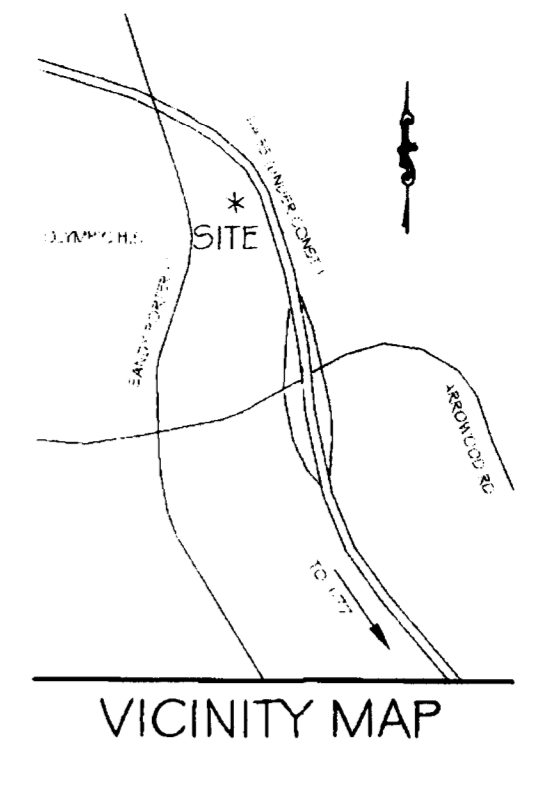


LEGEND

- PROPERTY LINE
- - - ADJONER PROPERTY LINE
- CENTER LINE ALIGNMENT
- - - RIGHT-OF-WAY
- SETBACK
- FOUND PROPERTY CORNER
- SET PROPERTY CORNER (#4)
- POWER/TELEPHONE POLE
- TELEPHONE PEDESTAL
- ⊕ FIRE HYDRANT



SITE SUMMARY - TRACT 1

EXISTING ZONING = R-3
 PROPOSED ZONING = O-1 (CD)
 SITE ACREAGE = 1,667 AC.
 OWNER = ROBERT E. SING & LINDA BELCHER SING

SITE SUMMARY - TRACT 2

EXISTING ZONING = R-3
 PROPOSED ZONING = O-1 (CD)
 SITE ACREAGE = 0,605 AC.
 OWNER = ROBERT E. SING & LINDA BELCHER SING

DEVELOPMENT STANDARDS

- GENERAL NOTES:**
- All distances are horizontal measurements unless otherwise noted.
 - All areas are calculated by the coordinate computation method.
 - All corners of Lease Area are monumented as shown.
 - Subject Property Zoning: R-3
 - Unless stated otherwise hereon, only evidence of easements or structures thereto which are readily apparent from a casual above ground view of premises are shown.
 - Subject tract is not situated within a Special Flood Hazard Area, per FEMA-FIRM Community Panel Number 3701580-140C, last revised on March, 2, 1993.

GENERAL PROVISIONS
 UNLESS MORE STRINGENT STANDARDS ARE ESTABLISHED BY THE TECHNICAL DATA SHEET OR THESE DEVELOPMENT STANDARDS, ALL DEVELOPMENT STANDARDS ESTABLISHED UNDER CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE") FOR THE O-1 ZONING DISTRICT CLASSIFICATION SHALL BE FOLLOWED IN CONNECTION WITH DEVELOPMENT TAKING PLACE ON THE SITE.

PERMITTED USES
 THE SITE MAY BE DEVOTED TO ANY USES ALLOWED BY RIGHT OR UNDER PRESCRIBED CONDITIONS (INCLUDING ANY ACCESSORY USE) IN THE O-1 ZONING DISTRICT, EXCEPT MOTELS AND OR HOTELS.
 TRACT 2 MAY BE DEVELOPED UNDER AN ACCESSORY USE AS A MONOPOLE COMMUNICATIONS STRUCTURE INCORPORATING STEALTH LIKE DUEL POLE ANTENNAS. SUCH AN ACCESSORY USE WILL NOT TRIGGER MAJOR DEVELOPMENT PROVISIONS STATED HEREIN.

