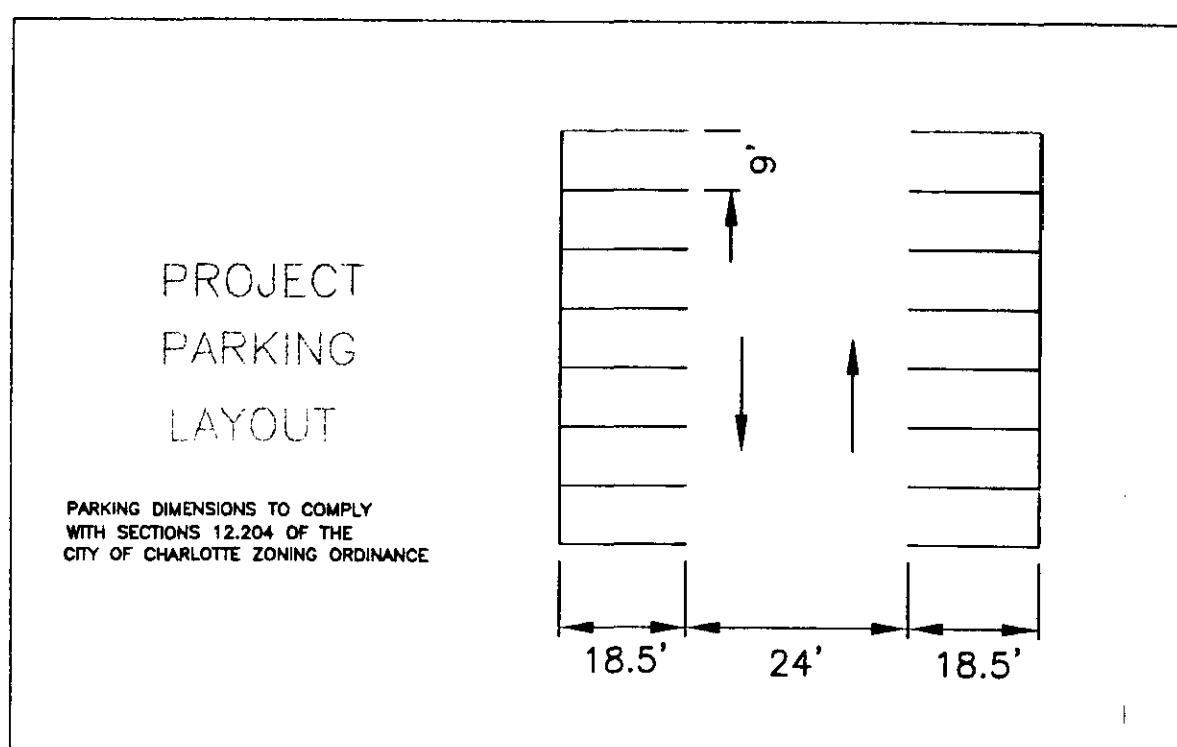
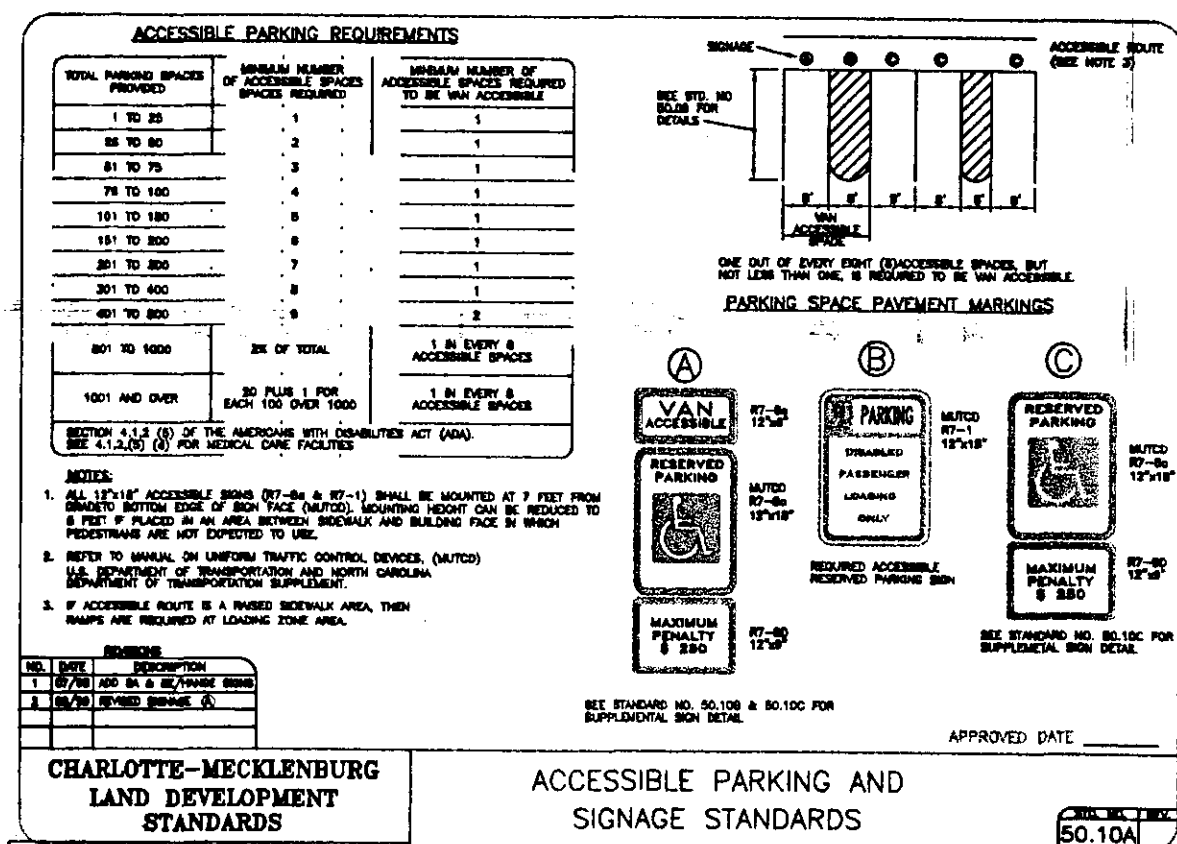
