

**Administrative Amendment Application**  
**City of Charlotte**

**Application for an Administrative Amendment to a previously approved conditional zoning district as per Section 6.207 of the City of Charlotte Zoning Ordinance.**

**ZONING INFORMATION:**

Associated rezoning petition Number: 02-49 Zoning: B-1 CD

Purpose of Administrative Amendment: *(Indicate all proposed changes):*

Request to install eight (8) electric car charging stations; four (4) SuperCharger equipment cabinets; switchgear; and a transformer at Cochran Commons, 2720 W Mallard Creek Church Rd.

**GENERAL INFORMATION:**

Property Owner: Columbia Cochran Commons LLC, c/o Regency Centers

Owner's Address: PO Box 790830 City, State, Zip: San Antonio, TX 78279-0830

Tax Parcel Number(s): 02901106

Location of Property: 2720 W Mallard Creek Church Rd, Charlotte

See Letter of Authorization *Andrea Mansour*  
Property Owner Signature  
(or person(s) authorized to sign on behalf of the property owner)

**CONTACT INFORMATION:**

Andrea Mansour  
Name of Contact

913-458-6773  
Telephone Number

mansoura@bv.com  
E-Mail Address

**LETTER OF AUTHORIZATION**

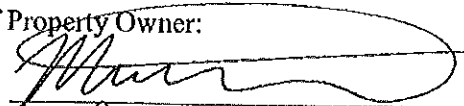
**APPLICATION FOR ZONING/USE/BUILDING PERMIT**

The undersigned, Columbia Cochran Commons LLC, of the below described Property ("Owner"), does hereby authorize Tesla Motors, Black & Veatch, and its employees, agents and contractors, as Owner's agent for the purpose of filing and completing any approval or application necessary to ensure its ability to use and/or construct improvements to the Property leased or licensed to it for the purpose of installing electric car charging stations; required equipment and ancillary elements and support structures on the Property as Tesla Motors may require for its car charging facility. I understand that the application may be denied, modified or approved with conditions and that those conditions or modifications must be complied with prior to issuance of building permits. Owner hereby authorizes the employees of the City with jurisdiction to enter upon the Property during normal business hours as necessary to inspect the Property for the purpose of processing this application. Black & Veatch will be responsible for all costs, fees and expenses incurred in securing any approval.

Property Located at: 2720 West Mallard Creek Church Rd/Cochran Commons

Owner's Name (print): Columbia Cochran Commons LLC

Signature (and title, if applicable) of Property Owner:

Name: 

Title: XP

Date Executed: 9/12/14

Site #: NC007

Site Name: Charlotte



BLACK & VEATCH CORPORATION  
30150 TELEGRAPH ROAD, SUITE 355  
Bingham Farms, MI 48025  
(913) 458-6773 (Phone) | (248) 594-9337 (Fax)

VIA FEDEX PRIORITY OVERNIGHT

October 2, 2014

Solomon Fortune  
Charlotte-Mecklenburg Planning Department  
600 East Fourth Street – 8<sup>th</sup> Floor  
Charlotte, NC 28202

RE: Administrative Amendment Application  
Tesla Motors Electric Car Charging Stations  
Address: 2720 West Mallard Creek Church Road  
Charlotte, NC 28262  
Cochran Commons


Dear Mr. Fortune:

Enclosed please find the required documents pursuant to Tesla Motors request for an Administrative Amendment Application for the subject project. The documents enclosed include the Administrative Amendment application; four (4) copies of a schematic site plan dated September 29, 2014, including the items described in the "Instructions" section of the application; a Letter of Authorization signed by the property owner; a boundary and topographic survey; parking tabulation for Cochran Commons; and a check in the amount of five hundred dollars (\$500.00) for the application filing fee.

