

Notes Regarding Roadway connection to South Tryon Street at Sandy Porter Road.

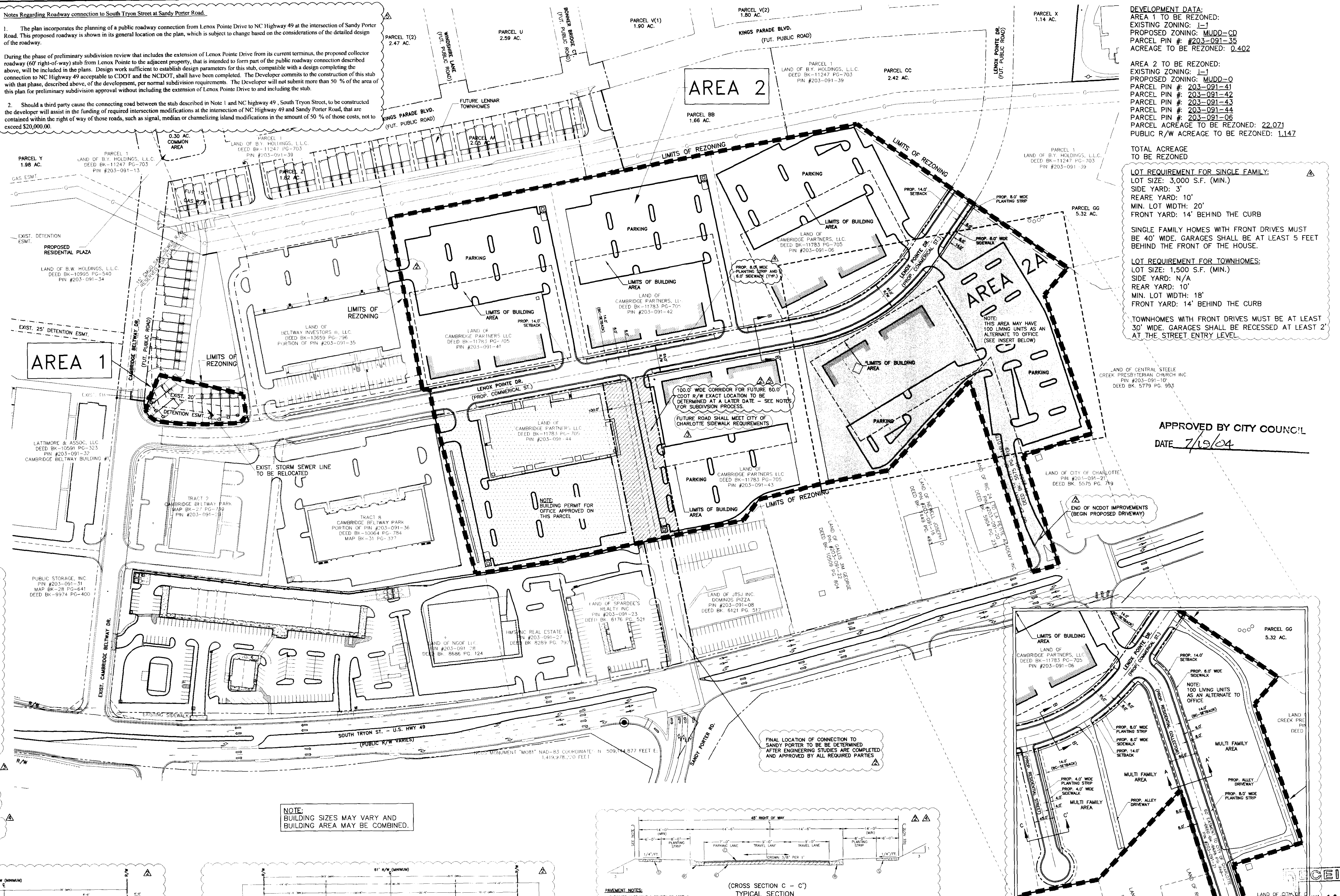
- The plan incorporates the planning of a public roadway connection from Lenox Pointe Drive to NC Highway 49 at the intersection of Sandy Porter Road. This proposed roadway is shown in its general location on the plan, which is subject to change based on the considerations of the detailed design of the roadway.
- During the phase of preliminary subdivision review that includes the extension of Lenox Pointe Drive from its current terminus, the proposed collector roadway (60' right-of-way) stub from Lenox Pointe to the adjacent property, that is intended to form part of the public roadway connection described above, will be included in the plans. Design work sufficient to establish design parameters for this stub, compatible with a design completing the connection to NC Highway 49 acceptable to CDOT and the NCDOT, shall have been completed. The Developer commits to the construction of this stub with that phase, described above, of the development, per normal subdivision requirements. The Developer will not submit more than 50% of the area of this plan for preliminary subdivision approval without including the extension of Lenox Pointe Drive to and including the stub.
- Should a third party cause the connecting road between the stub described in Note 1 and NC Highway 49, South Tryon Street, to be constructed the developer will assist in the funding of required intersection modifications at the intersection of NC Highway 49 and Sandy Porter Road, that are contained within the right of way of those roads, such as signal, median or channelizing island modifications in the amount of 50% of those costs, not to exceed \$20,000.00.

NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN; THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.

REZONING NOTES

- THE PETITIONER/DEVELOPER SHALL INSTALL ENGINEERING STORM WATER IMPROVEMENTS AS REQUIRED BY ADOPTED APPLICABLE STATE, LOCAL, AND FEDERAL ORDINANCES.
- THE ENTRANCES MAY BE RELOCATED OR CONFIGURED PENDING SAFE SIGHT DISTANCE REQUIREMENTS.
- THE PROPOSED SITE PLAN REPRESENTS A FIRM CONCEPT WITH RESPECT TO THE ARRANGEMENT OF LOTS, STREETS, OPEN SPACE, CONNECTIONS TO ADJOINING STREETS, AND PARCELS, ETC. CHANGES ARE PERMITTED DEPENDING UPON FINAL DESIGN AND SUBDIVISION PLANS. ANY SUCH CHANGES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SECTION 6 OF THE CHARLOTTE ZONING ORDINANCE.
- THE SITE PLAN SHALL COMPLY WITH CHARLOTTE-MECKLENBURG STREETScape DESIGN STANDARD (SECTION 9.8506).
- THE SITE PLANS SHALL CONFORM AND ADHERE TO ALL DEVELOPMENT STANDARDS SET FORTH IN THE DESIGN MANUAL "AYRSLEY CHARLOTTE, NORTH CAROLINA" DATE SEPTEMBER, 2000
- WALL PAK LIGHTING WILL NOT BE ALLOWED.
- THE NUMBER OF BUILDINGS SHALL NOT BE INCREASED BEYOND THE NUMBER INDICATED ON THIS SITE PLAN
- NO BUILDING SHALL EXCEED 5 STORIES OR 75 FEET IN HEIGHT.
- THE DETENTION SHALL TIE INTO THE EXISTING STORM WATER SYSTEM(S). THE PETITIONER SHALL HAVE THE RECEIVING DRAINAGE SYSTEM(S) ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THE DEVELOPMENT. IF IT IS FOUND THAT DEVELOPMENT WILL CAUSE THE STORM DRAINAGE SYSTEM(S) TO BE TAKEN OUT OF STANDARD, THE PETITIONER SHALL PROVIDE ADEQUATE DETENTION TO PREVENT THIS FROM OCCURRING.
- THERE WILL BE A MUDD REVIEW PROCESS REQUIRED FOR OBTAINING BUILDING PERMITS.



