

Selwyn Terrace

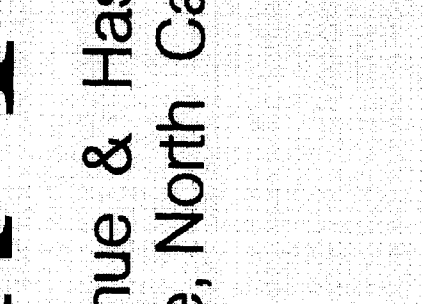
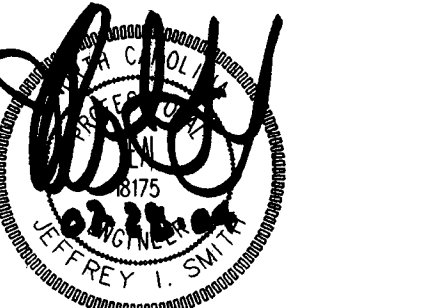
Selwyn Avenue & Hassell Place
 Charlotte, North Carolina

NOVEMBER 2003	PLAN MULTI-FAMILY REVIEW	
JANUARY 11, 2004	PROGRESS SET	PRICING SET
MARCH 11, 2004	PROGRESS SET	PROGRESS SET
APRIL 7, 2004	PROGRESS SET	PROGRESS SET
JUNE 28, 2004	PERMIT SET	PERMIT SET
JULY 28, 2004	REVISED SETBACK	REVISED SETBACK

TECHNICAL DATA SHEET FROM REZONING PETITION #02-143

FMKA-0210

C3.0



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LAYOUT AND LANDSCAPE PLAN

FMKA-0210

C3.1

Technical Data Sheet - Development Conditions

A) Conditions regarding building design

- The design concept will have one building oriented toward Selwyn Avenue and one smaller building oriented toward Hassell Place, adjacent to the property at 2323 Hassell Place.
- The building oriented toward Hassell Place will not exceed two stories, with no habitable space above the second level.
- The building oriented toward Hassell Place will have a pitched/sloped roof versus flat roof.
- The building on Selwyn Avenue will not exceed three stories with no habitable space above the 3rd level.
- The building on Selwyn Avenue will have a flat roof.
- Maximum marketable (net) square footage will be 36,000 for all the buildings combined, with the gross square footage of all buildings not to exceed 42,000.
- Overall the buildings will have an articulated facade of at least 60% brick (wall color) or red/brown in color. The sides of the building facing Hassell Place and Selwyn Place will be at least 75% brick. No vinyl siding will be used. Plastic or metal material may be used for incidental architecture details including windows, doors and trim details. Any use of stucco will be hard coat stucco.
- HVAC for the buildings on Hassell Place will be located within or on top of the roof.
- No individual unit will be smaller than 700 square feet.

B) Conditions regarding parking

- There will be one entrance/exit to the parking area that will be accessible only from Selwyn Avenue.
- The parking area will be located behind the buildings and largely out of view from Selwyn Avenue and Hassell Place.
- Parking will be paved with asphalt.
- The petitioner shall provide a bicycle rack on site for use by the residents, not visible from any street.
- The minimum number of parking spaces will be a 1:8 ratio of spaces to units.

C) Conditions regarding screening, walls, dumpsters

- Screening shall conform to the standards and treatments specified in the Ordinance, except as stipulated in notes #2, #3, #4 and #5 as follows.
- There will be a wall along the entire sides and back of the development adjacent to residential property. This wall will be 100% brick and will be 6 feet tall as measured from grade of the property at 2323 Hassell Place. The wall may turn 90% and be connected to the front of the garage at 2323 Hassell Place.
- There will be 6-foot tall Leyland Cypress plants planted 10 feet on center on each side of the wall running the length of the property line between the development and the property at 2323 Hassell Place.
- Any dumpsters located on the site shall be along the property line adjacent to the Circle K and shall be screened from view by a solid fence or wall 12 inches higher than the dumpster utilized with a gate enclosure facing the interior of the parking lot.
- Roof top mechanical equipment shall be screened from public view at street level. Air conditioning units directly visible from Selwyn Avenue and Hassell Place shall be screened from public view.

D) Conditions regarding buffers, landscaping, lighting and signage

- The petitioner will develop open space landscaping between the two buildings that will be suitable for passive recreation and leisure and will be accessible to the public. Design details will be developed according to the site plan sufficient to satisfy the Charlotte-Mecklenburg Planning Commission staff.
- Trees on the property behind the buildings that are 6 inches or more in diameter will be retained per recommendations of Urban Forestry.

