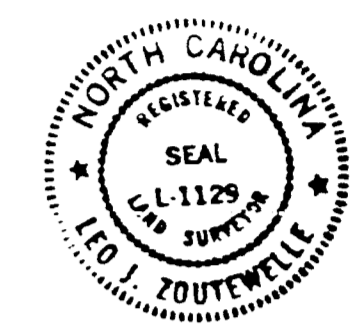


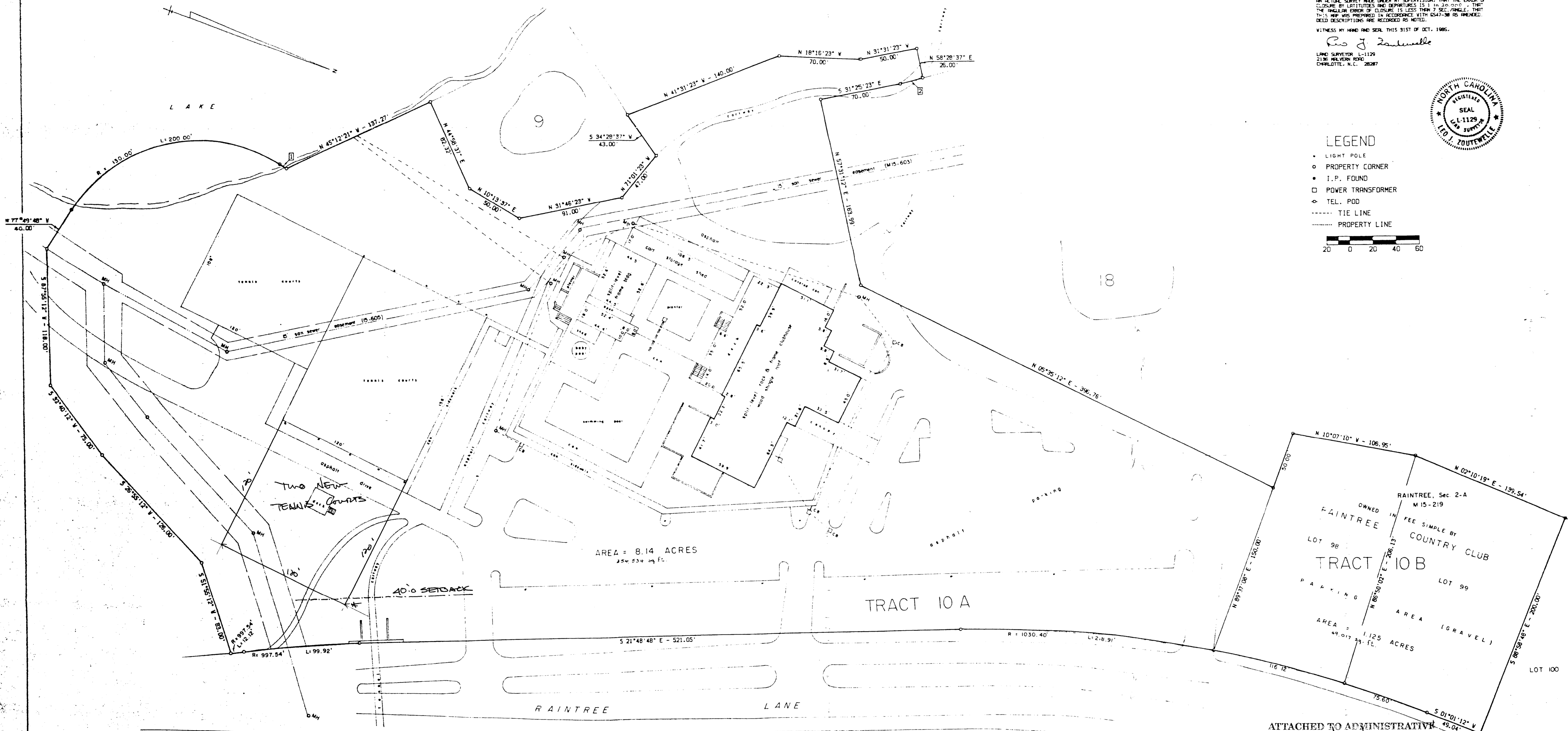
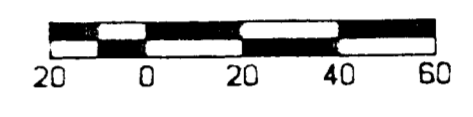
| LINE TABLE | | |
|------------|---------------|--------|
| QUADRANT | LINE BEARING | DIST. |
| 1. | N 12°10'12" E | 7.00' |
| 2. | S 35°58'28" E | 20.00' |