DEVELOPMENT DATA:
 AREA 1 TO BE REZONED:
 EXISTING ZONING: L-1
 PROPOSED ZONING: MUDD-CD
 PARCEL PIN # #203-091-35
 ACREAGE TO BE REZONED: 0.402

AREA 2 TO BE REZONED:
 EXISTING ZONING: L-1
 PROPOSED ZONING: MUDD-0
 PARCEL PIN # 203-091-41
 PARCEL PIN # 203-091-42
 PARCEL PIN # 203-091-43
 PARCEL PIN # 203-091-44
 PARCEL PIN # 203-091-06
 PARCEL ACREAGE TO BE REZONED: 22.071
 PUBLIC R/W ACREAGE TO BE REZONED: 1.147

TOTAL ACREAGE TO BE REZONED

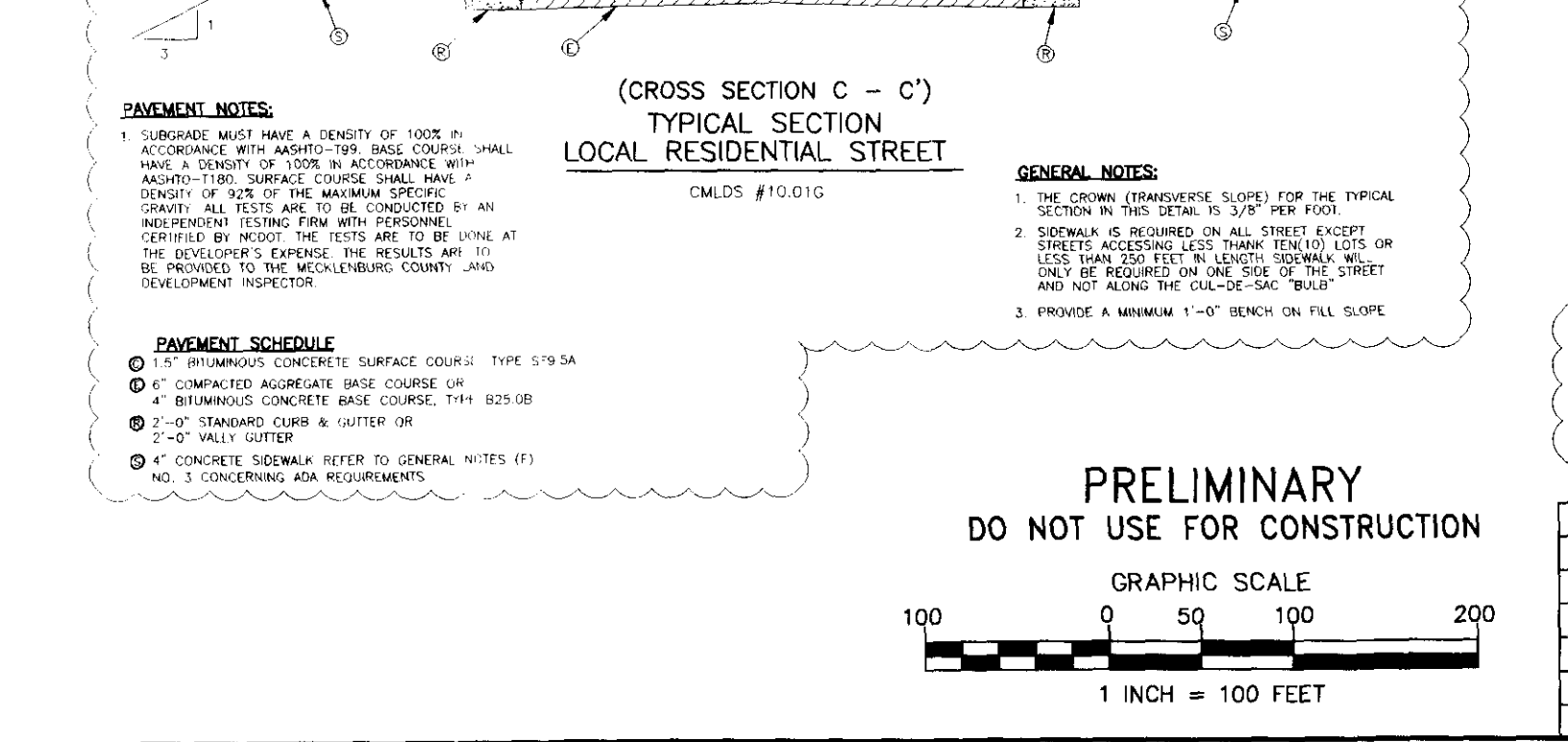
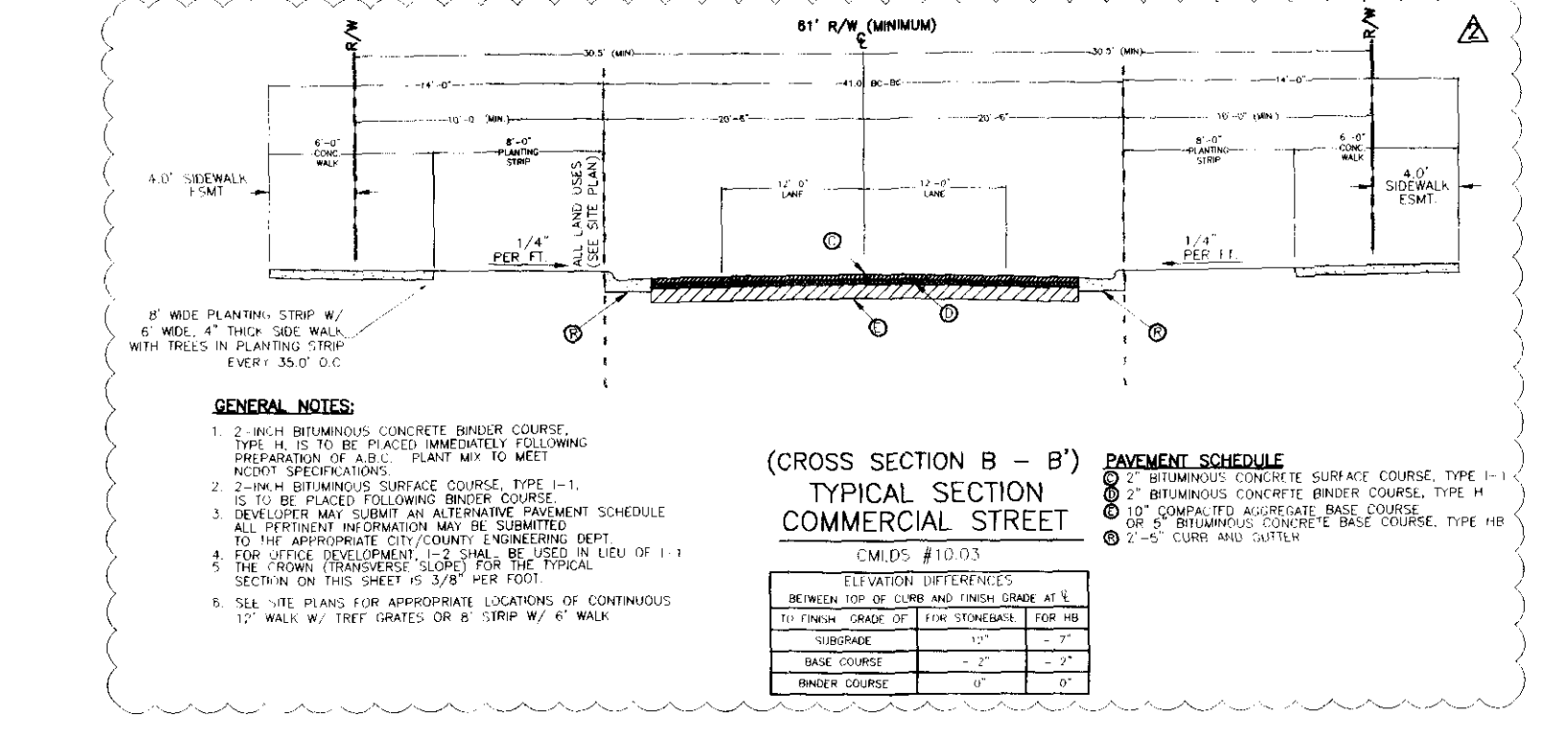
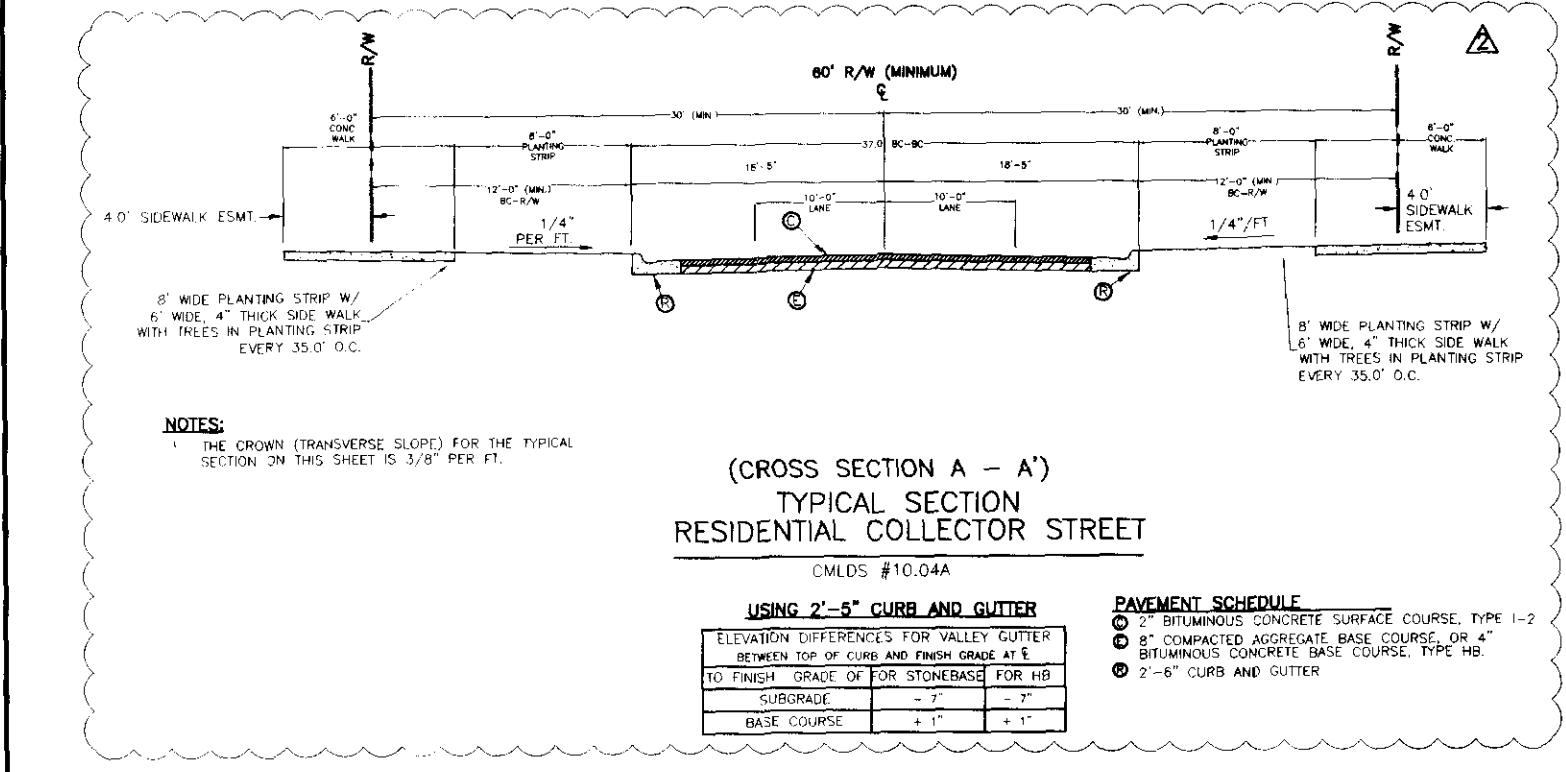
LOT REQUIREMENT FOR SINGLE FAMILY:
 LOT SIZE: 3,000 S.F. (MIN.)
 SIDE YARD: 3'
 REAR YARD: 10'
 MIN. LOT WIDTH: 20'
 FRONT YARD: 14' BEHIND THE CURB