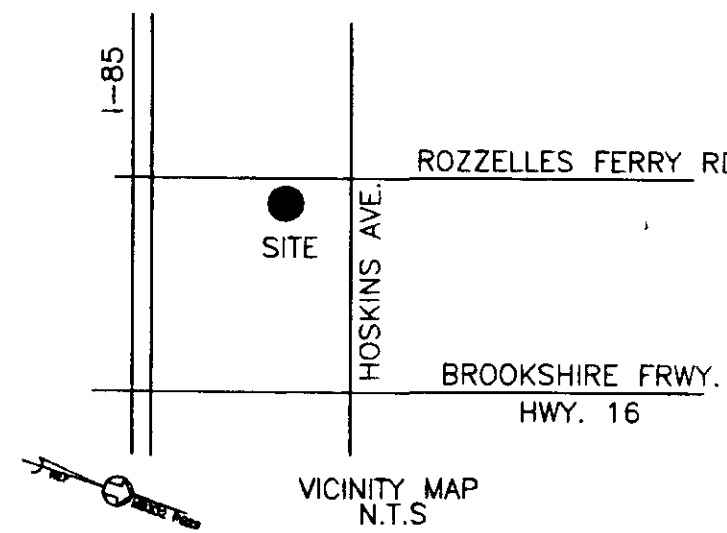