STATE OF NORTH CAROLINA, MECKLENBURG COUNTY
 I, LEO J. ZOUTEVILLE, CERTIFY THAT THIS MAP WAS DRAWN FROM
 AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, THAT THE ERROR OF
 CLOSURE BY LATITUDES AND DEPARTURES IS 1 in 20,000, THAT
 THE ANGULAR ERROR OF CLOSURE IS LESS THAN 7 SEC. / ANGLE, THAT
 THIS MAP WAS PREPARED IN ACCORDANCE WITH 2047-20 AS AMENDED,
 DEED DESCRIPTIONS ARE RECORDED AS NOTED.
 WITNESS MY HAND AND SEAL THIS 31ST OF OCT. 1985.
 Leo J. Zouteville
 LAND SURVEYOR L-1129
 2136 WALTON ROAD
 CHARLOTTE, N.C. 28207



LEGEND

- LIGHT POLE
- PROPERTY CORNER
- I.P. FOUND
- POWER TRANSFORMER
- ◊ TEL. POD
- TIE LINE
- PROPERTY LINE



ATTACHED TO ADMINISTRATIVE
 APPEAL
 DATED: 01/29/86
 BY: MARTIN R. CRAWTON, JR.

2002-136

PHYSICAL AND BOUNDARY SURVEY
 FOR
RAINTREE COUNTRY CLUB, INC.
 CLUBHOUSE
 PROVIDENCE TWP., MECKLENBURG COUNTY, N.C.
 SCALE 1" = 40' LEO J. ZOUTEVILLE, REG. LAND SURVEYOR OCT. 31, 1985 REVISED: 11-15-85

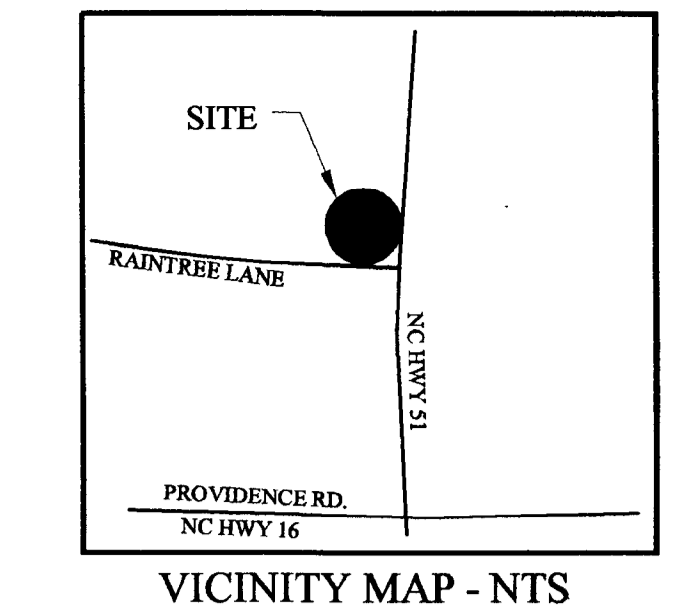
DEVELOPMENT STANDARDS

- I. GENERAL COMMENT:**
- A. Development of the site shall be in accordance with the standards established under the zoning ordinance of the City of Charlotte, North Carolina, and the standards established under the zoning ordinance of the City of Charlotte, North Carolina, and the standards established under the zoning ordinance of the City of Charlotte, North Carolina.
- B. The configurations, placement, and size of the single family attached residential buildings, parking areas, driveways and common open spaces shall be in accordance with the standards established in this Technical Data Sheet.
- II. PERMITTED DEVELOPMENT WITHIN THE SITE:**
- A. Up to 31 for sale single family, attached residential dwellings with no more than one detached dwelling per lot, shall be permitted under the Ordinance by right or under preapproved conditions in an UR-2 Zoning District. No other or commercial uses shall be permitted.
- B. Provided, however, the Petitioner may elect not to develop the Site as provided in this Ordinance and instead the Petitioner may develop the Site for single family detached homes in accordance with the standards of the R-3 Zoning District.
- III. VEHICULAR ACCESS POINTS/CONSTRUCTION TRAFFIC:**
- A. The number of access points to the Site shall be limited to that shown on the Technical Data Sheet. The access point to Raintree Lane shall be full movement. No vehicular access is provided to Highway 51.
- B. This access point shall be located in the general area depicted on this Technical Data Sheet. Final location of each access point is subject to any modifications required to accommodate final site and construction plans, design, and site-specific constraints and CDOT approval.
- IV. DESIGN GUIDELINES**
- A. YARD RESTRICTIONS**
- In every instance the side yard, setback, and rear yard requirements imposed under the Ordinance will be satisfied with respect to the development taking place within the Site, unless more stringent requirements are established under these Development Standards. In addition, landscaped areas shall be maintained along portions of the Site boundary in the manner shown on this Technical Data Sheet.
- B. OFF STREET PARKING**
- Off street parking shall meet the minimum standards established under the Ordinance.