3. All freestanding lighting fixtures will be uniform in design and shall not exceed 5 feet in height. Lights shall be directed internally away from adjoining properties.

- No wall pack lighting will be allowed.
- No signage on Hassell Place will be allowed.

E) Conditions regarding storm water and other regulations

- Storm water runoff from the site will be managed through proven techniques, which satisfy standards, if any, imposed by the City of Charlotte.
- All other utilities (besides on the site, but not those in the public right of way, will be located underground.
- Storm water drainage will be directed to Selwyn Avenue unless otherwise mandated by the City of Charlotte.
- If detention is required, the detention shall tie-in to the existing storm water system(s). The petitioner shall have the receiving drainage system(s) analyzed to ensure that it will not be taken out of standard due to the development. If it is found that development will cause the storm drainage system(s) to be taken out of standard, the petitioner shall provide adequate detention to prevent this from occurring.
- In addition to the previous detention requirements, the petitioner shall agree to coordinate improvements with the City of Charlotte Storm Water Services and the Hassell Place Sidewalk Improvement Project. The Project Manager for the sidewalk project is Sonji Mosley (704-336-3214) of the City of Charlotte E&M.

F) Conditions regarding setbacks, sidewalks and access

- The building on Hassell Place will maintain a 20-foot side yard setback from the property line adjacent to the residential property at 2323 Hassell Place, except as indicated on the plans.
- Vehicle access to the site, both permanent and during construction, will be from Selwyn Avenue.
- The units facing Selwyn Avenue and Hassell Place will have direct access via sidewalks to the street through a combination of individual stoops and sidewalks or coordinated access points.
- The building on Hassell Place will maintain a minimum setback from Hassell Place of least equal to the setback from the right of way of the residential structure (garage) at 2323 Hassell Place.
- The building on Selwyn will maintain a minimum setback from Hassell Place at least 30 feet further from Hassell Place than the setback of the other building on Hassell Place.
- The petitioner shall maintain a minimum 6-foot sidewalk and minimum 8-foot planting strip along Selwyn Avenue and Hassell Place, unless otherwise specified by Ordinance.

G) Conditions of ownership and use

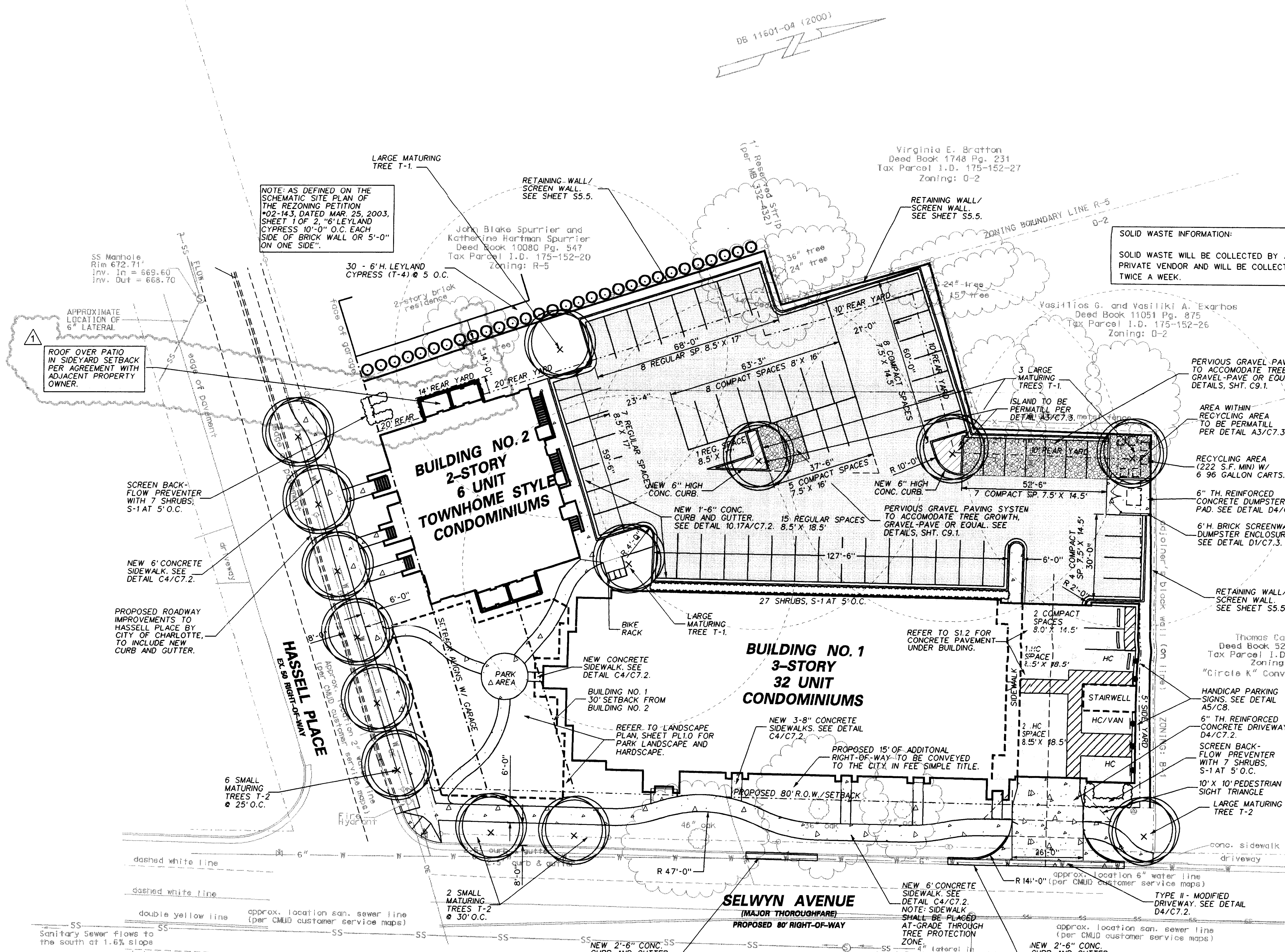
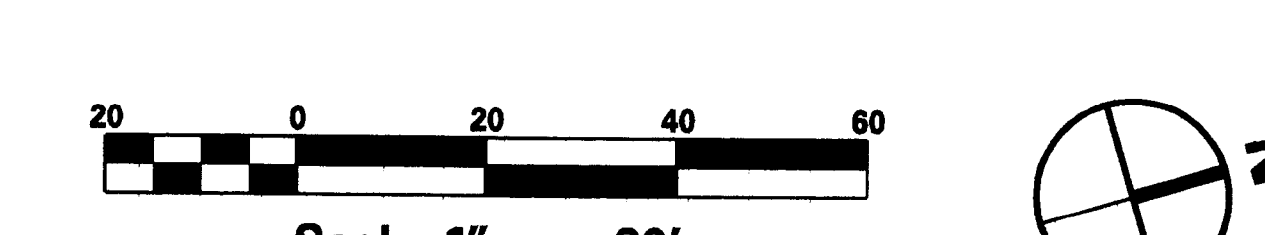
- The site will be developed as residential development with no more than 38 units.
- The building units will be marketed for sale as condominiums or townhouses.

