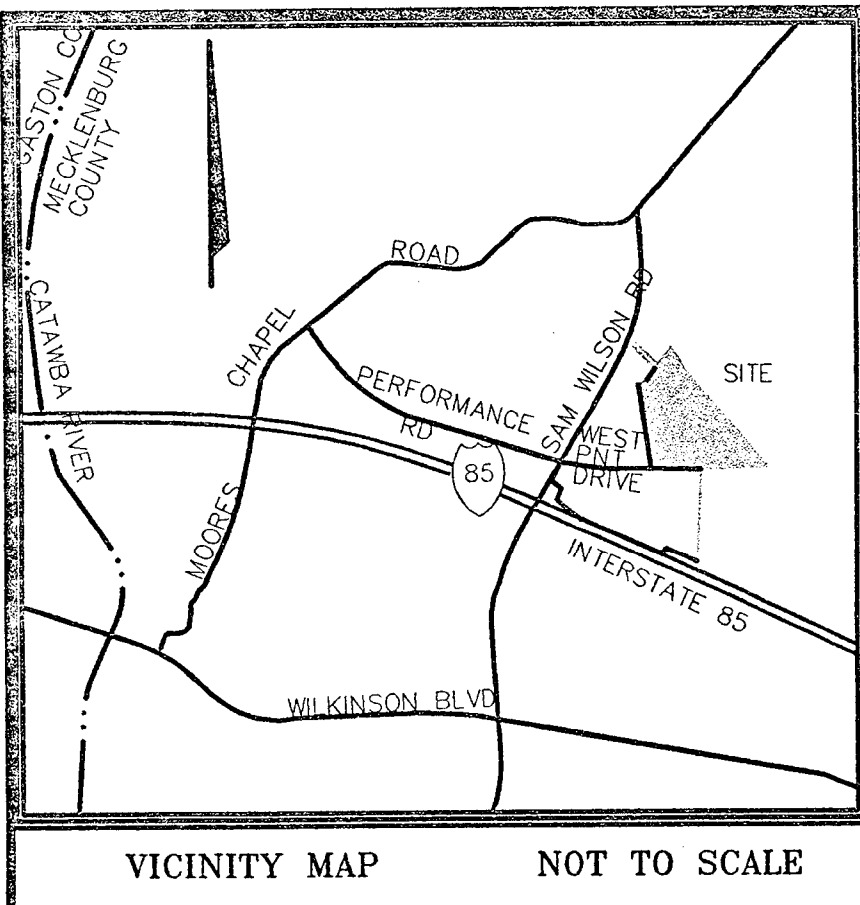
FROM: Debra Campbell,
Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-38 (Tax Parcel 055-211-40)

Attached are a technical data sheet and illustrative plan for the West Pointe Business Park Phase II development on the aforementioned rezoning petition. The first request is to amend Note #7 to allow the maximum building height of 40 feet to be exceeded with an increase in the side and rear yards of one-foot for every one-foot of building height in excess of 40-feet where the site abuts a residential zoning classification or use, per Section 9.1105. The second request is to amend Note #11 to reflect a change in the timing requirement for dedication of additional right-of-way. The verbiage now ties the dedication to the recordation of the final plats for the required public street access points instead of being required prior to the issuance of a building permit.

Since these are minor changes that do not alter the intent of the development, I am administratively approving this plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.

WEST POINTE BUSINESS PARK PHASE II CHARLOTTE, NORTH CAROLINA



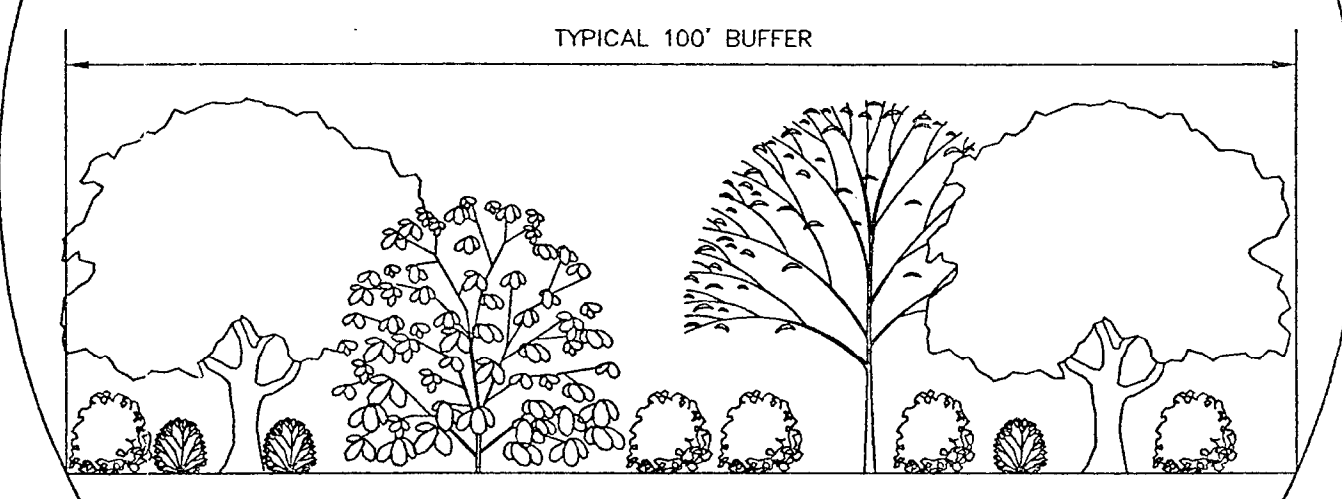
VICINITY MAP NOT TO SCALE

ATTACHED TO ADMINISTRATIVE APPROVAL

DATE: June 10, 2004

BY: DEBRA D. CAMPBELL

2001-038



TYPICAL BUFFER WITH EXISTING VEGETATION

GENERAL NOTES:

1. A FUTURE SECONDARY CONNECTION CAN BE MADE TO SAM WILSON ROAD. THE PROPOSED ROADWAY WILL EXTEND THROUGH THE EXISTING RIGHT-OF-WAY AS SHOWN ON THE TECHNICAL DATA SHEET.
2. ALL LANDSCAPING SHALL MEET OR EXCEED THE MECKLENBURG COUNTY TREE ORDINANCE.