SINGLE FAMILY HOMES WITH FRONT DRIVES MUST BE 40' WIDE. GARAGES SHALL BE AT LEAST 5 FEET BEHIND THE FRONT OF THE HOUSE.

LOT REQUIREMENT FOR TOWNHOMES:
 LOT SIZE: 1,500 S.F. (MIN.)
 SIDE YARD: N/A
 REAR YARD: 10'
 MIN. LOT WIDTH: 18'
 FRONT YARD: 14' BEHIND THE CURB

TOWNHOMES WITH FRONT DRIVES MUST BE AT LEAST 30' WIDE. GARAGES SHALL BE RECESSED AT LEAST 2' AT THE STREET ENTRY LEVEL.

APPROVED BY CITY COUNCIL
 DATE 7/19/04



FOR PUBLIC HEARING
 PETITION NUMBER 2004-43

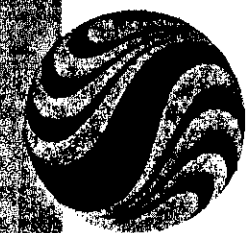
PRELIMINARY
 DO NOT USE FOR CONSTRUCTION

GRAPHIC SCALE
 100 0 50 100 200
 1 INCH = 100 FEET

NO.	BY	DATE	REVISION
1	CBH	1/20/04	REVISED PER CLIENT COMMENTS
2	JAB	3/22/04	REVS. PER CHARLOTTE-MECK. PLANNING
3	ABC	4/13/04	REVS. PER CHARLOTTE-MECK. PLANNING
4	CBH	6/11/04	REVS. PER CHARLOTTE-MECK. PLANNING
5	ABC	7/12/04	ADDED NOTES RE: FUT. HWY 49 CONNECTION

THE ISAACS GROUP
 CIVIL ENGINEERING DESIGN AND LAND SURVEYING
 8720 RED OAK BOULEVARD, SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8335

Project: CAMBRIDGE AT AYRSLEY
 CHARLOTTE, NORTH CAROLINA
 Title: TECHNICAL DATA SHEET
 OFFICE BASED PLAN
 File #: 04005.DWG Date: 1/16/04
 Design By: ABC
 Drawn By: CBH
 Scale: 1"=100'
 A-1



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Legend

- 1 6' SIDEWALK AND 8' PLANTING STRIP

Notes

- PUBLIC ROADS SHALL BE THE MAIN CIRCULATION ROADS AND LOCATIONS ARE SUBJECT TO ADJUSTMENT LATERALLY TO ACCOMMODATE HOUSING TYPES AND MARKET CONDITIONS. LATERAL MOVEMENT WILL NOT CHANGE THE LAYOUT CONCEPT.
- LENOX POINTE DRIVE SHALL BECOME RESIDENTIAL AS IT PASSES BY LOT 13.
- THE DETENTION SHALL TIE-IN TO THE EXISTING STORM WATER SYSTEM(S). THE PETITIONER SHALL HAVE THE RECEIVING DRAINAGE SYSTEM(S) ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THE DEVELOPMENT. IF IT IS FOUND THAT DEVELOPMENT WILL CAUSE THE STORM DRAINAGE SYSTEM(S) TO BE TAKEN OUT OF STANDARD, THE PETITIONER SHALL PROVIDE ADEQUATE DETENTION TO PREVENT THIS FROM OCCURRING.
- NO WALL PAK LIGHTING WILL BE USED ON OFFICE BUILDINGS.
- MAX. HEIGHT OF BUILDINGS SHALL BE 5 STORY OR 75'
- THE NUMBER OF RESIDENTIAL UNITS SHALL NOT EXCEED 464 UNITS WHICH CAN BE A MIXTURE OF SINGLE FAMILY, TOWNHOMES, CONDOMINIUMS, OR APARTMENTS.
- LOT REQUIREMENT FOR SINGLE FAMILY:
LOT SIZE: 3,000 S.F. MIN.
SIDE YARD: 3'
REAR YARD: 10'
MIN. LOT WIDTH: 20'
FRONT YARD: 14' BEHIND THE CURB
SINGLE FAMILY HOMES WITH FRONT DRIVES MUST BE 40' WIDE. GARAGES SHALL BE AT LEAST 5 FEET BEHIND THE FRONT OF THE HOUSE.
- LOT REQUIREMENT FOR TOWNHOMES:
LOT SIZE: 1,500 S.F. MIN.
SIDE YARD: N/A
REAR YARD: 10'
MIN. LOT WIDTH: 18'
FRONT YARD: 14' BEHIND THE CURB
TOWNHOMES WITH FRONT DRIVES MUST BE AT LEAST 30' WIDE. GARAGES SHALL BE RECESSED AT LEAST 2' AT THE STREET ENTRY LEVEL.
- THERE WILL BE A MUDD REVIEW PROCESS REQUIRED FOR OBTAINING BUILDING PERMITS.

1	PER REZONING PETITION REVIEW	FKM	JKL	04.03.23
Revision		By	Appd.	YY.MM.DD

File Name: 173200463 SITE REV 6-8-04 FKM JKL 04.03.23
Dwn Ck'd JKL 04.06.08
Dgn YY.MM.DD