SETBACKS, SIDE YARDS AND REAR YARDS
 ALL BUILDING CONSTRUCTED AND PARKING WITHIN THE SITE SHALL SATISFY OR EXCEED THE SETBACK, REAR YARD AND SIDE YARD REQUIREMENTS ESTABLISHED UNDER THE ORDINANCE FOR THE O-1 ZONING DISTRICT.

BUFFERS/SETBACKS
 1. BUFFER AREAS ESTABLISHED ON THIS TECHNICAL DATA SHEET SHALL CONFORM TO THE STANDARDS OF SECTION 12.302 OF THE ORDINANCE; SUBJECT TO THE PROVISIONS OF SECTION 12.304.
 2. WHERE EXISTING TREES AND NATURAL VEGETATION HAVE BEEN CLEARED TO ACCOMMODATE PEDESTRIAN SIDEWALKS OR PATHWAYS OR THE INSTALLATION OF UTILITIES, THE CLEARED, UNIMPROVED AREAS WILL BE LANDSCAPED WITH TREES AND SHRUBS TO MEET THE REQUIREMENTS OF THE PROVISIONS OF THE ZONING ORDINANCE.

SCREENING AND LANDSCAPING AREAS
 1. SITE SHALL CONFORM TO THE CITY OF CHARLOTTE TREE ORDINANCE.
 2. LANDSCAPED AREAS WILL BE PLANTED AND IMPROVED WHEN DEVELOPED AND WILL MEET OR EXCEED THE REQUIREMENTS OF THE ORDINANCE.
 3. SCREENING SHALL CONFORM WITH THE STANDARDS AND TREATMENTS SPECIFIED IN SECTION 12.303 OF THE ORDINANCE.
 4. THE PETITIONER WILL PRESERVE TREES 8" IN CALIPER WITHIN THE SETBACKS ALONG SANDY PORTER ROAD AND I-485 EXCEPT WHERE GRADING IS REQUIRED FOR SITE IMPROVEMENTS AND WITH APPROVAL OF THE ENGINEERING INSPECTOR AS PART OF THE BUILDING PERMIT PROCESS. TREES 8" AND GREATER ARE PROTECTED UNDER THE CITY OF CHARLOTTE TREE ORDINANCE.

PARKING
 1. OFF-STREET PARKING WILL MEET THE MINIMUM STANDARDS ESTABLISHED UNDER THE ORDINANCE.
 2. FUTURE PARKING UPON OFFICE DEVELOPMENT WILL NOT BE ALLOWED BETWEEN THE BUILDING AND SANDY PORTER ROAD.

SIGNS
 ALL SIGNS PLACED ON THE SITE WILL BE ERECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

LIGHTING
 1. THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHTING FIXTURE, INCLUDING ITS BASE, SHALL NOT EXCEED 30 FEET.
 2. ALL DIRECT LIGHTING WITHIN THE SITE (EXCEPT STREET LIGHTS WHICH MAY BE ERECTED ALONG SANDY PORTER ROAD) SHALL BE DESIGNED SUCH THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY EXTERIOR PROPERTY LINE. CONSIDERATION WILL BE GIVEN TO THE IMPACT OF LIGHTING BOTH WITHIN AND OUTSIDE THE PERIMETER OF THE SITE. ITEMS FOR CONSIDERATION WILL INCLUDE INTENSITY, CUTOFF ANGLES, COLOR, ENERGY EFFICIENCY, AND SHIELDING OF SOURCES OF LIGHT, THE INTENT BEING TO ELIMINATE GLARE TOWARDS SANDY PORTER ROAD AND ADJACENT PROPERTIES. THE LIGHTING WILL BE CAPPED TO DIRECT LIGHTING DOWNWARD AND NO WALL "BANK" TYPE LIGHTING WILL BE ALLOWED ON O-1 DEVELOPMENT BUILDINGS.