CHARLOTTE I-85 ASSOCIATES

53+ ACRE SITE
I-1 (CD) ZONING
PROPOSED BUILDING AREA - 635,000 SQUARE FEET

DEVELOPMENT CONDITIONS

1. THE CONDITIONAL SITE PLAN IS COMPOSED OF THIS TECHNICAL DATA SHEET (RZ1.1) AND THE ILLUSTRATIVE SITE PLAN (RZ1.2) AS REVISED JANUARY 15, 2001. THESE REVISED PLANS ARE AMENDMENTS TO THE PREVIOUS TECHNICAL DATA SHEET AND ILLUSTRATIVE SITE PLAN BY STANTEC/OSATLANTIC DATED JULY 16, 1999. HERINAFTER IN THIS LIST OF DEVELOPMENT CONDITIONS, ANY REFERENCE TO THE TECHNICAL DATA SHEET AND ILLUSTRATIVE SITE PLAN SHALL BE TO THESE REVISED VERSIONS. THE ILLUSTRATIVE SITE PLAN IS A COMPANION DOCUMENT TO THE TECHNICAL DATA SHEET AND IS INTENDED TO DEPICT A POSSIBLE DEVELOPMENT SCENARIO. MINOR CHANGES TO THE PLAN INVOLVING BUILDING SHAPE AND ARRANGEMENT AS WELL AS PARKING AND CIRCULATION AREAS ARE PERMITTED. HOWEVER, SHOULD SUBSTANTIAL CHANGES BE NECESSARY WITH RESPECT TO THE DEVELOPMENT OF THE OVERALL SITE, FOR EXAMPLE A CHANGE WHICH INCLUDED THE SUBMISSION OF THE PROPERTY INTO SEVERAL DEVELOPMENT TRACTS AND RELATED INDIVIDUAL BUILDING SITES, SUCH CHANGES SHALL BE PERMITTED ONLY AFTER AN ADMINISTRATIVE REVIEW AND APPROVAL BY THE PLANNING STAFF. IN NO EVENT, THOUGH, SHALL THE MAXIMUM AMOUNT OF BUILDING SQUARE FOOTAGE EXCEEDED NOR SHALL MINIMUM BUFFER AREAS AND PERIMETER SETBACK DIMENSIONS BE REDUCED AS SHOWN ON THE TECHNICAL DATA SHEET.

2. IN EVALUATING REQUESTS FOR ADMINISTRATIVE CHANGES TO THE SITE PLAN THE PLANNING STAFF SHALL DETERMINE THAT SUCH CHANGES COMPLY WITH SECTION 6.206(2) OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
3. A LIGHT INDUSTRIAL DEVELOPMENT IS PROPOSED CONTAINING A MAXIMUM OF 635,000 SQUARE FEET OF BUILDING SPACE.
4. THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL REGULATORY STANDARDS WITH RESPECT TO SIGNAGE, OFF-STREET PARKING, SCREENING, LANDSCAPING AND BUFFER AREAS.

5. A REQUIRED BUFFER AREA MEASURING A MINIMUM OF 100' IN DEPTH SHALL BE ESTABLISHED AROUND THE PERIMETER OF THE SITE IN ACCORDANCE WITH SECTION 12.302 OF THE CITY OF CHARLOTTE ZONING ORDINANCE AS SHOWN ON THE TECHNICAL DATA SHEET AND ILLUSTRATIVE SITE PLAN. THIS BUFFER SHALL BE CLEARLY MARKED AND BARRICADED FOR SUCH DESIGNATION PRIOR TO ANY GRADING OF THE SITE. PERMITS FOR GRADING PLANS SHALL INDICATE THE BUFFER AREA. NO STORM WATER DETENTION SHALL BE ALLOWED IN THE BUFFER. IN THE EVENT THE ADJACENT PARCELS IDENTIFIED AS THE "MARLWAY TRACT" AND "PRICE TRACT" ON THE ILLUSTRATIVE SITE PLAN ARE RE-ZONED TO INDUSTRIAL OR OTHER ZONING DISTRICTS, A 100 FOOT BUFFER ALONG THE BOUNDARY OF THE MARLWAY TRACT OR PRICE TRACT AND SUBJECT TRACT SHALL BE REDUCED OR ELIMINATED ENTIRELY IN ACCORDANCE WITH ZONING ORDINANCE STANDARDS FOR BUFFERS. UTILITIES ARE ALLOWED TO CROSS BUFFERS AT 75 DEGREE ANGLE OR GREATER. THE BUFFER DESCRIBED ABOVE WILL BE A WOODLAND BUFFER. A WOODLAND BUFFER ALLOWS A LIMITED AMOUNT OF CLEARING TO PROMOTE THE GROWTH OF EXISTING VEGETATION AND/OR TO ENHANCE THE AESTHETIC APPEAL OF THE SITE. THE FOLLOWING WOULD BE ALLOWED IN A WOODLAND BUFFER: 1. HAND PRUNING ONLY. NO HEAVY EQUIPMENT OR VEHICLES ALLOWED IN THIS BUFFER (i.e. BULLDOZERS); 2. PLANT MATERIAL WHICH MAY BE REMOVED, SHALL BE CUT FLUSH WITH THE GROUND. NO DISTURBANCE OF THE SOIL WILL BE ALLOWED; 3. NO LIMB REMOVAL, WITH THE EXCEPTION OF DEAD OR DISEASED LIMBS; 4. WEEDS AND VINES MAY BE REMOVED; 5. TREES THAT MEASURE LESS THAN 2" CALIPER AT THE BASE THAT ARE CLEARLY WITHIN THE DRIP LINE OF A TREE THAT IS 2" OR GREATER MAY BE REMOVED. DRIP LINE IS DEFINED AS AN IMAGINARY LINE ON THE GROUND THAT WOULD FORM THE PERIMETER OF THE TREE'S CANOPY; 6. DEAD TREES AND MATERIALS MAY BE REMOVED. DISCARDED TREES MAY BE REMOVED AT THE DISCRETION OF THE ARBORIST/FORESTER; 7. MULCH MAY BE APPLIED TO THE WOODLAND BUFFER. KEEP MULCH 2-3" AWAY FROM THE BARK OF TREES.