- C. STORM WATER MANAGEMENT AND EROSION CONTROL**
- (1) Storm water shall be managed in accordance with the requirements of the City of Charlotte.
- (2) Stormwater detention facilities will be located underground.
- (3) During the construction process, the Petitioner shall utilize the following erosion control measures: temporary or staged seeding on graded areas immediately following the completion of land disturbing activities to minimize the amount of disturbed areas and reduce the potential for off-site sedimentation; double silt fences at the base of slopes of the Site where the potential for off-site sedimentation is greatest; polymers and other flocculating measures in sediment basins to enhance settling capabilities and reduce the discharge of solids from the Site; and two-stage sediment basins with outlet weirs sized for a 50-year storm event to enhance sediment removal capabilities.
- (4) The storm water system for the Site will be designed to accommodate the 2 and 10 year storm events per the requirements set forth in the Charlotte-Mecklenburg Storm Water Design Manual. Prior to designing the storm water detention system for the Site, the Petitioner agrees to contact a consultant designated by the President of the Raintree Homeowners Association and review with such consultant the proposed design for the Site's storm water system and give due and careful consideration to any suggestions the consultant may make with respect to the proposed design. Additionally, once the design for the system has been completed, the Petitioner agrees to furnish a copy of the design to the President of the Raintree Homeowners Association and to refrain from seeking alternative permits to construct such systems for a period of 20 days thereafter so as to allow the Raintree Homeowners Association to engage an independent storm water consultant to confirm that the proposal has been properly designed to accommodate the 2 year and 10 year storm events. If the consultant concludes that the system is not as designed and if such conclusion is communicated to the Petitioner within 20 days after each plan set delivered to the Raintree Homeowners Association, the Petitioner agrees to arrange for a meeting among the Petitioner's consultant, Raintree Homeowners Association's consultant and a staff member from the Charlotte Storm Water Department for the purpose of having each consultant explain his position with respect to the design of the proposed system and having the staff member thereafter make a final determination as to what changes, if any, are needed to bring the design into compliance. Once this design has been completed, Petitioner agrees to abide by any design changes deemed necessary by the Charlotte Storm Water Department's staff member and to cause its storm water detention system to be constructed in accordance with the revised plan.

- (5) The Petitioner further agrees to reimburse the Raintree Homeowners Association for reasonable charges made by its consultant for performing the services described above.
- (6) Petitioner agrees to have the adjacent downstream storm drainage system analyzed to ensure that it will not be taken out of standard due to the development and, if it is found that the proposed development will cause the storm drainage system to be taken out of standard, the Petitioner agrees to provide adequate detention to prevent this from occurring. Should the existing, adjacent drainage system be deemed to be out of standard, the Petitioner agrees to provide adequate detention to prevent this from occurring to ensure that the system will not be additionally overloaded. Provided Petitioner is able to obtain permits to do so, Petitioner agrees to have its storm water detention facility designed to accommodate the 2 and 10 year storm events per the requirements set forth in the Charlotte-Mecklenburg Storm Water Design Manual. The design shall be based on a 50-year storm event and shall be designed to accommodate the 2 and 10 year storm events per the requirements set forth in the Charlotte-Mecklenburg Storm Water Design Manual.
- D. OPEN SPACE**
- (1) Development of the Site shall include four (4) common open space areas in the general locations shown on this Technical Data Sheet. The specific location and dimensions of each such common open space area may be altered and/or modified based upon final design, development and construction documents and site and topographic constraints, provided that each such common open space area shall consist of sidewalk, landscaping and green areas and benches or other seating area. See Technical Data Sheet for open space sizes.
- (2) Each such area will have a minimum of 400 square feet of private open space.
- E. LANDSCAPING, SCREENING AND TREE PRESERVATION**
- (1) Landscaping and screening shall, at a minimum, satisfy the requirements of Section 12.03 of the Ordinance.
- (2) Landscaping will be installed in stages in accordance with the Ordinance as the Site is developed.
- (3) Those mature oak trees located within the setbacks along Highway 51 and Raintree Lane as designated on this Technical Data Sheet will be preserved, except those required to be removed to accommodate the driveway along Raintree Lane.
- (4) Petitioner shall provide for an American beechwood hedge or some other species of equal quality to be installed along the westerly side of the project in the location generally depicted on the Technical Data Sheet. The beechwood plants will be at least 3 gallons in size.