ACCESS POINTS (DRIVEWAYS)
 1. THE TOTAL NUMBER OF VEHICULAR ACCESS POINTS TO THE SITE SHALL BE LIMITED TO THOSE DEPICTED ON THE TECHNICAL DATA SHEET.
 2. THE PLACEMENT AND CONFIGURATION OF ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND ARCHITECTURAL CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION OR THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
 3. INTERNAL VEHICULAR ACCESS BETWEEN ADJACENT PROPERTIES WILL BE MADE WHEN DEVELOPMENT OF TRACT 1 TAKES PLACE.

FIRE PROTECTION
 ADEQUATE FIRE PROTECTION IN THE FORM OF FIRE HYDRANTS WILL BE PROVIDED TO THE CITY OF CHARLOTTE FIRE MARSHALL'S SPECIFICATIONS WHEN THE PROPERTY IS DEVELOPED. PLANS FOR EACH BUILDING WILL BE SUBMITTED TO THE FIRE MARSHALL'S OFFICE FOR APPROVAL BEFORE THE CONSTRUCTION ON SAID PROPERTY COMMENCES.

ARCHITECTURAL CONTROLS
 DUMPSTER AREAS WILL BE ENCLOSED ON ALL FOUR SIDES, WITH ONE SIDE BEING A HINGED GATE AND THE OTHER THREE SIDES BEING A MASONRY WALL. IF ONE OR MORE SIDES OF A DUMPSTER AREA ADJOIN A SIDE OR REAR WALL OF THE BUILDING, THEN THE SIDE OR REAR WALL MAY BE SUBSTITUTED FOR A SIDE.
 ALL BUILDINGS CONSTRUCTED ON TRACT 1 WILL UTILIZE MASONRY BUILDING MATERIALS WITH NO PAINTED BLOCK OR METAL BUILDINGS ALLOWED.

STORM WATER MANAGEMENT
 STORM WATER RUNOFF FROM THE SITE WILL BE MANAGED THROUGH PROVEN TECHNIQUES WHICH SATISFY THE STANDARDS IMPOSED BY THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
 NO STORM WATER DETENTION WILL BE ALLOWED IN THE SETBACKS.
 THE DETENTION SHALL TIE-IN TO THE EXISTING STORM WATER SYSTEM(S). THE DEVELOPER OF TRACT 1 SHALL HAVE THE RECEIVING DRAINAGE SYSTEM(S) ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THE DEVELOPMENT. IF IT IS FOUND THAT THE DEVELOPMENT WILL CAUSE THE STORM DRAINAGE SYSTEM(S) TO BE TAKEN OUT OF STANDARD, THE DEVELOPER OF TRACT 1 SHALL PROVIDE ADEQUATE DETENTION TO PREVENT THIS FROM OCCURRING.

SIDEWALKS
 1. WHEN DEVELOPMENT OF TRACT 1 OCCURS A 5' SIDEWALK WITH A MINIMUM 8' PLANTING STRIP ALONG THE SITE'S FRONTAGE WITH SANDY PORTER ROAD WILL BE INSTALLED AND IT MAY MEANDER TO SAVE TREES WITHIN THE SETBACKS.

AMENDMENTS TO REZONING PLAN
 FUTURE AMENDMENTS TO THE TECHNICAL DATA SHEET AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE SITE IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.

AVCON
 ENGINEERS & PLANNERS
 1617 EAST BOULEVARD #418 CHARLOTTE, NC 28203
 OFFICE: (704) 954-9008 #FAX: (704) 954-9002
 www.avconinc.com
 03/16/04 JSM CHARLOTTE PLANNING COMMENTS
 05/09/04 RAC CHARLOTTE PLANNING COMMENTS
 09/24/2014 ADMINISTRATIVE AMENDMENT

TECHNICAL DATA SHEET
4320 SANDY PORTER ROAD
 MECKLENBURG COUNTY, NORTH CAROLINA
 # 2004-44
 FOR PUBLIC HEARING - PETITION
 BERKLEY GROUP LLC
 10612-D PROVIDENCE ROAD
 CHARLOTTE, NC 28277