6. IN THE EVENT THAT ANY PART OF THE BUFFER IS DETERMINED BY STAFF TO BE INSUFFICIENT TO MEET ORDINANCE STANDARDS, THEN ADDITIONAL PLANTINGS AND/OR FENCING SUFFICIENT TO COMPLY WITH ORDINANCE REQUIREMENTS SHALL BE ESTABLISHED PRIOR TO THE ISSUANCE OF ANY FINAL CERTIFICATES OF OCCUPANCY.
7. ANY BUILDING OR BUILDINGS CONSTRUCTED ON SITE SHALL BE A MAXIMUM OF THREE STORES IN HEIGHT. NO SUCH BUILDING SHALL EXCEED 40' IN HEIGHT. NO SUCH BUILDING SHALL INCREASE THE SIDE AND REAR YARDS 1 FOOT FOR EACH 10' OF BUILDING HEIGHT IN EXCESS OF 10 FEET ABOVE A RESIDENTIAL ZONING OR USE DISTRICT.
8. ALL SERVICE AREAS, LOADING DOCKS, ETC. SHALL BE SCREENED FROM VIEW, INCLUDING PUBLIC STREETS. SCREENING METHODS SHALL COMPLY WITH SECTION 12.303 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.

9. THE SECONDARY INGRESS AND EGRESS POINT INTO THE SITE SHALL BE LOCATED AT A PROPOSED NEW ENTRANCE ON SAM WILSON ROAD APPROXIMATELY 2200' +/- NORTH OF THE INTERSECTION OF WEST POINTE DRIVE, (S.R. 1626) AND SAM WILSON ROAD. THIS SECONDARY INGRESS AND EGRESS POINT, AS SHOWN ON THE ILLUSTRATIVE SITE PLAN, MUST BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY WHEN MORE THAN 230,000 SQUARE FEET OF BUILDING AREA IS DEVELOPED ON THE SITE. THE SECONDARY INGRESS AND EGRESS POINT TO THE SITE SHALL BE FOR FULL MOVEMENT ACCESS. THE ENGINEERING DESIGN AND CONSTRUCTION OF THE TURN LANES ARE THE RESPONSIBILITY OF THE DEVELOPER. IN THE EVENT THAT THE DEVELOPER IS UNABLE TO ACQUIRE THE NECESSARY RIGHT-OF-WAY AFTER MAKING A REASONABLE ATTEMPT, THE CITY OF CHARLOTTE SHALL BE RESPONSIBLE FOR THE CONDEMNATION OF ANY NECESSARY RIGHT-OF-WAY AND THE DEVELOPER SHALL REIMBURSE THE CITY OF CHARLOTTE FOR THE ACQUISITION COST OF NECESSARY RIGHT-OF-WAY IN ACCORDANCE WITH TYPICAL PROCEDURES FOR SUCH ACTION.

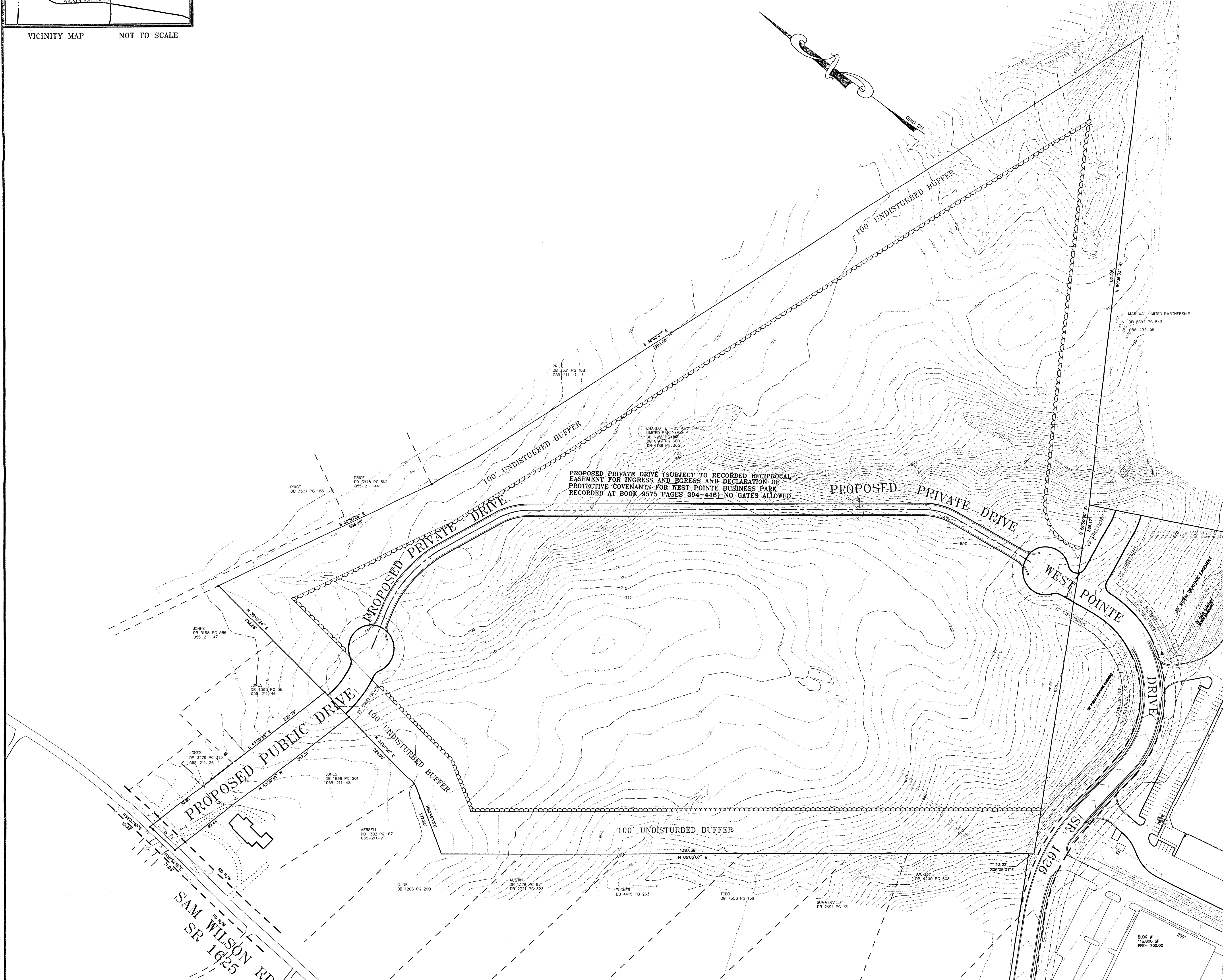
10. WEST POINTE DRIVE (S.R. 1626) SHALL BE EXTENDED AS A PUBLIC STREET FROM ITS PRESENT TERMINUS INTO THE SITE AS GENERALLY SHOWN ON THE ILLUSTRATIVE SITE PLAN. A PUBLIC STREET CONNECTION SHALL ALSO BE PROVIDED TO THE ADJOINING LAND-LOCKED PARCEL AS PER SUBDIVISION REGULATIONS IN THE GENERAL AREA SHOWN ON THE ILLUSTRATIVE SITE PLAN. THE PRECISE ALIGNMENT AND EXTENSION OF WEST POINTE DRIVE AND THE PUBLIC STREET CONNECTION TO THE LAND-LOCKED PARCEL (055-232-05) WILL BE DETERMINED AT THE TIME FINAL PLANS FOR THE DEVELOPMENT OF THE SITE ARE SUBMITTED FOR REVIEW AND APPROVAL FOR DEVELOPMENT PERMITS. ALL CONSTRUCTION, DESIGN AND STREET ALIGNMENTS/CONNECTIONS AS DESCRIBED ABOVE SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL SUBDIVISION REGULATIONS.