FEATURE	NEW	EXISTING	NEW	EXISTING
STRUCTURES	[Symbol]	[Symbol]	[Symbol]	[Symbol]
UNPAVED GRAVEL ROADS	[Symbol]	[Symbol]	[Symbol]	[Symbol]
BITUMEN PAVEMENT	[Symbol]	[Symbol]	[Symbol]	[Symbol]
CONCRETE PAVEMENT	[Symbol]	[Symbol]	[Symbol]	[Symbol]
CONC. CURB & GUTTER (STANDARD)	[Symbol]	[Symbol]	[Symbol]	[Symbol]
CONC. CURB & GUTTER (PROVIDED)	[Symbol]	[Symbol]	[Symbol]	[Symbol]
REED CONTROL (S1)	[Symbol]	[Symbol]	[Symbol]	[Symbol]
INTERMEDIATE CONTROL (S1)	[Symbol]	[Symbol]	[Symbol]	[Symbol]
ORNAMENTAL FENCING	[Symbol]	[Symbol]	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]	[Symbol]	[Symbol]
CLEANOUT	[Symbol]	[Symbol]	[Symbol]	[Symbol]
CURB BULLET OR CATCH BASIN	[Symbol]	[Symbol]	[Symbol]	[Symbol]
DITCH	[Symbol]	[Symbol]	[Symbol]	[Symbol]
STORM DRAINAGE LINE	[Symbol]	[Symbol]	[Symbol]	[Symbol]
ROOF LEADER	[Symbol]	[Symbol]	[Symbol]	[Symbol]
FOUNDATION DRAIN	[Symbol]	[Symbol]	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]	[Symbol]	[Symbol]
FIRE HYDRANT	[Symbol]	[Symbol]	[Symbol]	[Symbol]
WATER METER	[Symbol]	[Symbol]	[Symbol]	[Symbol]
POWER LINE (OVERHEAD)	[Symbol]	[Symbol]	[Symbol]	[Symbol]
POWER LINE (UNDERGROUND)	[Symbol]	[Symbol]	[Symbol]	[Symbol]
TELEPHONE LINE (UNDERGROUND)	[Symbol]	[Symbol]	[Symbol]	[Symbol]
POWER POLE	[Symbol]	[Symbol]	[Symbol]	[Symbol]