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: 12-19-2014
 APPROVED BY: [Signature]
 North
 Scale 1" = 50'
 Job No: 200499.03
 Date: 07/26/04
 Sheet: 1

Charlotte-Mecklenburg Planning Department

DATE: December 19, 2014
FROM: Ed McKinney
 Interim, Planning Director
TO: Mark Fowler
 Zoning Supervisor

SUBJECT: Administrative Approval for Petition No. 2004-044 Berkley Group, LLC
 Attached is the revised site plan to reduce the required front setback from 30 feet to 20 feet. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Reasons for Staff's support of the request:
 • The site plan and elevations complies with the conditional notes and still meets the intent of the plan approved by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.
Signage was note reviewed as part of this request.



Charlotte-Mecklenburg Planning Department

DATE: October 19, 2015

TO: Donald Moore
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

\$F *[Signature]*

SUBJECT: Administrative Approval for Petition No. 2001-060 and 2004-044

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Building Elevations

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan and City Council policies.

Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.

Signage was note reviewed as part of this request.



Attached to Administrative
Approval

Solomon A. Fortune \$F
Solomon A. Fortune



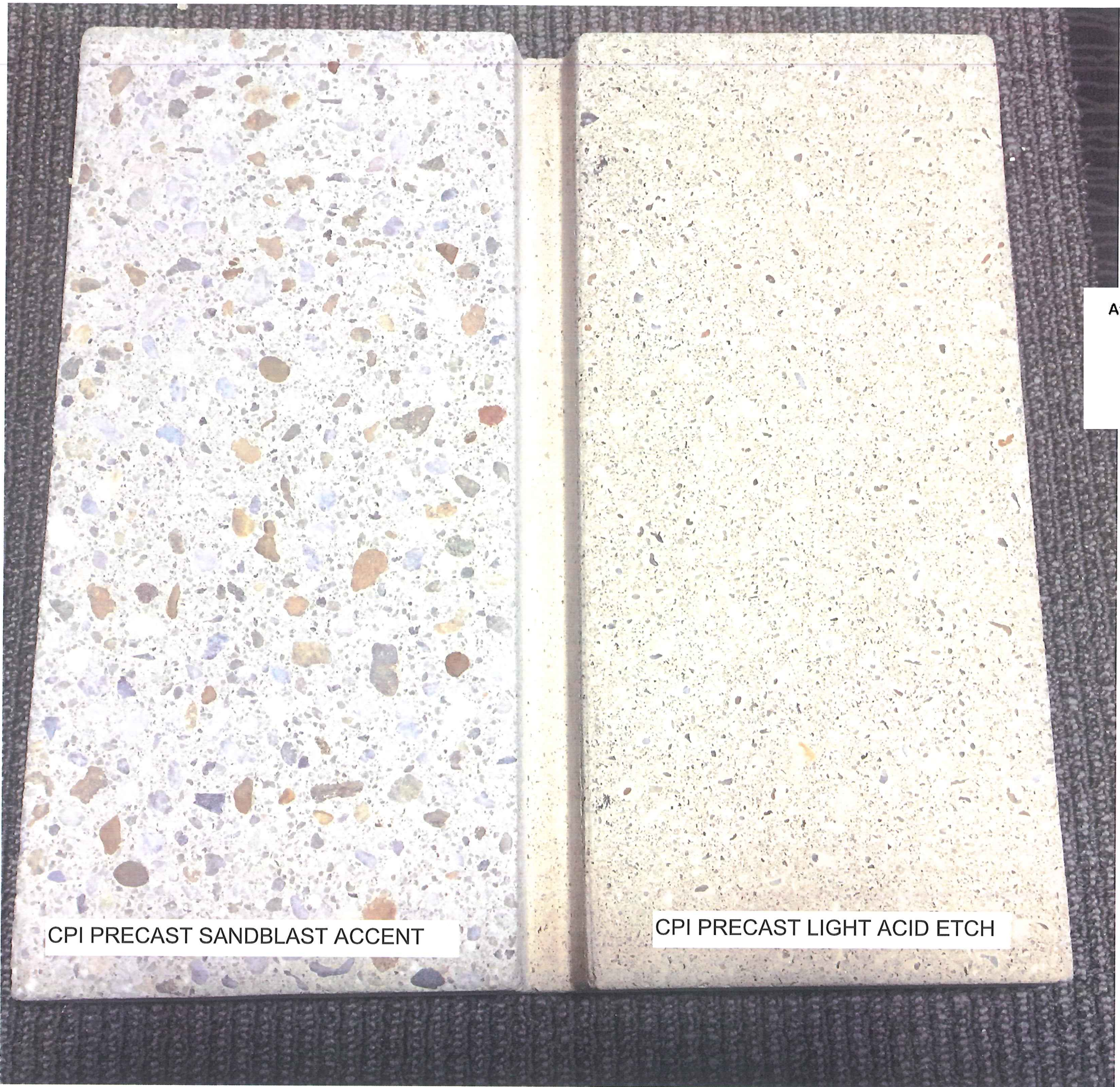
Attached to Administrative
Approval

Solomon A. Fortune \$F
Solomon A. Fortune



Attached to Administrative
Approval

Solomon A. Fortune \$F
Solomon A. Fortune



CPI PRECAST SANDBLAST ACCENT

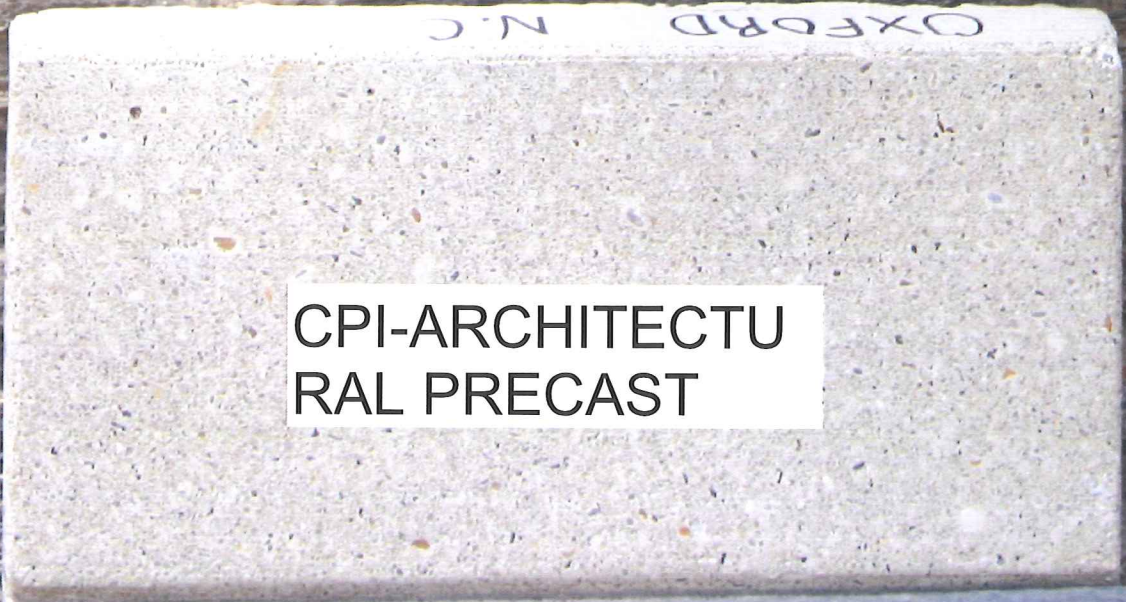
CPI PRECAST LIGHT ACID ETCH

Attached to Administrative

Approval

Solomon A. Fortune SF
Solomon A. Fortune

CPI-STONE INLAY



CPI-ARCHITECTU
RAL PRECAST

Attached to Administrative
Approval
Solomon A. Fortune \$F
Solomon A. Fortune

CPI BRONZE
GLASS TO
MATCH
EXISTING

SOLARBRONZE® Glass + Glass Below if Insulating Glass Unit