11. AN ADDITIONAL 10' OF RIGHT-OF-WAY ADJACENT TO SAM WILSON ROAD AT THE PROJECT ENTRANCE SHALL BE DEDICATED. DEDICATION SHALL OCCUR AT THE TIME OF THE RECORDATION OF THE FINAL PLANS FOR THE REQUIRED PUBLIC STREET ACCESS POINTS.

12. INTERIOR PARKING LOTS WILL BE LANDSCAPED PER CHAPTER 21 OF THE CITY OF CHARLOTTE ORDINANCE.

13. IF WARRANTED, THE DEVELOPER SHALL PROVIDE A RIGHT TURN DECELERATION LANE AND A SOUTH BOUND LEFT TURN DECELERATION LANE WITHIN THE EXISTING SAM WILSON ROAD RIGHT-OF-WAY BASED UPON THE ACTUAL TRAFFIC CHARACTERISTICS OF THE FUTURE LAND USE AND SQUARE FEET OF OCCUPANCY. THE REQUIREMENT FOR THE NEED OF SUCH LANES SHALL BE DETERMINED BY THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT AND/OR OTHER APPLICABLE AGENCIES AT THE TIME OF THE DEVELOPMENT OF THE SITE UTILIZING NORMAL STANDARDS/METHODS FOR CALCULATING VEHICULAR TRIP GENERATION.

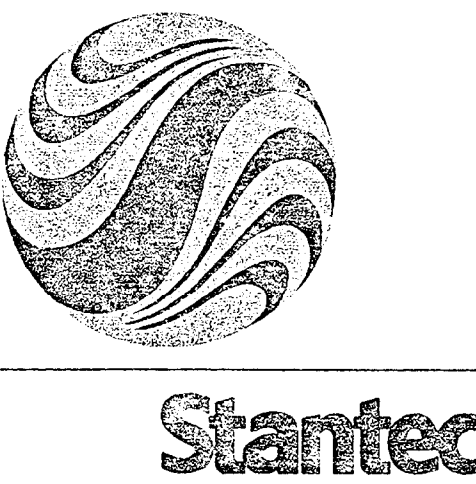
14. THE MAXIMUM HEIGHT OF PARKING LOT LIGHTS SHALL BE 35 FEET.
15. THE DEVELOPER SHALL PROVIDE SIDEWALKS FROM THE END OF THE CUL-DE-SACS TO THE PROPOSED BUILDINGS AS SPECIFICALLY SHOWN ON THE ILLUSTRATIVE PLAN.



PROPOSED PRIVATE DRIVE (SUBJECT TO RECORDED RECIPROCAL EASEMENT FOR INGRESS AND EGRESS AND DECLARATION OF PROTECTIVE COVENANTS FOR WEST POINTE BUSINESS PARK RECORDED AT BOOK 9675 PAGES 394-440. NO GATES ALLOWED.)

SITE DATA
TOTAL SITE AREA: 52.97 ACRES
EXISTING ZONING: I-1 (CD)
PROPOSED BUILDING SQUARE FOOTAGE: 635,000 S.F.
PROPOSED USES: ALL USES PERMITTED IN THE I-1 DISTRICT (EXCEPT HOTELS/MOTELS)

OWNER: CHARLOTTE I-85 ASSOCIATES, LTD. PARTNERSHIP
DEVELOPER: AMERICAN DEVELOPMENT SERVICES CORPORATION
5454 WISCONSIN AVENUE
CHEVY CHASE, MD 20815-3522



APPROVED BY CITY COUNCIL
DATE: 5/24/04

01-36
6-15-01

WEST POINTE BUSINESS PARK
PHASE II
CHARLOTTE, NORTH CAROLINA
C/O AMERICAN DEVELOPMENT SERVICES, CORP.
5454 WISCONSIN AVENUE
WASHINGTON, DC 20815

FOR PUBLIC HEARING PETITION
01-38

TECHNICAL DATA SHEET

NO.	DATE	DESCRIPTION
1	8/5/99	PLANNING COMMISSION
2	1/15/01	BUILDING CHANGE
3	2/14/01	PRIVATE DRIVE ADDITION
4	2/15/01	PRIVATE DRIVE ADDITION
5	3/19/01	REVISIONS PER OWNER
6	4/20/01	REVISIONS PER OWNER
7	6/08/01	REVISIONS PER PLANNING
8	6/07/04	BUILDING HEIGHT CHANGE

PROJECT NO.: 73200108

DESIGNED BY: REE

DRAWN BY: REE

DATE: 1/15/01

RZ1.1

OF 2

CADD # ADD010-0210.DWG

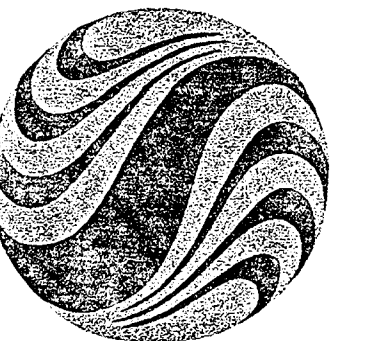
CHARLOTTE - MECKLENBURG
PLANNING COMMISSION
INTER - OFFICE COMMUNICATION

DATE: June 10, 2004
FROM: Debra Campbell, Planning Director
TO: Robert Brandon, Zoning Administrator
SUBJECT: Administrative Approval for Petition No. 2001-38 (Tax Parcel 055-211-40)