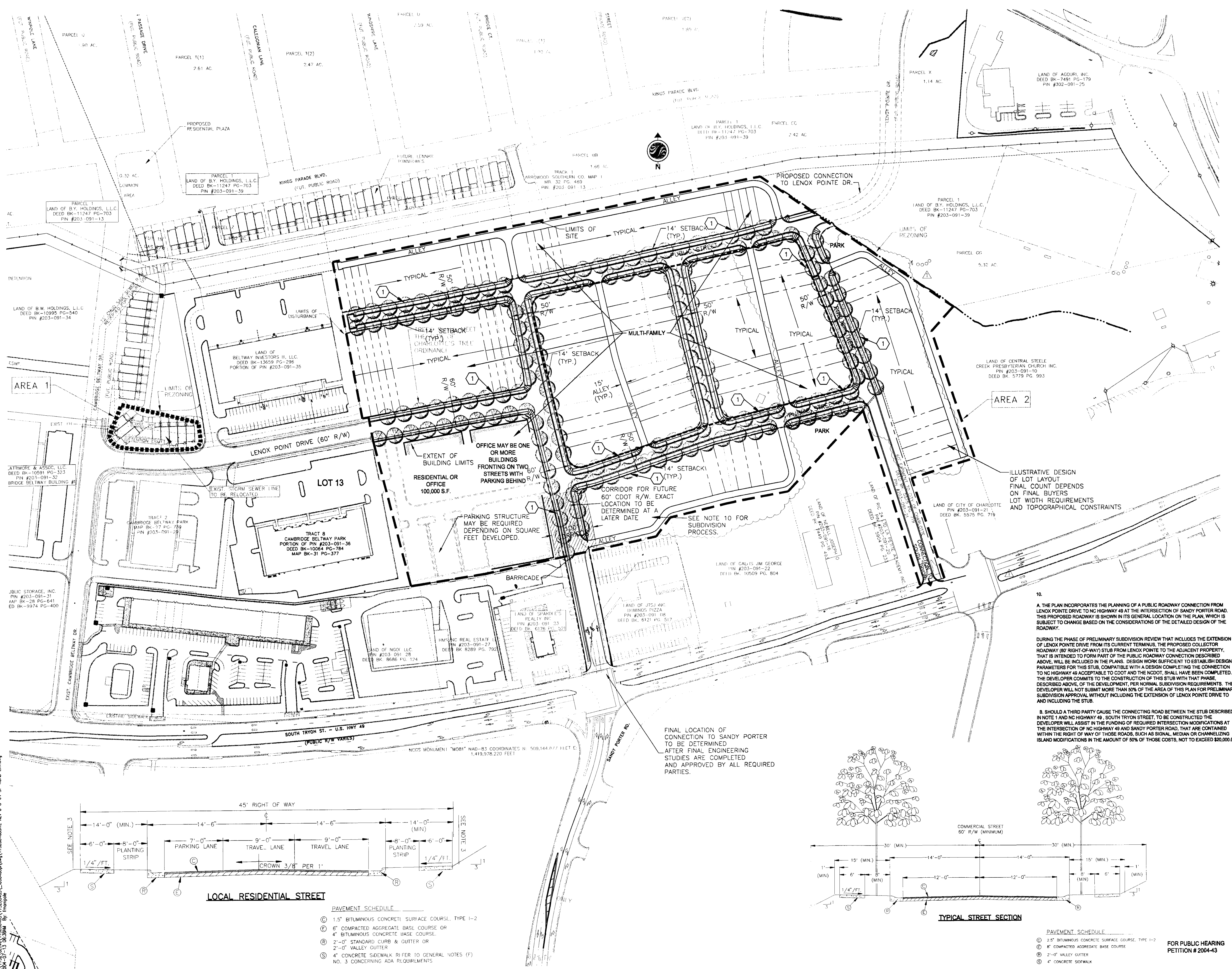
APPROVED BY CITY COUNCIL
DATE 7/19/04

Client/Project
CAMBRIDGE AT AYRSLEY

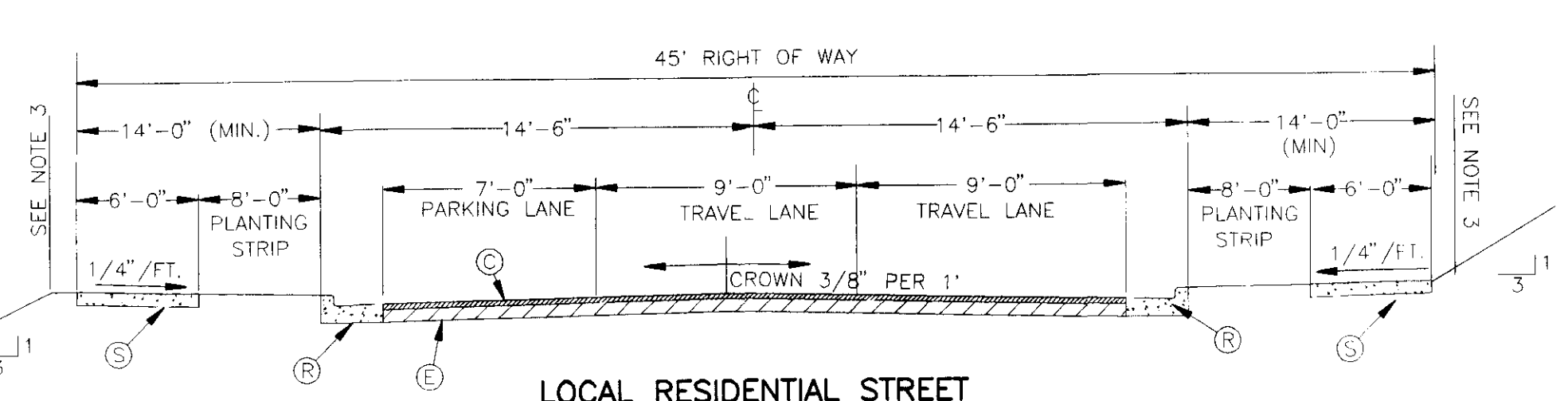
YORK ROAD SITE
LOTS 8,9,10,12,13
Charlotte NC U.S.A.

Title
TECHNICAL DATA SHEET
RESIDENTIAL BASE PLAN

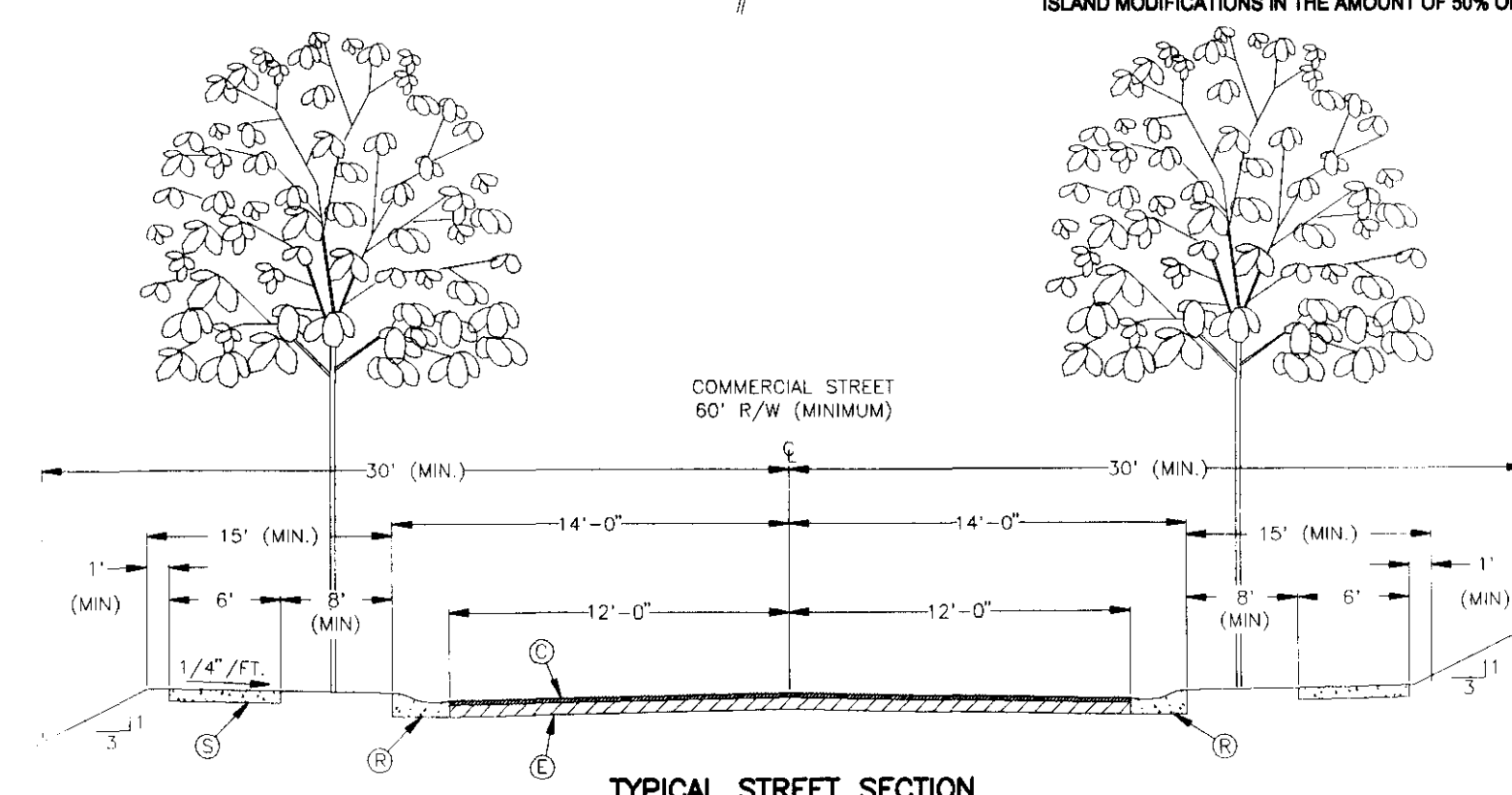
Project No. 173200463 Scale 1:100
Drawing No. A-2 Sheet 1 of 4 Revision 0



173200463 SITE REV 6-8-04 SP ROAD EXT 2004-07-13 08:38M By: [Signature]



- PAVEMENT SCHEDULE**
- 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 1-2
 - 4" BITUMINOUS CONCRETE BASE COURSE
 - 2"-0" STANDARD CURB & GUTTER OR 2"-0" VALLEY GUTTER
 - 4" CONCRETE SIDEWALK R/FER TO GENERAL NOTES (F) NO. 3 CONCERNING ADA REQUIREMENTS



- PAVEMENT SCHEDULE**
- 2.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 1-2
 - 6" COMPACTED AGGREGATE BASE COURSE
 - 2"-0" VALLEY GUTTER
 - 4" CONCRETE SIDEWALK

FOR PUBLIC HEARING PETITION # 2004-43



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Legend

Notes

**Cambridge at Aysley Mixed Use Development
 Technical Data Sheet Notes
 for Rezoning Petition No. 2004-043
 (March 23, 2004)**

These Technical Data Sheet Notes form a part of the Technical Data Sheet for **Rezoning Petition No. 2004-043**, submitted by Eugene Bodycott on behalf of Cambridge Partners LLC (the "Technical Data Sheet") in connection with the rezoning of (i) that certain .41 acre parcel located at the intersection of Cambridge Beltway Drive and Lenox Drive and designated as "Area 1" on the Technical Data Sheet, from I-1 to MUDD (CD) ("Area 1") and (ii) that certain approximately 23.65 acre parcel currently consisting of a portion of Cambridge Beltway Park and designated as "Area 2" on the Technical Data Sheet, from I-1 to MUDD-O ("Area 2", and together with Area 1 referred to herein as the "Site" or the "Property").