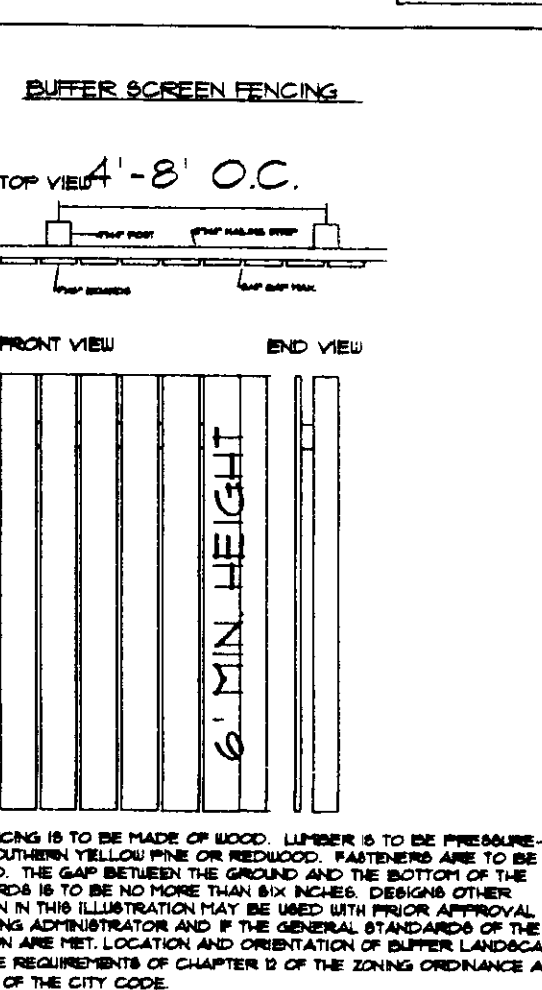
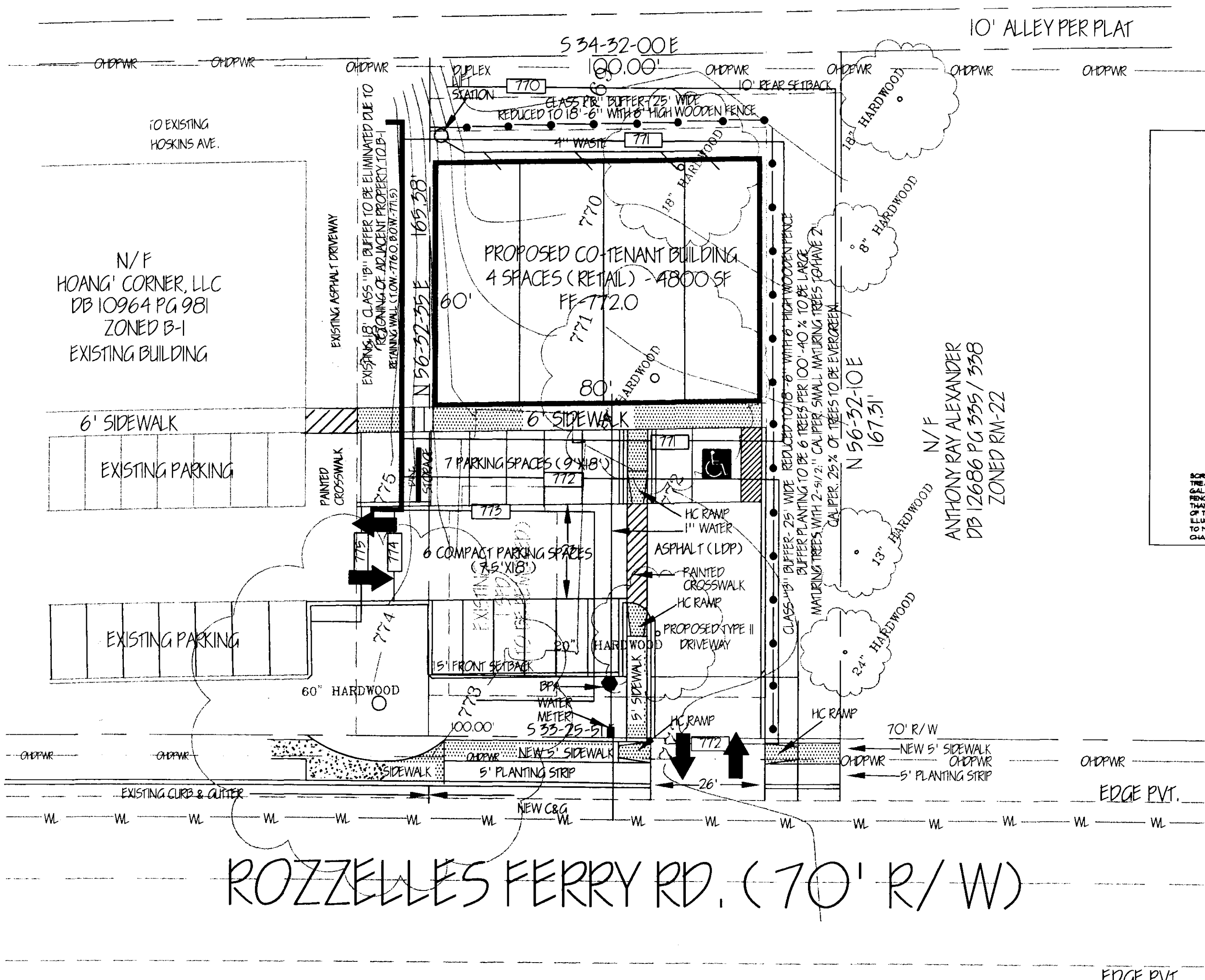
PAVING SPECIFICATIONS