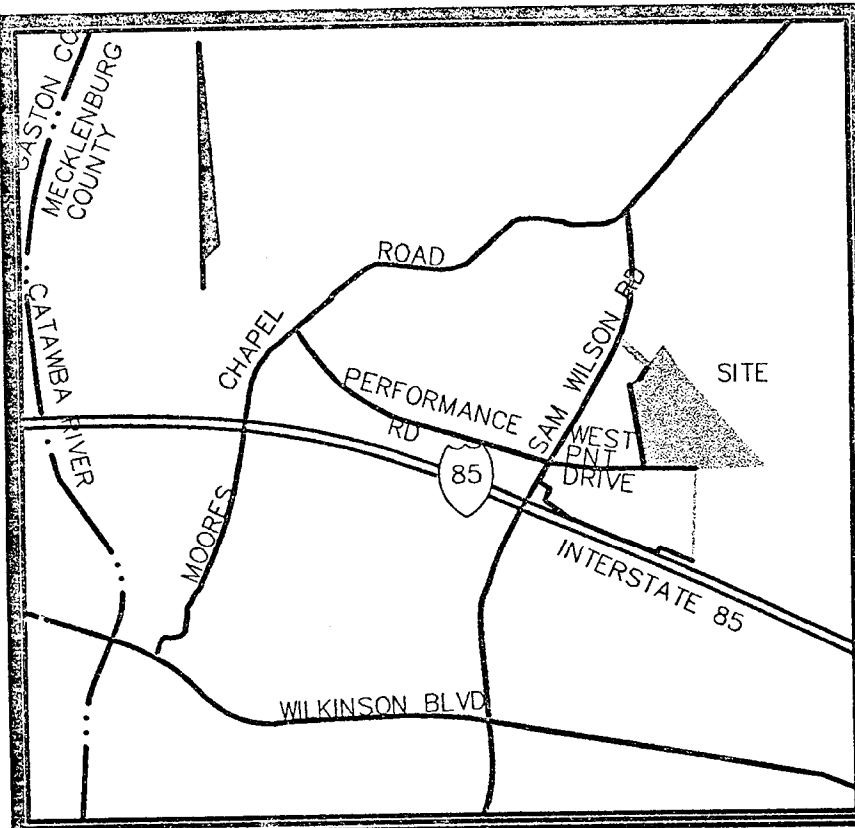
Attached are a technical data sheet and illustrative plan for the West Pointe Business Park Phase II development on the aforementioned rezoning petition. The first request is to amend Note #7 to allow the maximum building height of 40 feet to be exceeded with an increase in the side and rear yards of one-foot for every one-foot of building height in excess of 40-feet where the site abuts a residential zoning classification or use, per Section 9.1105. The second request is to amend Note #11 to reflect a change in the timing requirement for dedication of additional right-of-way. The verbiage now ties the dedication to the recordation of the final plans for the required public street access points instead of being required prior to the issuance of a building permit.

Since these are minor changes that do not alter the intent of the development, I am administratively approving this plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.