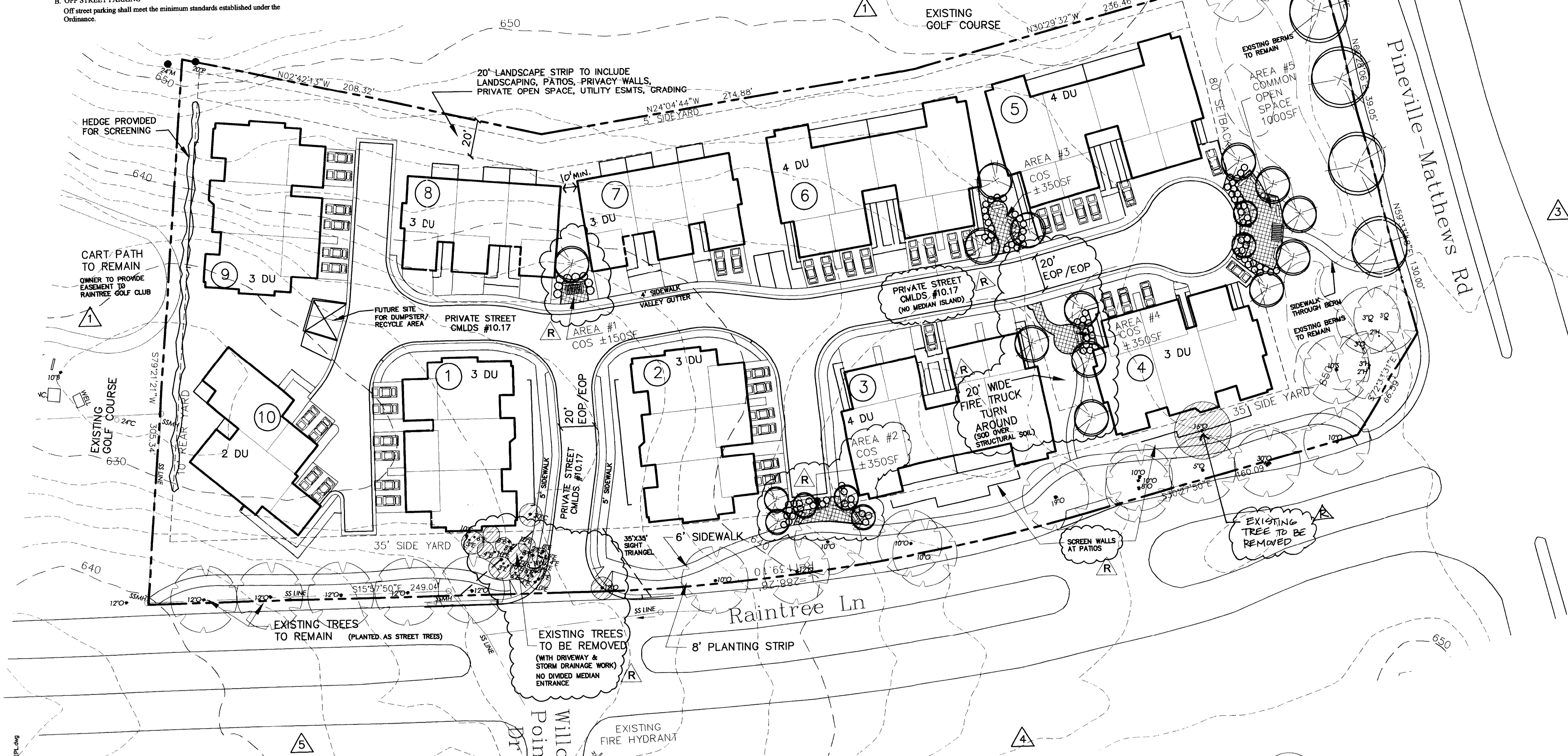
- F. SIGNS**
- (1) All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.
- (2) A master signage and graphics system will be adopted and implemented throughout the Site.
- G. LIGHTING**
- (1) All downward lighting fixtures installed will be uniform in design and the maximum height of any such lighting fixture, including its base, may not exceed 29 ft in height.
- (2) All direct lighting within the site (except overlights which may be erected above the private driveway and street) will be supplied to protect light downward and otherwise designed such that direct illumination does not exceed a 4 ft adjacent property line. Consideration will be given to the impact of lighting both within and without the perimeter of the Site. Items for consideration will include intensity, color, angle, color, energy efficiency, and shielding of light, the intent being to eliminate glare towards public streets and adjacent properties.
- H. ARCHITECTURAL GUIDELINES**
- (1) The attached schematic architectural elevations are intended to depict the general conceptual architectural style of the single family attached residential buildings located on the Site. Changes and alterations which do not materially change the overall conceptual architectural style are permitted based upon final design/construction drawings. The single family attached residential buildings may employ complementary differences in color pertaining to brick, color shingles, stone, natural wood siding, roof shingles and/or trim accents.