Reference to the Technical Data Sheet herein shall include Sheet A-1 and Sheet A-2 and these Technical Data Sheet Notes. Development of the Site and the individual components to be located thereon will be governed by the conditions of the Technical Data Sheet (including these Technical Data Sheet Notes) and any plans and drawings specifically incorporated therein by reference (collectively, the "Rezoning Plan") and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").

Section 1. AREA 1 DEVELOPMENT

(a) Area 1 may be developed for any uses (including accessory uses) which are permitted by right or under prescribed conditions under the Ordinance for the Mixed Use Development District (CD) [MUDD-(CD)] in accordance with the standards of that district, and the provisions of Sections 3 and 4 set forth in these Technical Data Sheet Notes (but excluding the MUDD-Optional provisions set forth in Section 5 below).

Section 2. AREA 2 DEVELOPMENT

(a) The Technical Data Sheet sets forth on Sheet A-1 a general depiction of the Site as developed primarily for office uses together with support retail/restaurant uses and a limited amount of residential uses in locations generally depicted on Sheet A-1 (the "Office Based Plan"). The Technical Data Sheet sets forth on Sheet A-2 a general depiction of the Site as developed primarily for residential uses together with a limited amount of office uses (and support retail/restaurant uses) in the locations generally depicted on Sheet A-2 (the "Residential Based Plan"). Accordingly, Petitioner may elect to develop Area 2 substantially in accordance with the Office Based Plan generally depicted on Sheet A-1 or the Residential Based Plan generally depicted on Sheet A-2.

(b) Area 2 may be developed for any uses (including accessory uses) which are permitted by right or under prescribed conditions under the Ordinance for the Mixed Use Development District - Optional (MUDD-O) in accordance with the standards of that district, and the provisions set forth in these Technical Data Sheet Notes (including without limitation the MUDD-Optional provisions set forth in Section 5 below).

(c) The total floor area for buildings in Area 2 devoted to commercial uses shall not exceed 399,000 square feet, provided, however, retail and restaurant uses shall be limited to the ground floor of any buildings located in Area 2 and shall not exceed 20,000 square feet in Area 2. In the event that development in Area 2 follows the Residential Based Plan, the total floor area for buildings in Area 2 devoted to commercial uses shall not exceed 100,000 square feet.

(d) The maximum number of residential dwelling units in Area 2 shall not exceed 464 dwelling units. A variety of housing types and densities may be developed in Area 2. In the event that development in Area 2 follows the Office Based Plan, the total number of residential dwelling units in Area 2 shall not exceed 100 dwelling units.

(e) Areas devoted to outdoor dining in courtyards and plazas are not included in the floor area limitations set forth in this Section 2, but any off street parking required by the Ordinance will be provided for outdoor dining in these areas.

Section 3. SITE DESIGN AND ARCHITECTURAL STANDARDS

(f) The development generally depicted on the Technical Data Sheet is intended to describe the general arrangement of the uses and structures on the Site, it being understood that the exact details of configuration, placement and size of the individual site elements (including without limitation roads, buildings, parking areas, driveways, etc.) shall be established during the design, development and construction phases and shall be governed by (i) the requirements of the Ordinance for the MUDD district (as may be modified by the Optional provisions set forth in Section 5 hereof with respect to the Area 2 development) and, (ii) with respect to the Office Based Plan for Area 2, the building/parking envelopes generally depicted on Sheet A-1. Without limiting the generality of the foregoing, it is understood that the buildings generally depicted on the Office Based Plan for Area 2 (as illustrated by the building edges shown thereon) may be reconfigured and combined provided that the number of such buildings located on Area 2 as part of the Office Based Plan for Area 2 shall not exceed the number of buildings generally depicted on the Office Based Plan for Area 2 (as illustrated by the building edges shown thereon).

(g) Buildings occupied principally by commercial uses will be constructed primarily with textured concrete/masonry and glass and other similar materials. Such buildings may be multi-story and shall be generally consistent and complimentary with the existing buildings at Cambridge Beltway Park.

(h) For residential uses, porches and balconies on the street side shall be encouraged. Building materials for residential uses may include brick, stone, hardi-plank, EIFS, vinyl siding and wood siding materials; roof materials for residential uses may include architectural grade fiberglass shingles, slate or tile materials; and metal roofs may be used for porches.

(i) The Petitioner agrees to establish an Architectural Review Board to review the designs of all buildings proposed for the Site. The architectural standards developed for the Site will address allowed materials and construction systems, signage design requirements, image, masking guidelines, colors allowed, and approved landscaping materials as described in this Section 3 and otherwise in accordance with the MUDD district development standards (as the same may be modified by the MUDD - Optional provisions set forth in Section 5 below). Reference is made to those certain preliminary architectural standards developed by Duany Plater-Zyberk & Company dated as of December 7, 2000 (the "Preliminary Architectural Standards"), a copy of which is incorporated into these Technical Data Sheet Notes. The Petitioner agrees that except as otherwise provided in this Section 3 and as modified in connection with the subdivision approval of portions or all of the development, the proposed buildings will comply in all material respects with the Preliminary Architectural Standards. Changes to the Preliminary Architectural Standards may be made by the Petitioner provided that the general concepts and requirements of the Preliminary Architectural Standards shall not be materially altered in a manner that could result in a materially diminished quality of construction or design of the proposed buildings. Petitioner shall cause a letter from the Architectural Review Board approving a proposed building to be submitted to the Charlotte-Mecklenburg Building Standards Department in connection with each request for a building permit.

Section 4. GENERAL DEVELOPMENT STANDARDS

The following general development standards shall apply to development of the Site:

(j) Interior setbacks along any public streets on the Site may be reduced per Section 11.405(7) of the Ordinance.

(k) Internal sidewalks from buildings not fronting directly on public streets shall connect to the sidewalks system along public streets substantially in the manner shown on the Technical Data Sheet.

(l) Parking shall be provided which will meet or exceed the standards of the Ordinance. Where parking is not located behind buildings, screening shall be provided at the lot line by landscaping or decorative walks or fences.

(m) In mixed use areas, shared parking may be allowed at the discretion of the Zoning Administrator.

(n) Except as permitted by the MUDD - Optional provisions set forth in Section 5 below with respect to Area 2 development, signage will meet or exceed the requirements as outlined in the Ordinance, and detached signs along internal public streets will be limited to 64 feet in height and a maximum area of 5032 square feet. Detached signs shall otherwise be subject to review by the Architectural Review Board with respect to uniformity of image, materials and character.