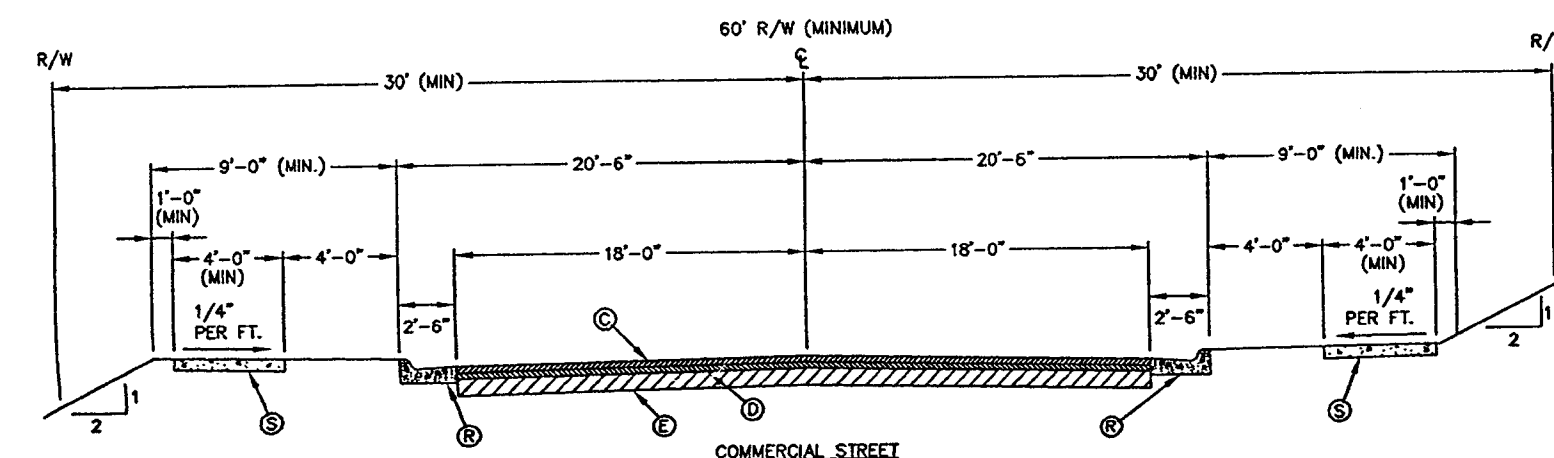
WEST POINTE BUSINESS PARK PHASE II CHARLOTTE, NORTH CAROLINA



Stantec



VICINITY MAP NOT TO SCALE

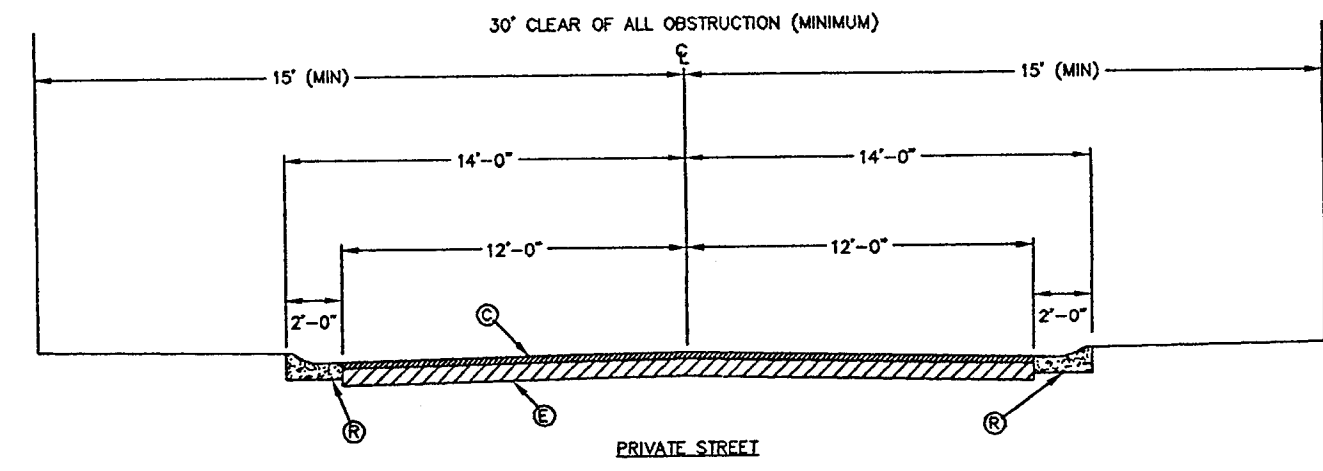


ELEVATION DIFFERENCES BETWEEN TOP OF CURB AND FINISH GRADE AT 5' TO FINISH GRADE OF 1' FOR STORAGE FOR HB	
SUBGRADE	- 12" - 7"
BASE COURSE	- 2" - 2"
BINDER COURSE	0" - 0"

- PAVEMENT SCHEDULE**
- ① 2" BITUMINOUS CONCRETE SURFACE COURSE, TYPE I-1
 - ② 2" BITUMINOUS CONCRETE BINDER COURSE, TYPE H
 - ③ 12" COMPACTED AGGREGATE BASE COURSE
 - ④ 8" BITUMINOUS CONCRETE BASE COURSE, TYPE HB
 - ⑤ 2"-6" CURB AND GUTTER
 - ⑥ 4" CONCRETE SIDEWALK

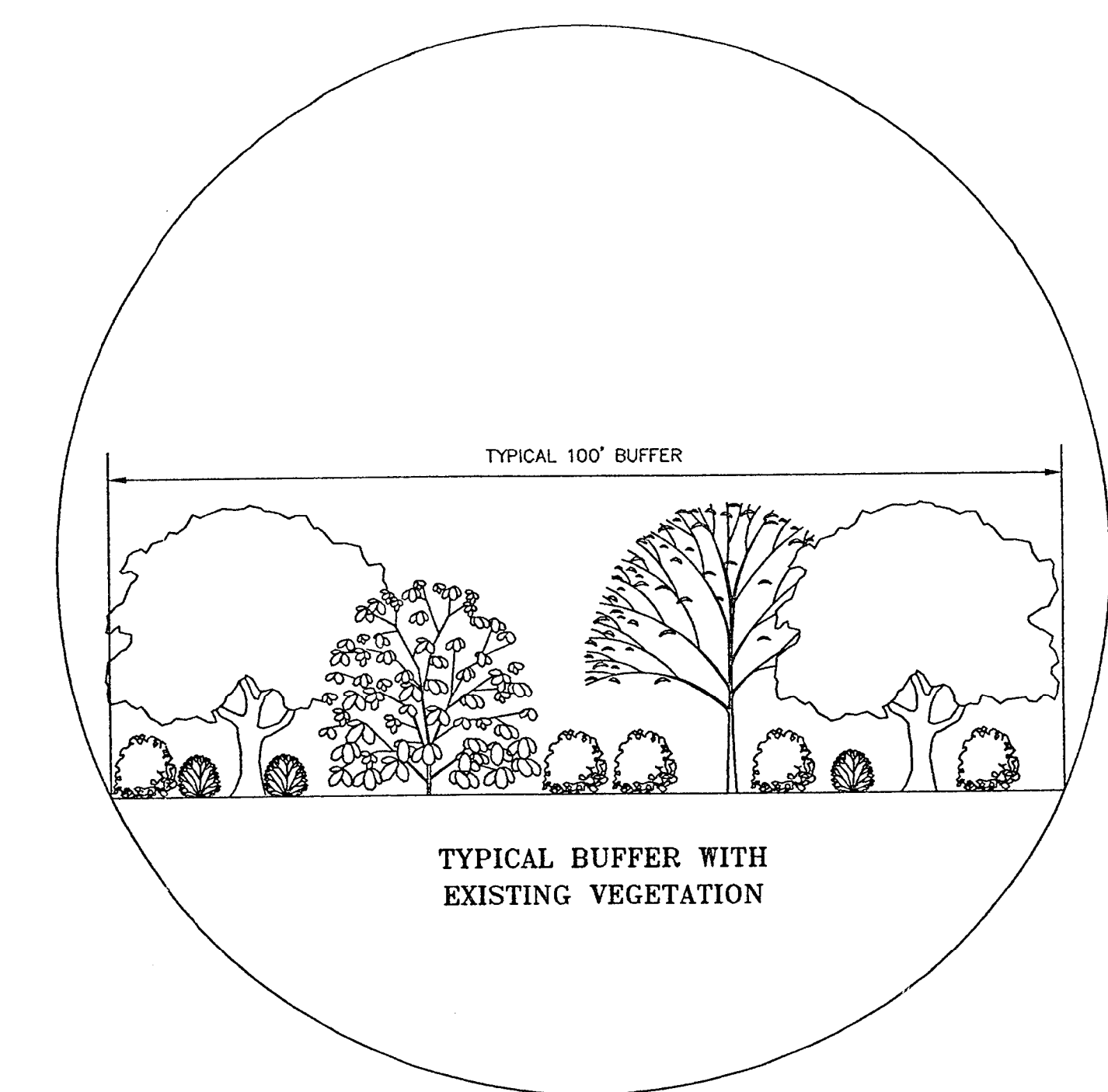
- GENERAL NOTES:**
1. 2-INCH BITUMINOUS CONCRETE BINDER COURSE, TYPE H IS TO BE PLACED IMMEDIATELY FOLLOWING PREPARATION OF A.B.C. PLANT MIX TO MEET MOIST SPECIFICATIONS.
 2. 2-INCH BITUMINOUS SURFACE COURSE, TYPE I-1, IS TO BE PLACED FOLLOWING BINDER COURSE.
 3. DEVELOPER MAY SUBMIT AN ALTERNATE PAVEMENT SCHEDULE. ALL PERTINENT INFORMATION MAY BE SUBMITTED TO THE APPROPRIATE CITY/COUNTY ENGINEERING DEPT. FOR OFFICE DEVELOPMENT. I-2 SHALL BE USED IN LIEU OF I-1.
 4. THE CROWN (TRANSVERSE SLOPE) FOR THE TYPICAL SECTION ON THIS SHEET IS 1/4" PER FOOT.

