

SITE DATA

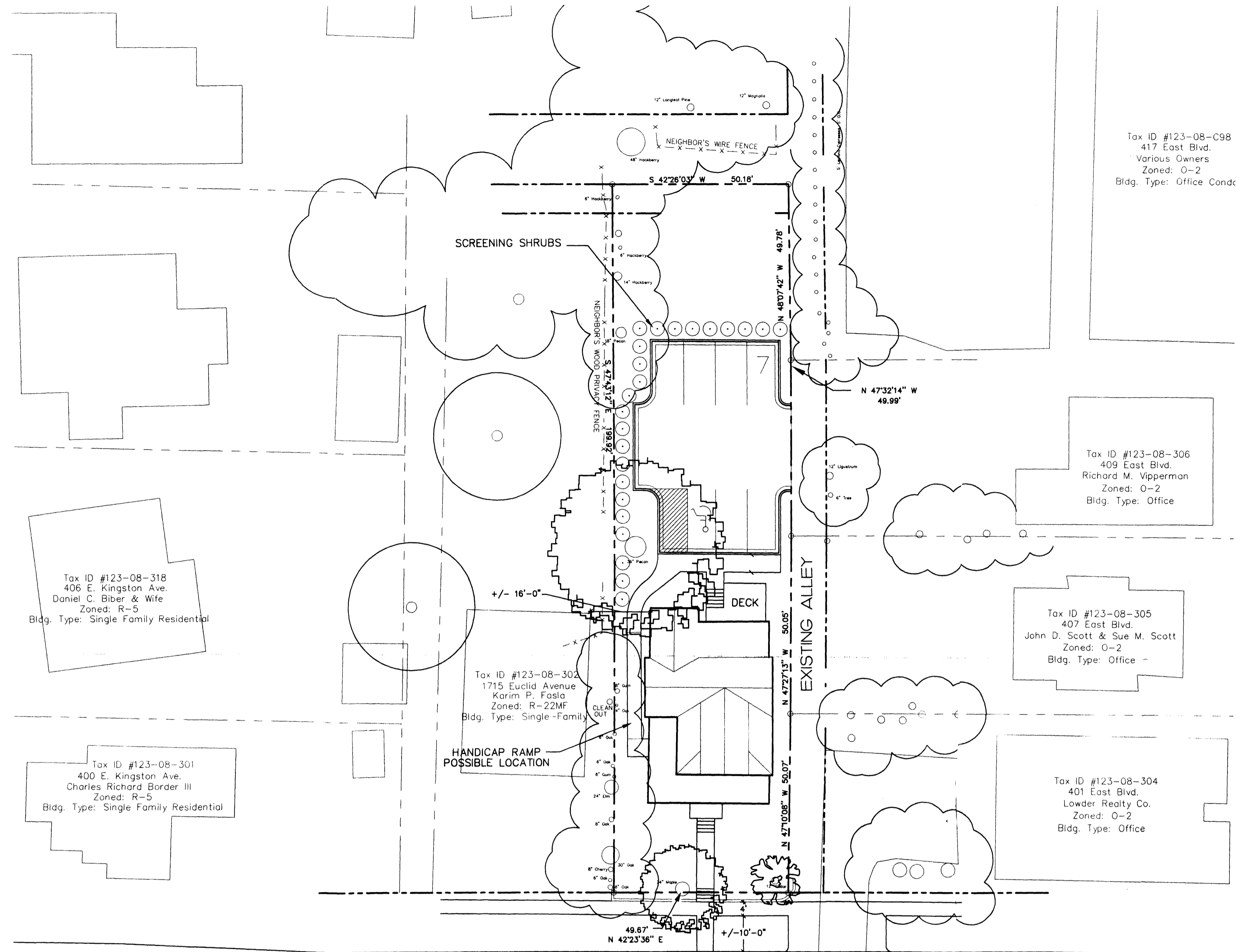
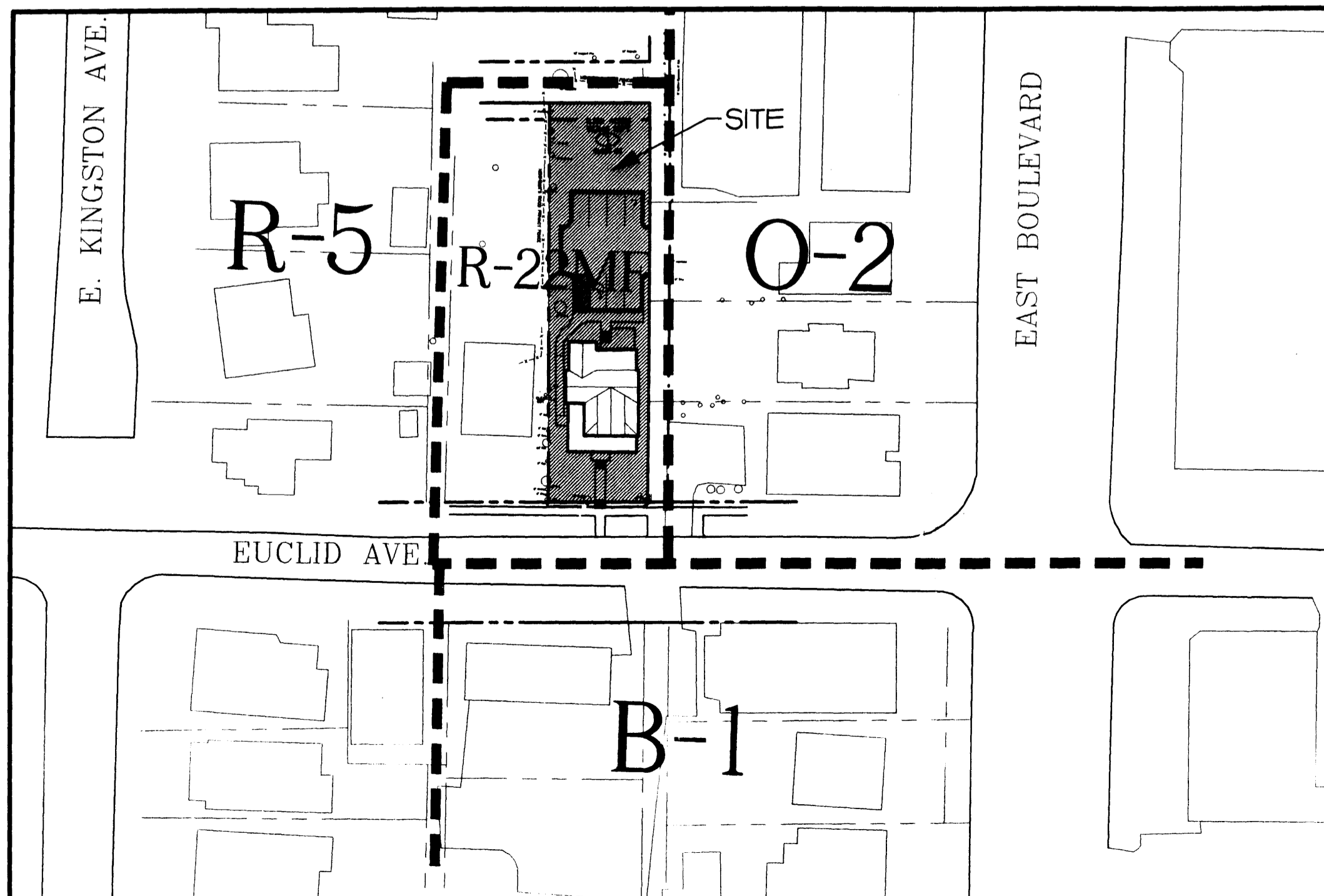
Site Area: 0.23 Ac.
 Existing Zoning: R-22 MF
 Proposed Zoning: MUDD O
 Proposed Use: +/- 2,800 SF Office or Single Family
 Required Parking: 5 Spaces
 Proposed Parking: up to 7 Spaces