- LIGHT DUTY ASPHALT PAVEMENT (LDP)
 - 8" COMPACTED AGGREGATE BASE COURSE
 - 2" SURFACE COARSE 1-2
- HEAVY DUTY ASPHALT PAVEMENT (HDP)
 - 8" COMPACTED AGGREGATE BASE COURSE
 - 2" SURFACE COARSE 1-2
 - 1" SURFACE COARSE 1-2
- CONCRETE PAVEMENT
 - 3" #1 WASHED STONE BASE
 - 7" 3600 PSI W/ 6 X 6 X 6 WIRE MESH
 - GRAVEL AREAS
 - 8" COMPACTED AGGREGATE BASE COURSE



GENERAL NOTES

- All dimensions and radii are to outside face of building or to face of curb unless noted otherwise. All radii are 5' unless noted otherwise.
- All construction to be in accordance with Plans and Specifications approved by the local regulatory authority.
- All construction to be in accordance with permits issued and applicable State, County, and City Codes.
- All lot striping and directional arrows shall conform to State DOT specifications.
- Pavement shall be constructed in accordance with the specifications herein and in accordance with the recommendations in the report of subsurface exploration.
- All signage to be in accordance with the signage ordinance and shall be installed by the sign contractor. Site General Contractor to furnish and connect electrical supply.
- Contractor shall replace and restore existing improvements damaged during construction to their original condition and to the satisfaction of the Owner of the improvements.
- Compaction of the soil under paved areas and building and the maintenance of proper moisture content shall be so as to achieve 98% of the Standard Proctor Maximum Dry Density.
- The Contractor shall obtain and pay for all inspections, certifications, equipment, etc. that may be required.
- The Contractor shall note that the drawings are schematic in nature and do not show every offset, transition, fitting, etc. that may be required for complete and working system.
- See Architectural Plans for details of buildings and building dimensions.
- The Engineer and/or Owner disclaim any role in the construction means and methods associated with the project as set forth in these plans.
- Contractor shall maintain an "as-built" set of drawings to record the exact location of all piping prior to concealment. Drawings shall be given to the Owner upon completion of the project with a copy of the transmittal letter to the Engineer.
- Departures from the specifications or drawings are deemed necessary by the Contractor, details of such departures and reasons thereof shall be submitted to the Owner for review. No departures from the contract documents shall be made without the permission of the Owner.
- The Contractor shall at all times keep the premises free from accumulations of waste materials or rubbish caused by him, his employees, or his sub-contractors. All debris shall be removed from the project site on a daily basis.



ZONING NOTES

EXISTING ZONING IS RM-22 WITH PROPOSED USE REQUIRING REZONING TO B-1. PROPOSED USE WILL BE CO-TENANT (4 SPACES) RETAIL.

OFF-STREET PARKING
 SECTIONS 12.201-12.218 OF THE CITY OF CHARLOTTE ZONING ORDINANCE REQUIRES ONE (1) SPACE PER 250 SQUARE FEET FOR RETAIL OCCUPANCY.
 BUILDING AREA = 4800SF
 TOTAL SPACES REQUIRED = 4800/250 = 20
 TOTAL SPACES PROVIDED = 12
 (ADDITIONAL 7 SPACES WILL BE PROVIDED ON ADJACENT PARCEL - SHARED AGREEMENT TO BE PROVIDED.)

HANDICAPPED SPACES PROVIDED = 1
 LOADING SPACES PROVIDED = 0

LANDSCAPING

LANDSCAPING AND BUFFERING SHALL MEET THE REQUIREMENTS OF SECTIONS 12.301-12.306, 12.208, & 12.211 OF THE CITY OF CHARLOTTE ZONING ORDINANCE. SEE SHEET C-02, LANDSCAPE PLAN, FOR TREE AND PLANT SPECIFICATIONS, QUANTITIES, AND LOCATIONS.