WEST POINTE & PUBLIC DRIVES
TYPICAL SECTION



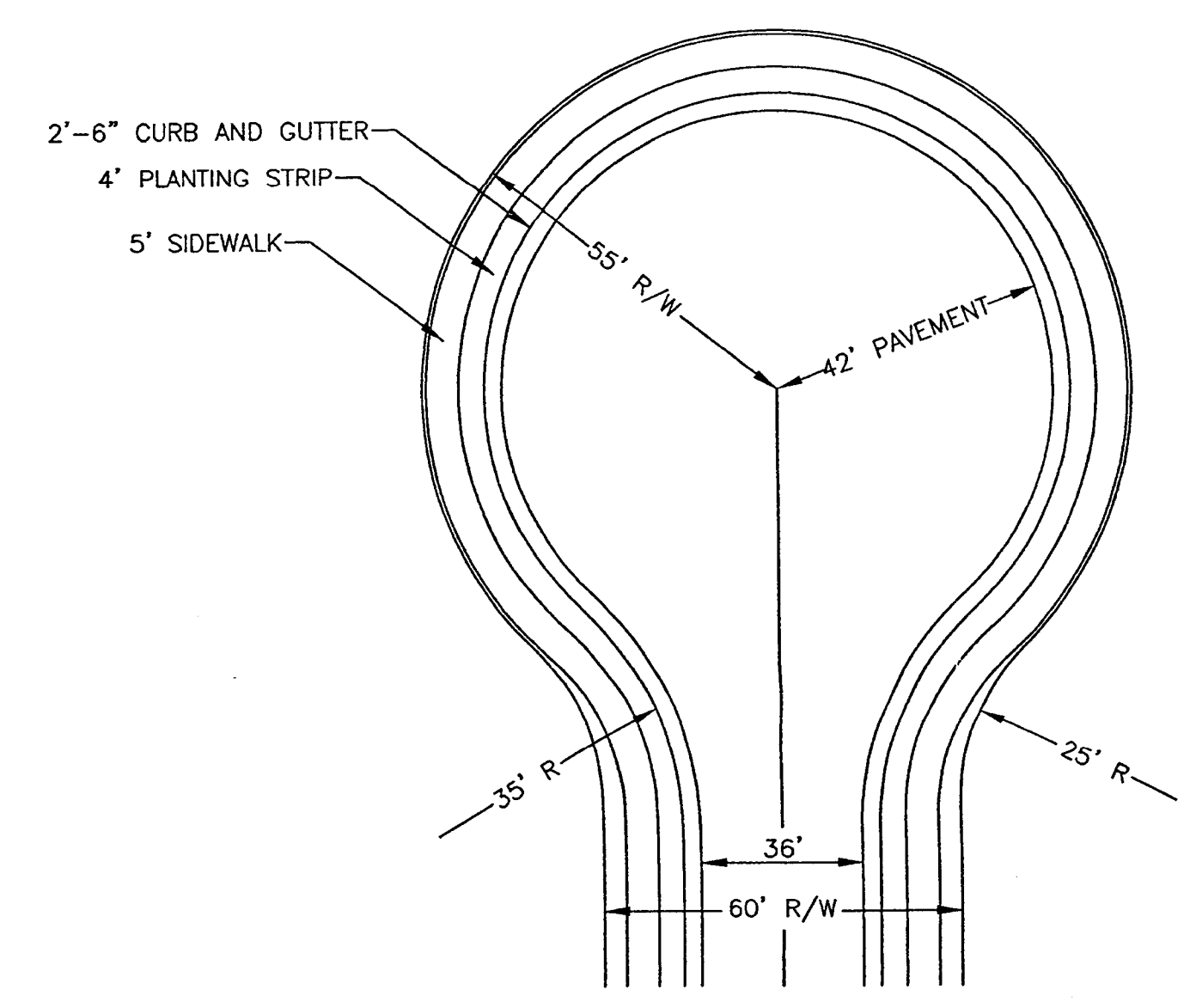
- PAVEMENT SCHEDULE**
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 - ④ 2"-6" VALLEY CURB AND GUTTER