(o) Storm water runoff from the Site will be managed through a variety of proven techniques which satisfy the standards imposed by the Charlotte/Mecklenburg Engineering Department. Any required storm water detention shall tie-in to existing abutting storm water system(s). During the permitting stage of the development, the Petitioner shall have the receiving drainage system, located directly downstream from the Site at the next receiving channel and pipe abutting the Site, analyzed to insure that it will not be taken out of standard due to the development contemplated by this rezoning petition. If it is found that the development contemplated by this rezoning petition will cause such receiving storm drainage system to be taken out of standard, the Petitioner shall provide adequate detention on Site or otherwise take such reasonable steps as may be needed to prevent this from occurring. Should the existing receiving drainage system be deemed to be out of standard prior to the development of this Site, the Petitioner agrees to provide adequate detention to insure that such drainage system will not be additionally over burdened; it is expressly understood, however, that in no event shall the Petitioner be required to correct any current problems with the existing receiving drainage system.

(p) Screening shall conform with standards and treatments specified in Section 12.303 of the Ordinance. All dumpsters on the Site will be screened with a solid enclosure with gates.

(q) All freestanding lighting fixtures (excluding public streetlights) installed will be uniform in design. No wall pak lighting will be permitted. Petitioner agrees to install pedestrian scale lighting along public and private streets in Area 2 to the extent Area 2 is developed in accordance with the Residential Based Plan. The maximum height of any freestanding lighting fixture (excluding public street lights), including the base, shall not exceed 35' in height the commercial use areas, or exceed 20' in the non-mixed use residential areas.

(r) Vehicular access to the Site shall be as generally depicted on the Technical Data Sheet. The placements and configurations of these access points are subject to any minor modification required to accommodate final site and architectural/ construction plans and designs and to any minor adjustments required for approval by CDOT.

(s) The height of buildings within Area 2 or Area 1 shall not exceed the lesser of five (5) stories or 75 feet as measured from the grade of the nearest abutting public or private street.

(t) Bicycle parking spaces (bike racks) shall be provided in connection with buildings devoted to commercial uses within Area 2 in locations to be determined by the Petitioner such that the number of bicycle parking spaces provided is at least five percent of the total number of automobile parking spaces required.

(u) Future amendments to this Rezoning Plan may be applied for by the then owner or owners of the parcel or parcels involved in accordance with Chapter 6 of the Ordinance.

(v) This Rezoning Plan shall, unless amended in the manner provided herein, be binding upon and inure to the benefit of the Petitioner and each of the owners of any portion of the Site, and their respective heirs, executors, personal representatives, successors in interest and assigns.

Section 5. MUDD-OPTIONAL PROVISIONS

The Petitioner is requesting a variation from certain MUDD standards as a part of this MUDD (Optional) application for Area 2. These Optional variations are as follows:

(w) **Building/Parking Locations.** As set forth on the Technical Data Sheet with respect to the intended building edges to be located in Area 2, it is contemplated that the development shall comply in all material respects with the provisions of Section 9.8507(2) of the Ordinance regarding the prohibition of surface parking or maneuvering space within any required setback, or between the permitted use and the required setback. It is acknowledged, however, that given the need to permit flexibility in building/parking design, Petitioner may, on a case by case basis prior to the issuance of a building permit for a specific building site within Area 2, seek approval of the Planning Staff with respect to limited exceptions to the requirements of Section 9.8507(2). These exceptions may be granted by the Planning Staff based upon a determination that the exception to be granted will not materially alter the new urbanism pedestrian friendly design features contemplated by this Rezoning Plan.

(x) **Signage.** The size and number of attached and detached signs installed in connection with the Office Based Plan shall be limited to that allowed for an office district development as per Section 13.109(2)(b) and as modified by the Planned Development Flexibility Option in Section 13.110(2). Furthermore, detached signs along internal public streets will be limited to 4 feet in height and a maximum area of 32 square feet per building in Area 2.

(y) **Urban Open Space:** While development of Area 2 for the Office Based Plan pursuant to this rezoning request will exceed the level of development contemplated by the existing I-1 zoning from a site design standpoint, the urban open space provisions of Section 9.8506(4) shall be modified as follows:

Lot Size (square feet)	Open Space Required (1 square feet/gross square feet of floor area)
0 - 20,000 square feet	1 square feet/400 square feet
20,001 - 40,000 square feet	1 square feet/300 square feet
above 40,000 square feet	1 square feet/200 square feet

A maximum of 60 percent of this required open space may be provided on the enclosed ground floor level. This required open space may also be located on the roofs of buildings. The required open space must be accessible to uses of the building and be improved with seating and plantings.

1	PER REZONING PETITION REVIEW	FKM	JKL	04.03.23
Revision		By	Appd.	YY.MM.DD

File Name:	173200463 SITE REV 3-16-04	FKM	JKL	JKL	04.03.22
		Dwn.	Chkd.	Dsgn.	YY.MM.DD

Permit-Seal
APPROVED BY CITY COUNCIL
 DATE 7/9/04

Client/Project
CAMBRIDGE AT AYRSLEY

YORK ROAD SITE
LOTS 8,9,10,12,13
 Charlotte NC U.S.A.