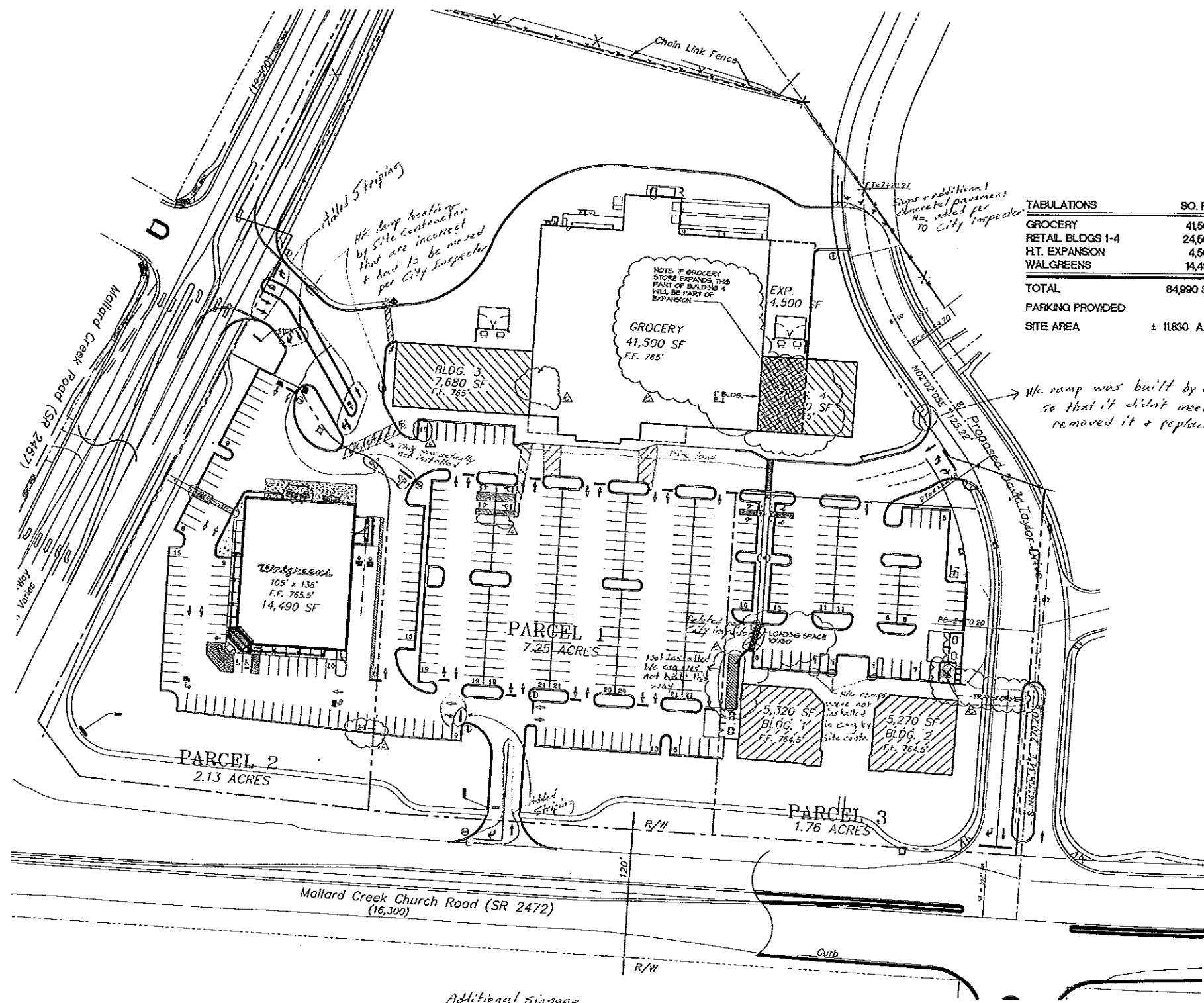
Please note that the Cochran Commons Center has provided 383 parking spaces. Three hundred forty (340) spaces are required. Tesla Motors is leasing ten (10) parking spaces, leaving 373 spaces available.

Please let me know if you need any additional information. Thank you for your assistance.

Sincerely,  
Black & Veatch Corporation

  
Andrea Mansour  
Site Acquisition  
[mansoura@bv.com](mailto:mansoura@bv.com)  
(913) 458-6773

Enclosures



TABULATIONS	SO. FT.	PRK'G REQ'D
GROCERY	41,500	166
RETAIL BLDGS 1-4	24,600	98
H.T. EXPANSION	4,500	18
WALGREENS	14,490	58
<b>TOTAL</b>	<b>84,990 SF</b>	<b>340</b>
PARKING PROVIDED		383
SITE AREA	± 11.830 A.C.	

**SITE PLAN**



*Additional signage*  
 Fire Marshal - 5 Fire lanes (attached to HT)  
 City Eng. - 4 (curve arrows) + 2 (keep right)  
 HT - 3 (No Thru traffic)

9 - HIC ramps needed per City Inspector  
 2 - HIC ramps installed by Culp that needed to be removed

**COCHRAN COMMONS**  
 MALLARD CREEK ROAD  
 CHARLOTTE, NC



HODGES architecture planning  
 13042 Omega Dallas, Texas 75244-4514  
 phone: 972.387.1000 fax: 972.800.1129  
 www.hodgesusa.com  
 P.L.L.C.



project no.  
99206

drawn check by  
VCY

Issue log  
 OWNER REVIEW 02/26/07  
 FOR SUBMITTAL 04/04/07  
 REVISION 01/23/07  
 FOR CON'T. 12/03/06  
 CITY COMMENTS 12/03/06

sheet  
**A1.1**  
 SITE PLAN  
 1" = 40'-0"

/// UNDER CONSTRUCTION