PRIVATE DRIVE
TYPICAL SECTION



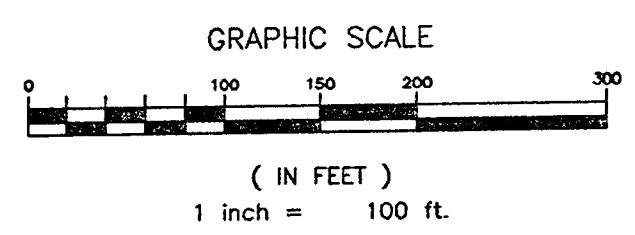
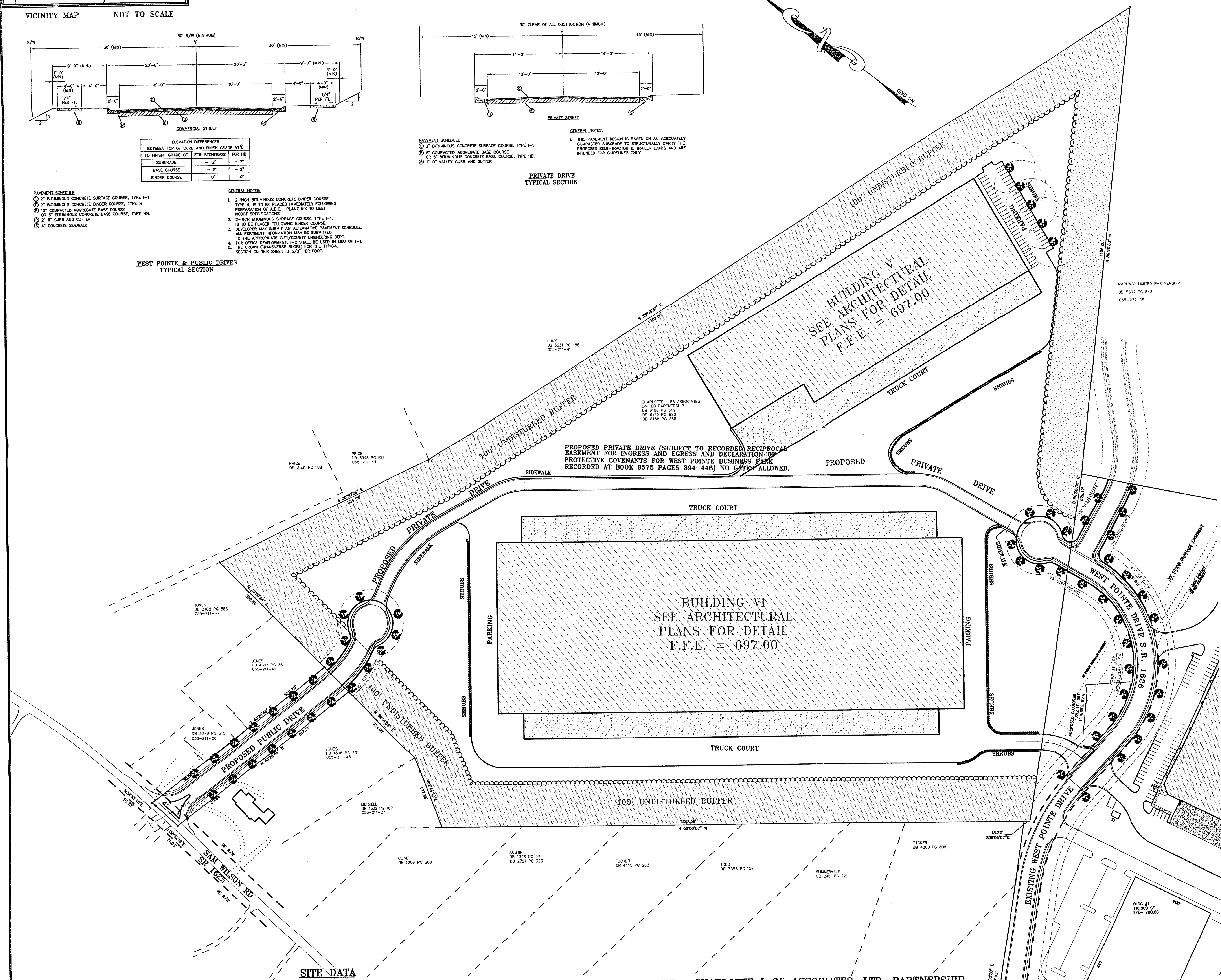
TYPICAL BUFFER WITH
EXISTING VEGETATION

- GENERAL NOTES:**
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 2. ALL LANDSCAPING SHALL MEET OR EXCEED THE MECKLENBURG COUNTY TREE ORDINANCE.



- NOTES:**
1. ALTERNATIVE CUL-DE-SAC DESIGNS, INCLUDING ISLANDS SHALL BE SUBMITTED TO THE APPROPRIATE CITY/COUNTY ENGINEERING DEPARTMENT (& CDOT IN THE CITY) FOR APPROVAL.
 2. PAVEMENT SECTION SHALL CONFORM WITH THE DESIGN REQUIREMENTS FOR COMMERCIAL STREETS.
 3. THE CROWN FOR PAVEMENT SHALL BE 1/4" PER FT FROM THE CENTER OF THE CUL-DE-SAC.

COMMERCIAL
CUL-DE-SAC DETAIL



SITE DATA
 TOTAL SITE AREA: 52.97 ACRES
 EXISTING ZONING: I-1 (CD)
 PROPOSED BUILDING SQUARE FOOTAGE: 635,000 S.F.
 PROPOSED USES: ALL USES PERMITTED IN THE I-1 DISTRICT
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WEST POINTE BUSINESS PARK
 PHASE II
 CHARLOTTE, NORTH CAROLINA
 C/O AMERICAN DEVELOPMENT SERVICES, CORP.
 5454 WISCONSIN AVENUE
 WASHINGTON, DC 20815

ILLUSTRATIVE
 PLAN

ISSUE SEQUENCE	
NO.	DESCRIPTION
1	8/6/99 PLANNING COMMISSION
2	1/15/01 BUILDING CHANGE
3	2/14/01 PRIVATE DRIVE ADDITION
4	2/15/01 PRIVATE DRIVE ADDITION
5	3/15/01 REVISIONS PER OWNER
6	4/20/01 REVISIONS PER OWNER

PROJECT NO.: ADC010.000
 732.00.008
 DESIGNED BY: REE
 DRAWN BY: REE
 DATE: 1/15/01

RZ1.2
 OF 2

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: October 12, 2004

TO: Robert Brandon,
Zoning Administrator

FROM: Debra Campbell,
Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-38 (Tax Parcel 055-211-40)

Attached are a technical data sheet and illustrative plan for the West Pointe Business Park Phase II development on the aforementioned rezoning petition. The plan has been revised to allow the option to bond the secondary ingress and egress point from Sam Wilson Road.

Since this is a minor change that does not alter the intent of the development, I am administratively approving this plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance requirements still apply.

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: November 1, 2004

TO: Robert Brandon,
Zoning Administrator

FROM: Debra Campbell,
Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-38 (Tax Parcel 055-211-40)

Attached are a technical data sheet and illustrative plan for the West Pointe Business Park Phase II development on the aforementioned rezoning petition. The plan has been revised to allow the option to bond the private drive. Since this is a minor change that does not alter the intent of the development, I am administratively approving this plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance requirements still apply.