SIGNAGE

SHALL MEET THE REQUIREMENTS OF CHAPTER 13 OF THE CITY OF CHARLOTTE ZONING ORDINANCE. SIGNAGE REQUIRES A SEPARATE PERMIT. DETACHED SIGNAGE MUST BE GROUND-MOUNTED, NO MORE THAN SEVEN (7) FEET IN HEIGHT, AND NO MORE THAN FIFTY (50) SQUARE FEET.

DETACHED LIGHTING TO BE LIMITED TO A HEIGHT TO A HEIGHT OF 20'. NO WAL-PAK LIGHTING.

REQUESTED ZONING IS B-1(CD). LIMES USE IS RETAIL AND RESTAURANT. NO DRIVE-THRU WINDOWS.

60" HARDWOOD TREE LOCATED ADJACENT TO ROZZELLES FERRY RD. IS TO BE PROTECTED IN ACCORDANCE WITH CITY OF CHARLOTTE TREE ORDINANCE.

SITE WILL COMPLY WITH CHAPTER 21 OF THE CHARLOTTE CITY CODE. PROPOSED PLANNING IS CONCEPTUAL ONLY AND WILL BE SUBJECT TO CHANGE ON ACTUAL SITE CONDITIONS AND URBAN FORESTRY STAFF APPROVAL.

EROSION CONTROL PLAN
 DENUDED AREA IS LESS THAN ONE (1) ACRE. NO EROSION CONTROL PLAN IS REQUIRED. EROSION CONTROL MEASURES FOR LOTS OF LESS THAN ONE ACRE WILL BE INSTALLED.

SOLID WASTE MANAGEMENT
 DUMPSTER PAD WITH SCREENING AND GATES WILL BE PROVIDED ON ADJACENT PARCEL DUE TO COMMON OWNERSHIP OF BOTH PARCELS.

STORMWATER MANAGEMENT
 IMPERVIOUS AREA IS LESS THAN 20,000 SF. THEREFORE, NO STORMWATER PLAN OR PERMANENT DETENTION FACILITIES ARE REQUIRED.

SITE DATA
 ZONING R-22MF (EXIST.)
 B-1(CD) (REQUESTED)
 PIN # 039-016-07
 TOTAL AREA - 0.382 AC.
 DENUDED AREA - 0.25 AC.
 BUILDING AREA - 4,800 SF
 PAVEMENT - 2,437 SF
 SIDEWALKS - 500 SF
 IMPERVIOUS AREA - 7,137 SF
 % IMPERVIOUS AREA - 41%

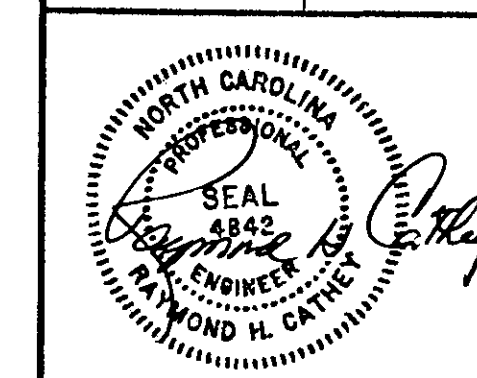
BUILDING SETBACKS
 FRONT - 15'
 REAR - 10'
 SIDE - 0'

SITE PLAN
 SCALE: 1" = 20'

BOUNDARY SURVEY AND TOPOGRAPHIC DATA OBTAINED FROM SURVEY MAPPING PREPARED BY HARRISBURG SURVEYING DATED MARCH 13, 2003.

CATHEY & ASSOCIATES, INC.
 4462 RACEWAY DR.
 CONCORD, NC 28027
 P.O. BOX 819
 HARRISBURG, NC 28075
 (704) 793-4092
 FAX (704) 793-4137

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF CATHEY & ASSOCIATES, INC. THE REPRODUCTION, COPYING OR USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.
 LICENSED CONTRACTORS IN THEIR RESPECTIVE TRADES SHALL FOLLOW ALL OSHA SAFETY GUIDELINES.



REZONING APPLICATION
HOSKINS SQUARE
 4108 ROZZELLES FERRY ROAD - CHARLOTTE, NC.
 SHEET TITLE: **SITE PLAN**

DATE: APRIL 2003
 DRAWN BY:
 CHECKED BY: RAY CATHEY
 REVISION: **03-69**
 SHEET: **C-01**