ZONING REQUIREMENTS	
PARCEL NUMBER	17015221
ZONING	UR-2 (C2) - 02-143
PROPOSED USE	CONDOMINIUMS (38 UNITS)
SETBACKS	HASSELL PLACE: 30' (1'-10" TO ALSO WITH ADJACENT LOT) AND ADDITIONAL 30' FOR THREE-STORY BUILDING
SELWYN AVENUE	14' FROM BACK-OF-CURB OR PROPOSED RIGHT-OF-WAY LINE, WHICHEVER IS GREATER
LOT AREA	1.18 AC
DISTURBED AREA	1.18 AC
PARKING REQUIRED	68 SPACES MINIMUM (8.18 PER UNIT) PER DETAIL 43/27.3
PARKING PROVIDED	38 REQUIRED (39 STD. 0 COMPACT @ 25% OF 451' ± ADDITIONAL COMPACT @ 1 HANGAR FOR TOTAL OF 68)
BUILDING HEIGHT	80g 1 - 37' 80g 2 - 26' (60'-0" MAX.)
GROSS BUILDING SQUARE FOOTAGE	41,710 Minus Garage (42,000 sq ft max)
IMPERVIOUS AREA	39,204 SF
PERCENT LANDSCAPING SCREENING	PERCENT LANDSCAPING SCREENING REQUIRED (SEE LANDSCAPE PLAN)
REQUIRED	NA
SOLO WASTE/RECYCLING REQUIREMENTS	ONE 8 CY DUMPSTER PER 30 UNITS
SOLID WASTE PROVIDED	ONE 8 CY DUMPSTER PER 30 UNITS
RECYCLING STATION REQUIRED	44 SF FOR 30-80 UNITS
RECYCLING STATION PROVIDED	228 SF PROVIDED

GENERAL NOTES:

- ALL EXPANSION JOINTS ARE TO BE SEALED. REFER TO SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- STORM DRAINAGE INLETS AND MANHOLE COORDINATES ARE LOCATED AT CENTER OF GRATE OR MANHOLE COVER.
- ALL ROAD IMPROVEMENTS AT SELWYN AND HASSELL TO BE COORDINATED WITH CITY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE PETITIONER SHALL PROVIDE FOR THE BURIAL OF THE EXISTING OVERHEAD UTILITY LINES ALONG THOSE PORTIONS OF SHARON AND COLONY ROADS WITHIN THE SITE.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CHAPTER 50.09 (P) SIGN ONLY.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PORTIONS WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING. PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- ALL ROAD IMPROVEMENTS AT SELWYN AND HASSELL ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DIRECT VEHICULAR ACCESS TO HASSELL PLACE IS PROHIBITED.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- CURB AND GUTTER SHOWN ON PLANS ALONG SELWYN AND HASSELL MAY BE ADJUSTED BASED UPON FIELD STATION BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- 14 - "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBMISSION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NON-STANDARD ITEMS (E.G. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE/COUNTY ENGINEERING DEPARTMENT (DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- CONTRACTOR WILL BE REQUIRED TO OBTAIN A "RIGHT-OF-WAY" USE PERMIT FOR ALL WORK LESS THAN 30 DAYS IN SUBURBAN WITHIN THE PUBLIC RIGHT-OF-WAY A MINIMUM OF 5 DAYS ADVANCED TO 704-336-4400 VIA FAX ATTENTION BUS STALEY INDICATING DATE, TIME AND TRAFFIC CONTROL.
- ANY OCCUPATION OF THE PUBLIC RIGHT-OF-WAY FOR A PERIOD OF THE GREATER THAN 30 DAYS WILL REQUIRE LEASING OF THAT PORTION OF THE RIGHT-OF-WAY FROM THE CITY OF CHARLOTTE. CONTACT LINDA POUSSANT AT 704-336-2562 FOR LEASING INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHARLOTTE AND THE CITY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO THE PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PER SEaled SHOP DRAWINGS FOR THE RETAINING WALL MUST BE SUBMITTED TO THE CITY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- PRIOR TO INSTALLATION, PER SEaled SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO THE CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
- PRIOR TO CO-SURVEYOR SEALED AS-BUILT'S OF UNDERGROUND DETENTION MUST BE PROVIDED.
- THE DEVELOPER SHALL CONTACT THE CHAR. DEPARTMENT OF TRANSPORTATION (GUS JORD) 704-336-7086 TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT 60-90 DAYS BEFORE CONSTRUCTION.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.