DEVELOPMENT STANDARDS

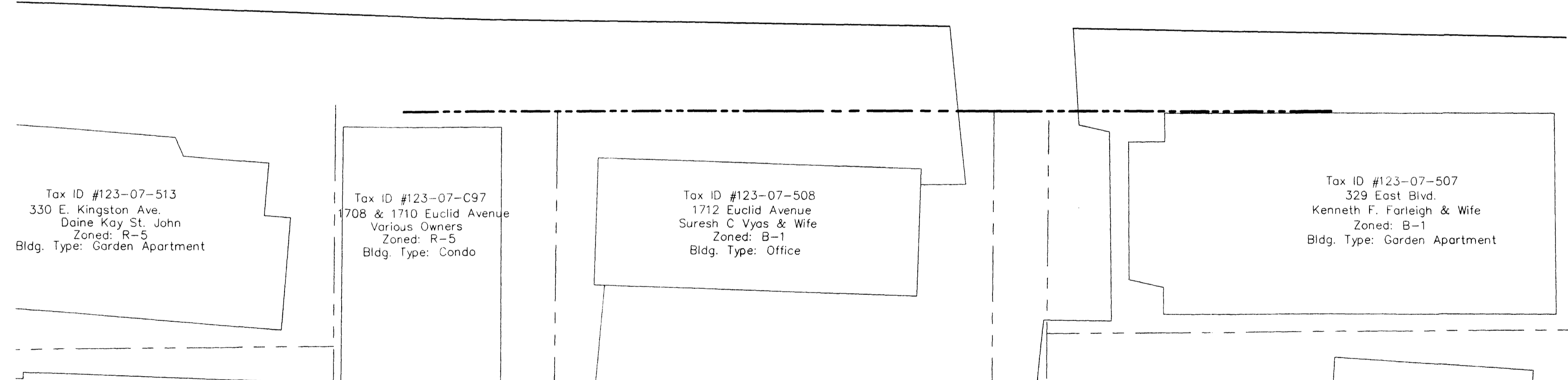
1. The purpose of the rezoning is to allow the renovation and adaptive reuse of an existing historic structure as a professional office.
2. Development of the Site will be controlled by the standards depicted on this Site Plan and by the standards of the Mixed-Use Development District. The development scenario depicted on the Plan is intended to reflect the proposed use on the Site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the Ordinance during the design development and construction phases so long as the overall requirements are met. Any such changes shall be limited to minor changes of detail of the approved Plan and shall not alter the basic relationship of the proposed development to surrounding properties.
3. The Petitioner shall meet all requirements of the Stormwater Ordinance as required by the City of Charlotte Engineering Department.
4. Stormwater detention facilities, if required, will be designed to meet the applicable standards of the City of Charlotte Engineering Department.
5. Signage will be permitted in accordance with applicable zoning standards.
6. Parking will be provided which will meet or exceed the standards of the zoning ordinance.
7. The Parking area depicted on the Plan shall be a uniformly paved parking lot.
8. Screening will conform to the applicable standards of section 12.303 of the Zoning Ordinance.
9. Trash pickup shall be handled through a rollout cart to the curb. The cart shall be screened from view.
10. The Plan shall comply with the Uptown Streetscape Guidelines as applicable. The four foot wide existing sidewalk shall be allowed to remain as allowed by the MUDD O review team.
11. The Petitioner shall install one street tree within the Euclid Avenue planting strip per the MUDD O review team. The exact species to be installed shall be determined by the MUDD O review team.
12. The Petitioner shall make every reasonable attempt to save the existing trees on the site as indicated on the Plan.
13. Detached pole lighting, except City streetlights, will be limited to 12' height. No wall "pak" type lighting will be permitted on the perimeter of the building.
14. Adequate fire protection will be provided in accordance with the Fire Marshall's specifications.

VICINITY MAP

SCALE: 1"=60'



EUCLID AVENUE
 60' PUBLIC R/W



PROPOSED REZONING
 CHARLOTTE, NORTH CAROLINA

MARY ROGERS
 1719 EUCLID AVENUE
 CHARLOTTE, NORTH CAROLINA, 28203

Design Resource Group

1230 West Morehead Street, Suite 214
 Charlotte, NC 28208
 704.343.0608 fax 704.358.3093
 www.drgp.com

- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning



SITE PLAN
FOR PUBLIC HEARING
PETITION # 02-51



Scale: 1" = 20'
 Date: 20 FEB. 2002
 Project No.: 126-001
 Revisions:
 1) 04/23/02 PER CMPC REVIEW

APPROVED BY CITY COUNCIL
 DATE 6/7/02



LEFT ELEVATION



REAR ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

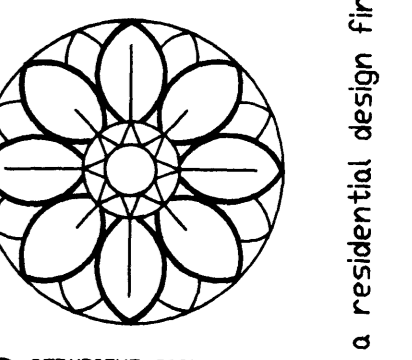
DESIGNER SEAL

DO NOT SCALE DRAWINGS:
 All graphic building codes, ordinances and regulations shall govern provided the same is more stringent than the provisions indicated within the general notes and specifications and detailed information contained in the set of construction documents. No variation authorized by or required by a building official shall be binding upon the designer or engineer of record. The set of documents has been professionally prepared and all care taken to avoid any omissions, errors and/or omissions to the extent permitted within the original client agreement. The designer cannot assume liability or guarantee against specification errors, building code changes or job site conditions. This set of documents is for informational purposes only and does not constitute a contract. All dimensions, details and specifications are to be verified by the contractor. The contractor shall notify the designer of record of any variation or discrepancy before job site conditions different than those shown herein.

ENGINEERING SEAL

RESIDENCE FOR:
MARY ROGRES
1719 EUCLID AVE.
 FOR PUBLIC HEARING PETITION # 02-51
 ALL AMERICAN INSTITUTE OF BUILDING DESIGN
 BLD CERTIFIED PROFESSIONAL BUILDING DESIGNER MEMBER

White Lotus
 design group, Inc.
 CURTIS B. HOLMES, AIBD, CPBD
 CHARLOTTE, N.C. 28227
 9536 ERRINGTON LANE
 (704) 573-2808



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scale: NTS
 date: NOV. 2001
 drawn by: C. HOLMES
 job no: # 1026-01

APPROVED BY CITY COUNCIL
 DATE 6/17/02

sheet: 2
 of: 2