RAINTREE TOWNHOME SITE
PETITION NO. 2002-136

SITE TABULATION

| | |
|------------------------|------------------------|
| TOTAL SITE AREA: | 4.35 AC. |
| EXISTING ZONING: | R-15 PUD |
| PROPOSED ZONING: | UR-2 CD |
| PROPOSED UNITS: | 32 @ 7.35 DUA |
| (MAXIMUM # UNITS = 33) | |
| REQUIRED PARKING: | 1 SP/UNIT = 32 |
| PROPOSED PARKING: | 64 (All 2 Car Garages) |
| FLOOR AREA RATIO: | 42 F.A.R. |



December 31, 2002
D. Campbell

DPR ASSOCIATES, INC.
Landscape Architects
Planners & Engineers
420 Hawthorne Lane
Charlotte, NC 28204
704/332-1204

ADJACENT PROPERTY OWNERS

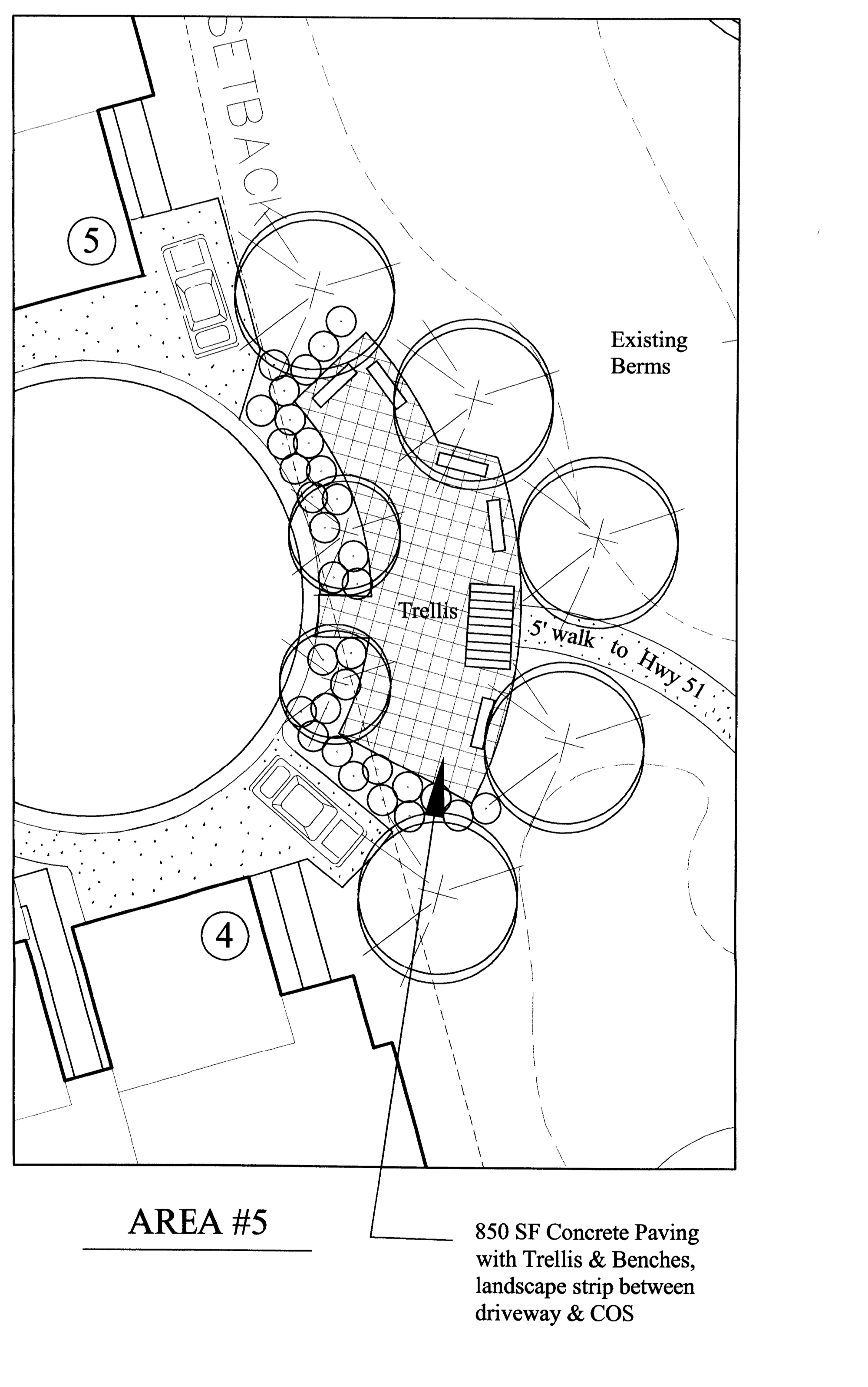
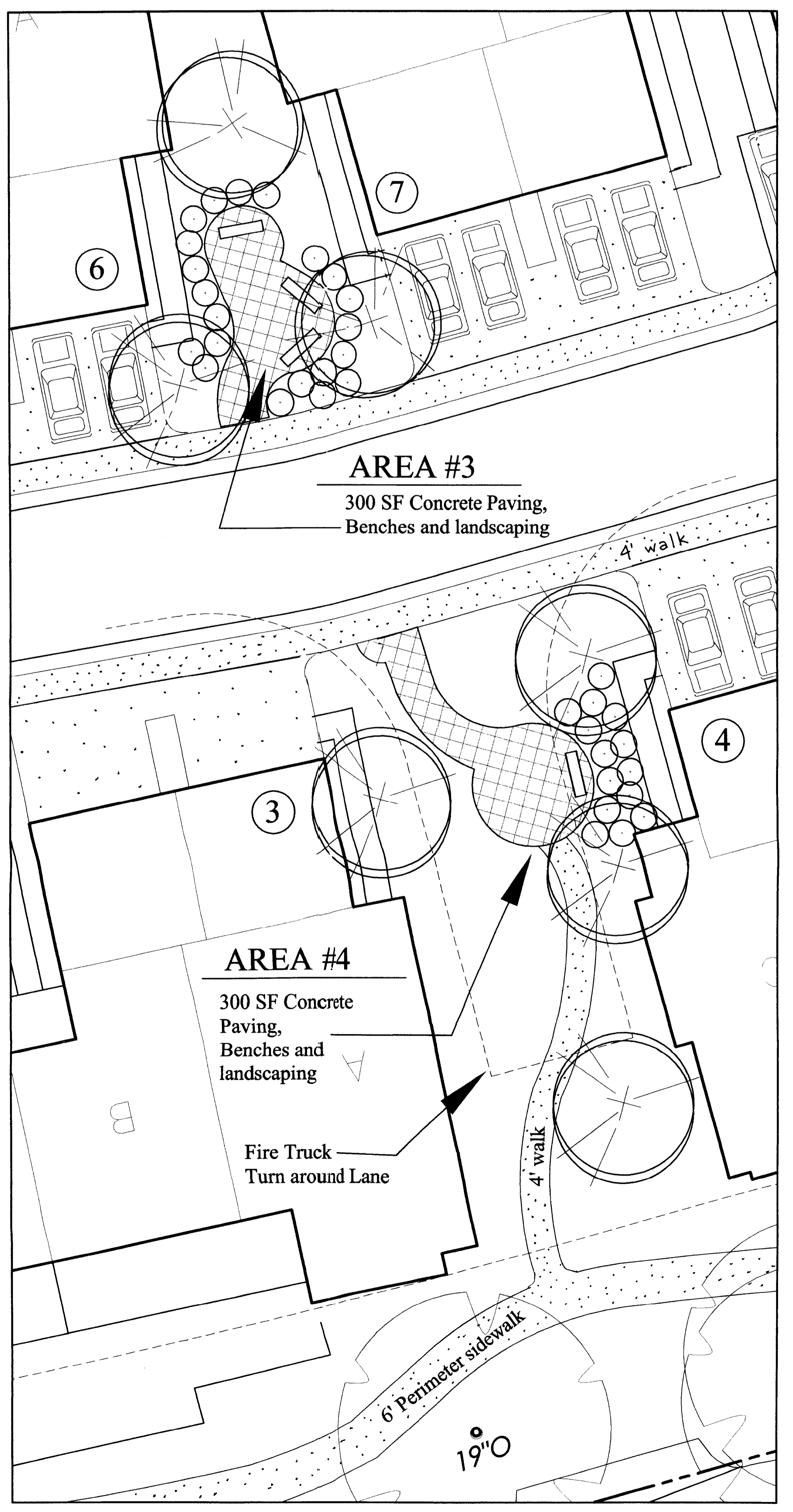
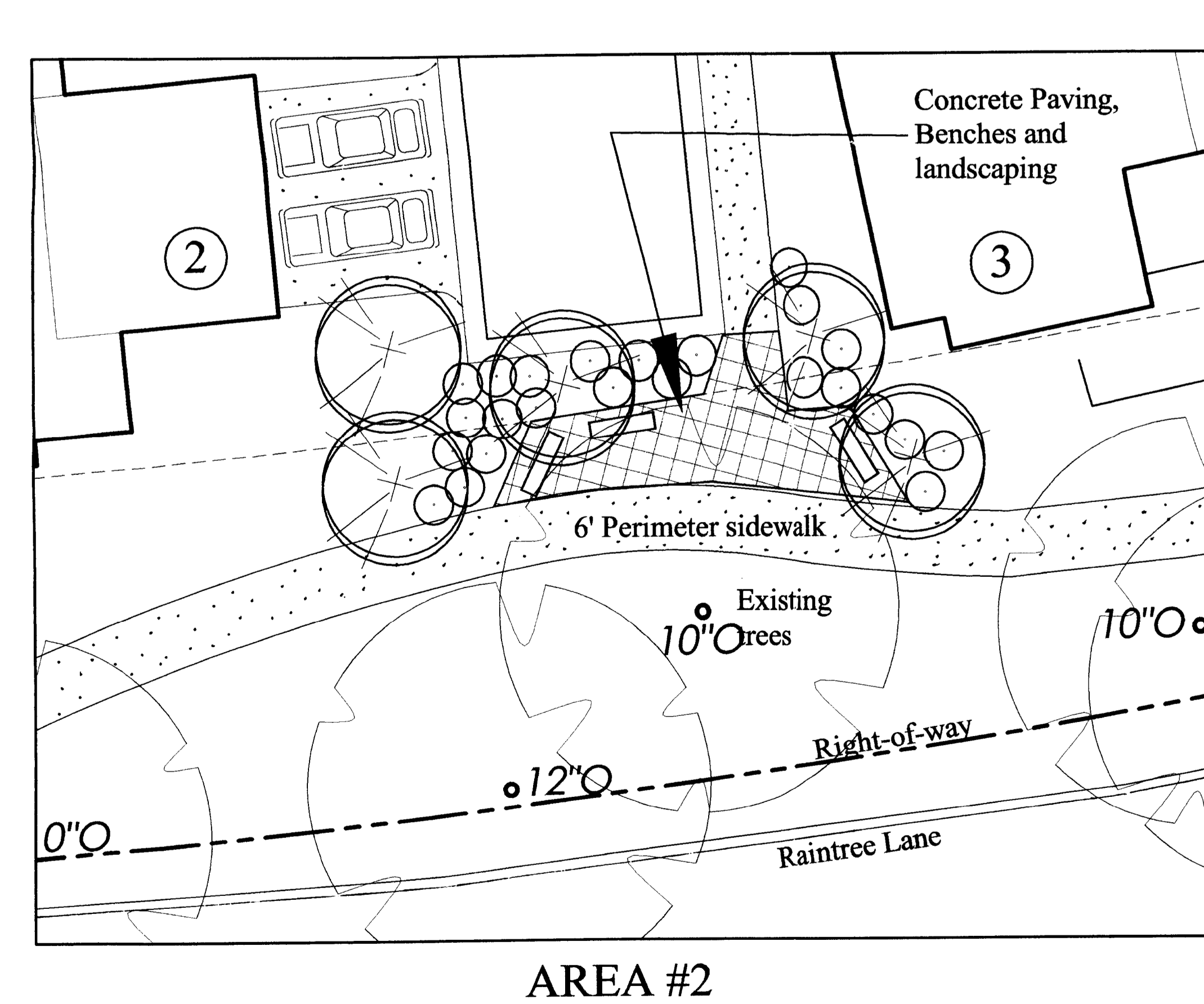
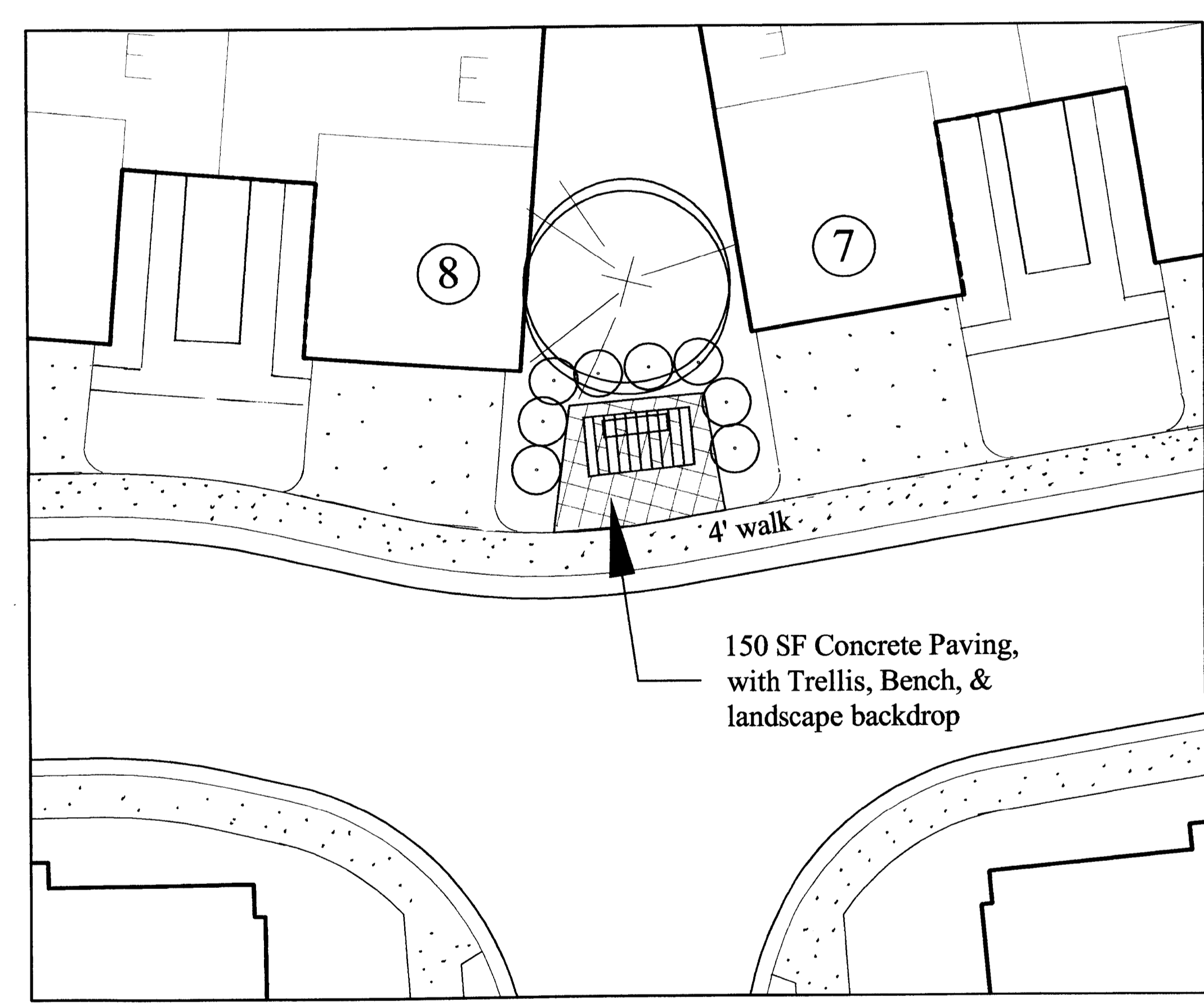
| | | |
|--|--|--|
| Parcel 225-201-65 Raintree Homeowners Assoc. 8900 Raintree Ln Charlotte, NC 28277 Zoning R-3 | Parcel 211-263-77 Darrill E. Dean 3525 Chatham Pt. Charlotte, NC 28226 Zoning R-3 | Parcel 