KEY	QTY	BOTANICAL NAME / COMMON NAME	SIZE	ROOT (I)	SPACING	REMARKS
TREES						
T1	5	Oak, White Quercus phellos	3" MIN. CAL.	B&B	40' O.C. (AS SHOWN)	FULL CROWN, STRONG CENTRAL LEADER, LIMBED TO 6' HIGH
T2	9	Plum, Purpleleaf Prunus cerasifera 'Pissardi'	3" MIN. CAL.	B&B	30' O.C. (TYP.) 25' O.C. ALONG HASSELL PLACE	FULL CROWN, STRONG CENTRAL LEADER, LIMBED TO 6' HIGH
T4	30	Leyland Cypress	3" MIN. CAL.	B&B	5' O.C. (AS SHOWN)	FULL CROWN, STRONG CENTRAL LEADER, LIMBED TO 6' HIGH
SHRUBS						
S1	14	Ilex cornuta 'Burfordii' Dwarf Burford Holly	3 GAL. 2" WIDE AND 2" HIGH MIN.	CONT.	5' O.C. (AS SHOWN)	FULL BUSHY CONTAINER

PLANT SCHEDULE

NOTE: REFER TO PARK LANDSCAPE PLAN, PL.1 FOR ADDITIONAL PLANTINGS

TREE CALCULATIONS:

PERMETER PLANTING REQUIREMENTS

SELWYN AVENUE FRONTAGE - 359'
 21' 30" O.C. (TYP.) 25' O.C. ALONG HASSELL PLACE
 TOTAL: 51,400 ± SF
 UNREPAVED AREA: 12,197 SF (24%)
 TOTAL: 63,597 SF
 51,400 / 10,000 = 5 TREES REQUIRED

LANDSCAPE NOTES:

- MINIMUM TREE SIZE AT PLANTING IS 3-INCH CALIPER FOR SINGLE STEM TREES. ALL MULTIPLE TRUNK TREES MAXIMUM 3 TO 5 TRUNKS.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO PLANTING. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUBBASE AND CONSTRUCTION DEBRIS. RECOMPACT SOIL AND ADD 24" OF NEW TOPSOIL. OR, UNCOMPACT AND AMEND THE ENTIRE MIN. AREA OF 274 SQUARE FEET PER TREE. CALL 704-336-2293 FOR AN INSPECTION CERTIFICATE OF OCCUPANCY IS BEFORE.
- ADJUST TREE PLANTING LOCATION TO AVOID UNDERGROUND UTILITIES - PLANT 15-20' OFF SEWER AND STORM DRAINAGE LINES. 10-15' OFF GAS, WATER, PHONE AND UNDERGROUND ELECTRICAL LINES.
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**CHARLOTTE - MECKLENBURG
PLANNING COMMISSION**
INTER - OFFICE COMMUNICATION

DATE: September 23, 2004

TO: Robert Brandon
Zoning Administrator

FROM: Shad Spencer
Land Development Planner

SUBJECT: Administrative Approval for Petition 2002-143, The Boulevard Company (Selwyn Terrace)

Attached is a copy of a revised site plan for the above referenced rezoning petition located on the corner of Selwyn Avenue and Hassell Place (tax parcel 175-152-21). Also attached is a letter of approval from the adjacent property owners affected by this modification. The amendment is to allow a 6' encroachment into the 20' rear yard as labeled on the original conditional plan for a covered patio.

Since these changes are allowed according to section 6.206 of the City Zoning Ordinance, I am administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

Diane Shin & Craig Brown
2323 Hassell Place
Charlotte NC, 28209

July 12, 2004

Tim Maness
Charlotte-Mecklenburg Planning Commission
600 East Fourth Street, 8th Floor
Charlotte-Mecklenburg Government Center
Charlotte, NC 28202

RE: Selwyn Terrace Development / Acceptance of Improvements in Side Yard

Dear Tim:

The Boulevard Company's condominium development, Selwyn Terrace, located on the corner of Selwyn Avenue and Hassell Place, entails the construction of a patio in the side yard of the building fronting Hassell Place. At the time of the property's rezoning, a roof over the patio was not allowed due to its proximity to our property. However, both we and The Boulevard Company find the addition of a roof, as shown on the enclosed elevation, to be beneficial to the development and neighborhood.

This letter serves as confirmation of our acceptance of the construction of the patio roof as shown on the right of the enclosed elevation.

Sincerely,

Diane A. Shin
Diane Shin

Craig Brown
Craig Brown

Cc: Keith MacVean / Planning Commission
Patrick Woods / The Boulevard Company