Title
**TECHNICAL DATA SHEET NOTES
 FOR REZONING PETITION
 NO. 2004-043**

Project No.	Scale
173200463	N/A

Drawing No.	Sheet	Revision
A-2	2 of 4	0



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Legend

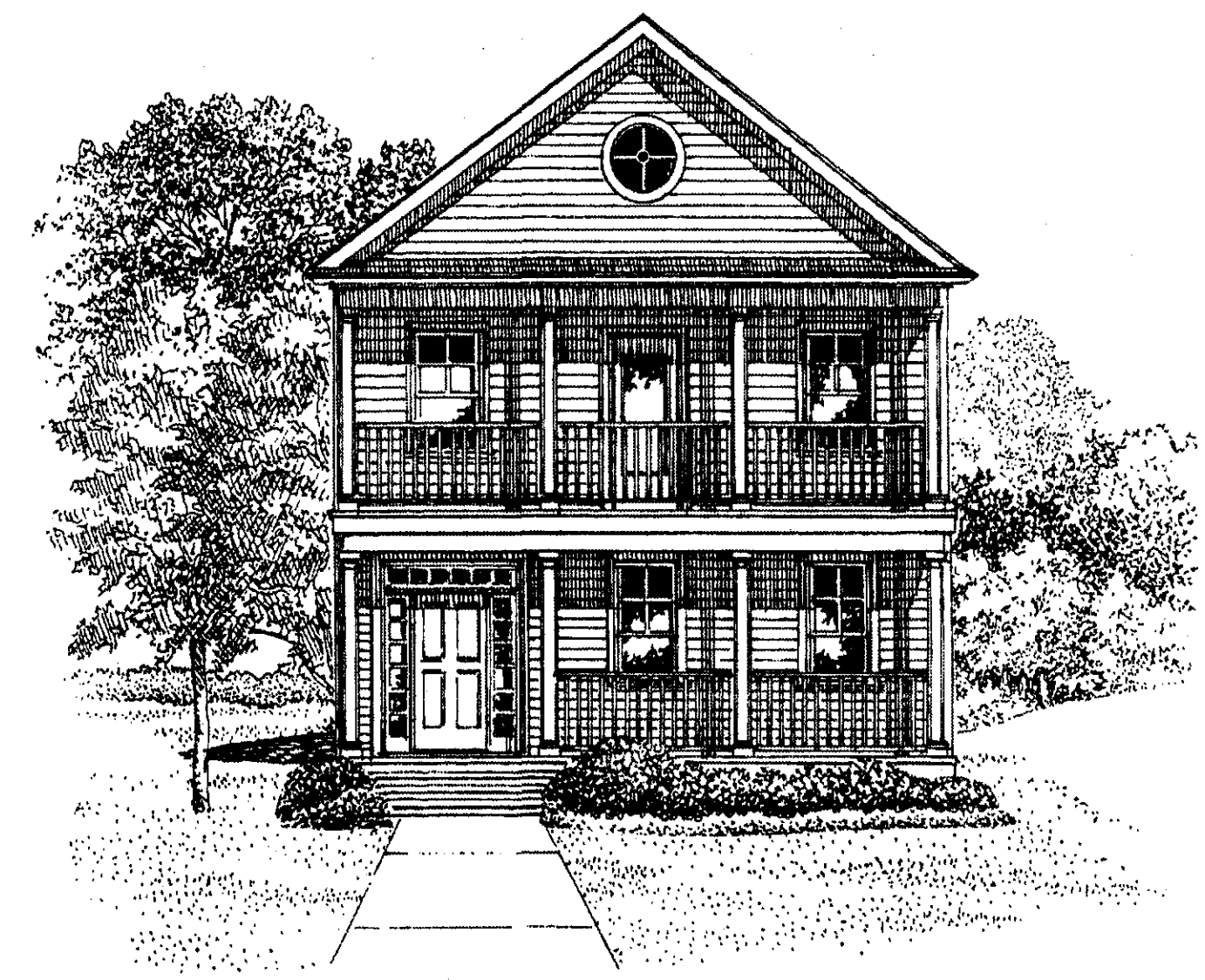
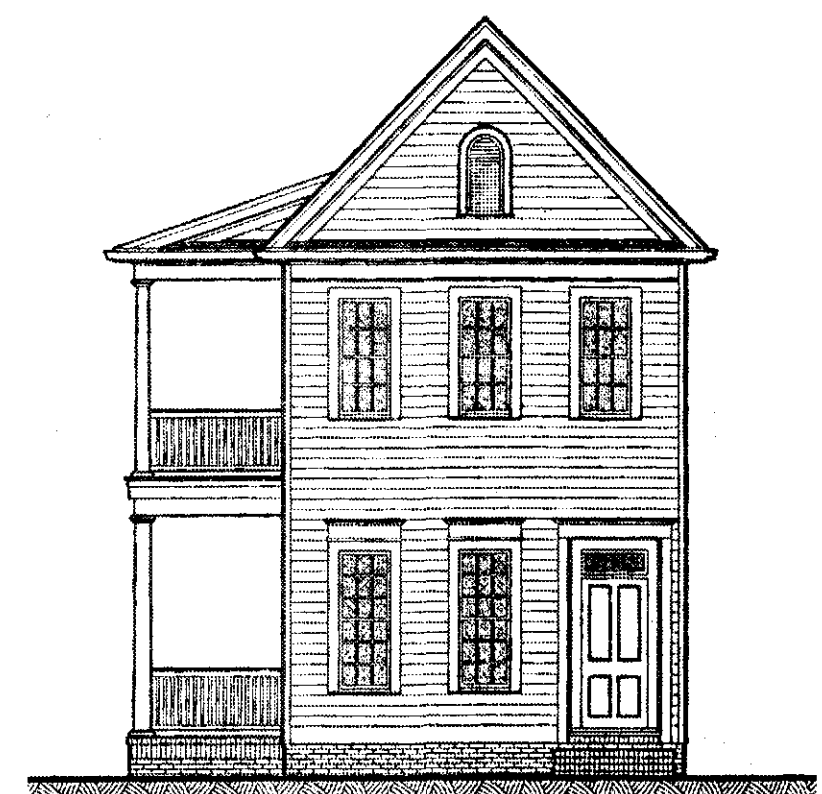
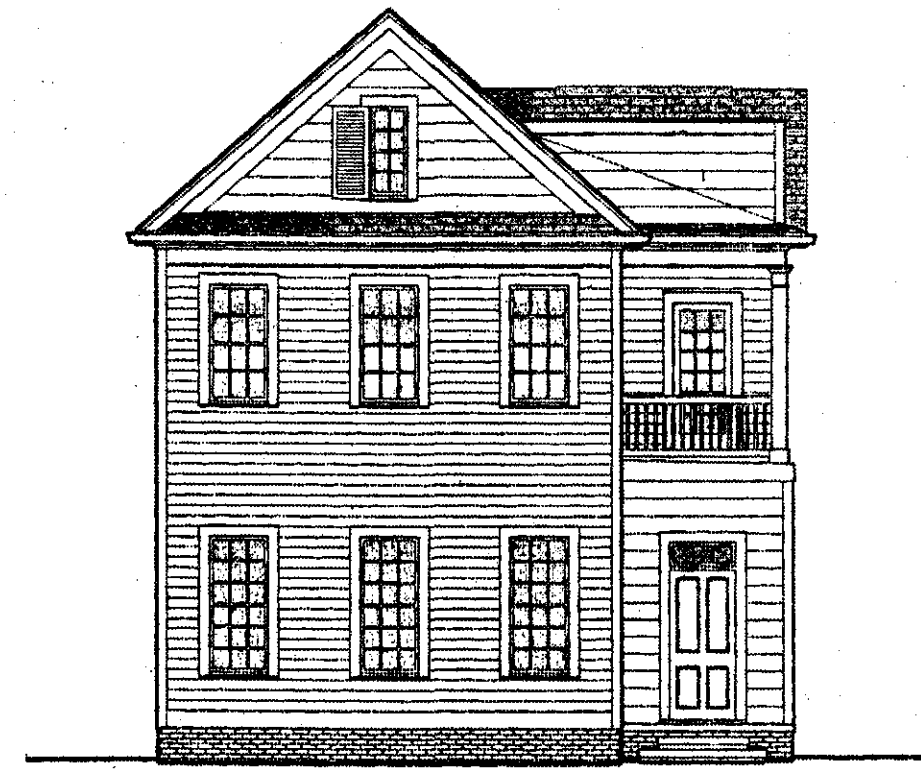
Notes



**MASSING
SINGLE
FAMILY**



**MASSING
TOWNHOMES**



Revision	By	Appd.	YY.MM.DD

File Name:	Dwn.	Chkd.	Dsgn.	YY.MM.DD

Permit-Seal
 APPROVED BY CITY COUNCIL
 DATE 7/19/04

Client/Project
CAMBRIDGE AT AYRSLEY

 YORK ROAD SITE
 LOTS 8,9,10,12,13
 Charlotte NC U.S.A.

Title
**ARCHITECTURAL CHARACTER
SKETCHES**

Project No.	Scale	
173200463	NOT TO SCALE	
Drawing No.	Sheet	Revision
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