225-153-31 May May Gillette 9621 Elm Lane West Charlotte, NC 28277 Zoning R-PUD |
| Parcel 211-263-76 Rajeev Bhavre 3511 Chatham Pt. Charlotte, NC 28227 Zoning R-3 | Parcel 225-151-02 Raintree Homeowners Assoc. 8900 Raintree Ln Charlotte, NC 28277 Zoning R-PUD | |

LEGEND

- PROPOSED NEW TREES
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- INDICATES PARKING SPACE IN FRONT OF GARAGE OR SURFACE SPACE

Scale: 1"=30'

REVISED TECHNICAL DATA SHEET
PETITION NO. 2002-136
REVISED DATE: DEC. 15, 2003
RZ-1



DPR ASSOCIATES, INC.
Landscape Architects
Planners & Engineers
420 Hawthorne Lane
Charlotte, NC 28204
704/332-1204

AREA #3 & 4

Scale: 1"=10'

RAINTREE TOWNHOME SITE
COMMON OPEN SPACES PLAN
PETITION NO. 2002-136

DPR ASSOCIATES, INC.
Landscape Architects
Planners & Engineers
420 Hawthorne Lane
Charlotte, NC 28204
704/332-1204

ATTACHED TO ADMINISTRATIVE
December 31, 2002
D. Campbell

REVISION: DETAIL PLAN SHEET ADDED: DEC. 15, 2003
RZ-2