Sample	VLT	Exterior Reflectance	SC	SHGC	Solar Factor (g) EN 410	U-Value Imperial		U-Value EN 673 (W/m²·K) L56	
						Winter	Summer		
Monolithic 1/4"	53%	6%	0.73	0.63	0.61	1.02	0.93	5.75	0.84
Clear	47%	8%	0.59	0.51	0.49	0.47	0.50	2.81	0.93
SOLARBAN® 60 (3)	42%	7%	0.36	0.31	0.33	0.29	0.27	1.55	1.36
SOLARBAN® 250 (3)	30%	7%	0.35	0.31	0.32	0.29	0.27	1.55	0.98
SOLARBAN® 70XL (3)	38%	8%	0.30	0.26	0.28	0.28	0.26	1.50	1.48
SUNGATE® 500 (3)	44%	9%	0.53	0.46	0.45	0.35	0.35	1.96	0.96



CPI BRONZE
WINDOW
FRAMES TO
MATCH
EXISTING

Attached to Administrative
Approval

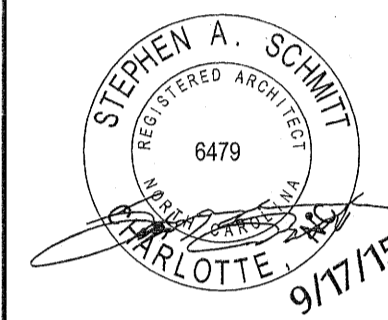
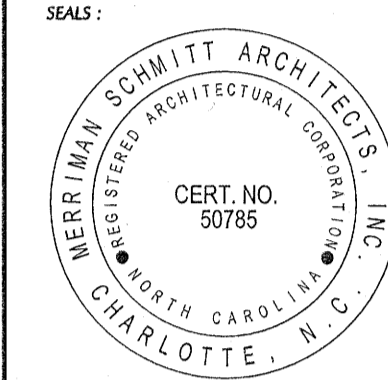
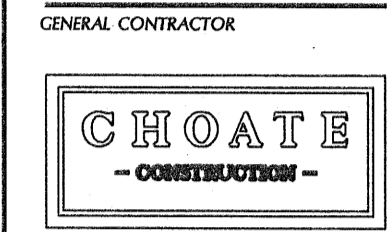
Solomon A. Fortune \$F
Solomon A. Fortune

EXISTING CPI BUILDING



Attached to Administrative
Approval

Solomon A. Fortune \$F
Solomon A. Fortune



Proposed Corporate HQ
 (Footing/Foundation with Shell)
CPI SECURITY
 OLYMPIC CORPORATE CENTER
 Charlotte, NC



DRAWING STATUS:
 PRELIMINARY
 NOT FOR CONSTRUCTION
 ISSUED FOR BIDDING
 ISSUED FOR CONSTRUCTION

OWNER / CLIENT SIGNATURE:
 DATE:

MARK	DATE	ISSUED FOR SHELL CLUB CONST.	DESCRIPTION

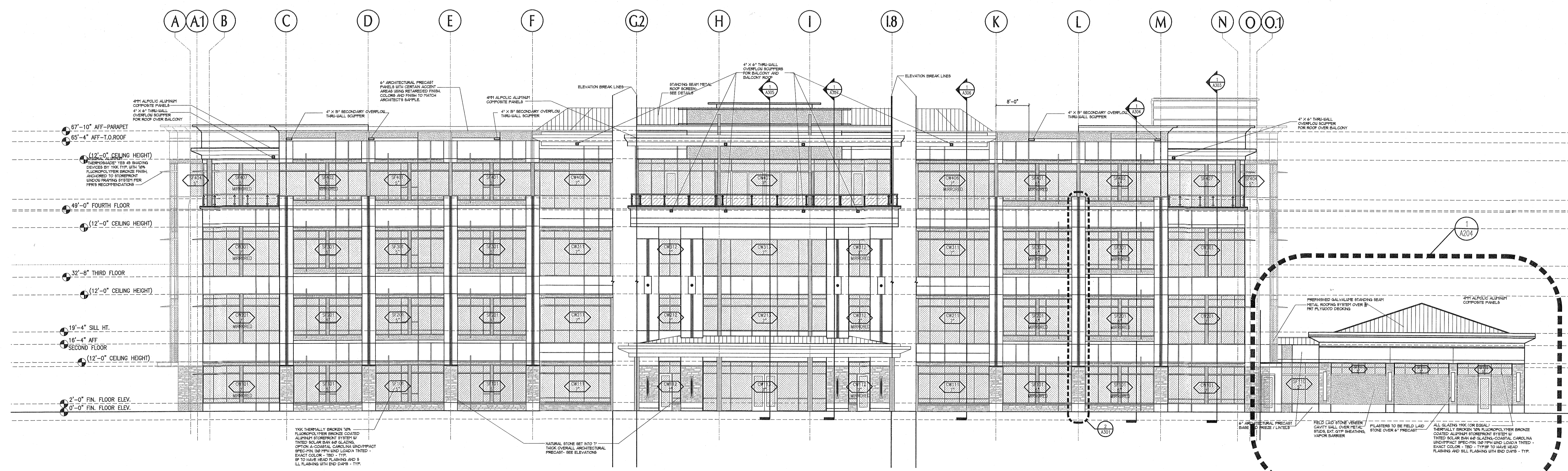
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 PROJECT NO:
 C13009

SHEET:
 REAR
 ELEVATION

SHEET:
A201

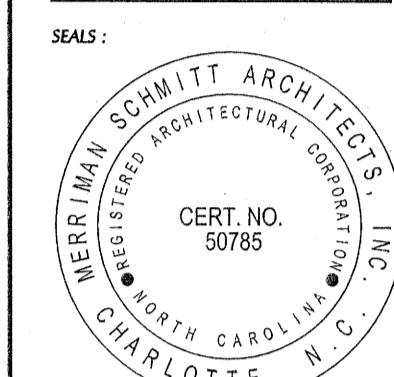
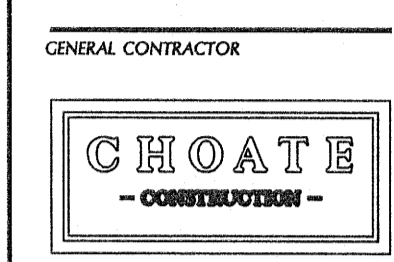
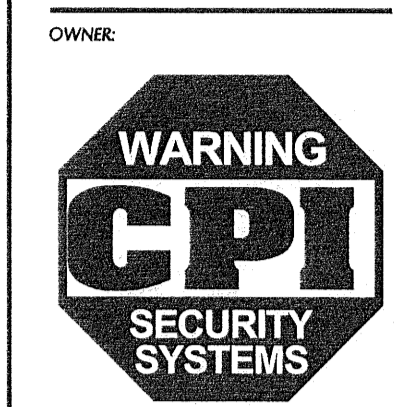
ATTACHED TO ADMINISTRATIVE
 APPROVAL
 OCT 28 2015

ATTACHED TO ADMINISTRATIVE
 APPROVAL
 OCT 28 2015



1 SCHEMATIC EAST (POND) ELEVATION
 SCALE 3/32" = 1'-0"

SEE C - SHEET SERIES FOR ALL CODE INFO & LSP SHEET SERIES FOR ALL LIFE SAFETY INFO



Proposed Corporate HQ
 (Footing/Foundation with Shell)
CPI SECURITY
 OLYMPIC CORPORATE CENTER
 Charlotte, NC



DRAWING STATUS:
 ○ PRELIMINARY
 NOT FOR CONSTRUCTION
 ○ ISSUED FOR BIDDING
 ● ISSUED FOR CONSTRUCTION

OWNER / CLIENT SIGNATURE:
 DATE:

DATE	DESCRIPTION
08/17/15	ISSUED FOR SHELL BLOCK CONST.

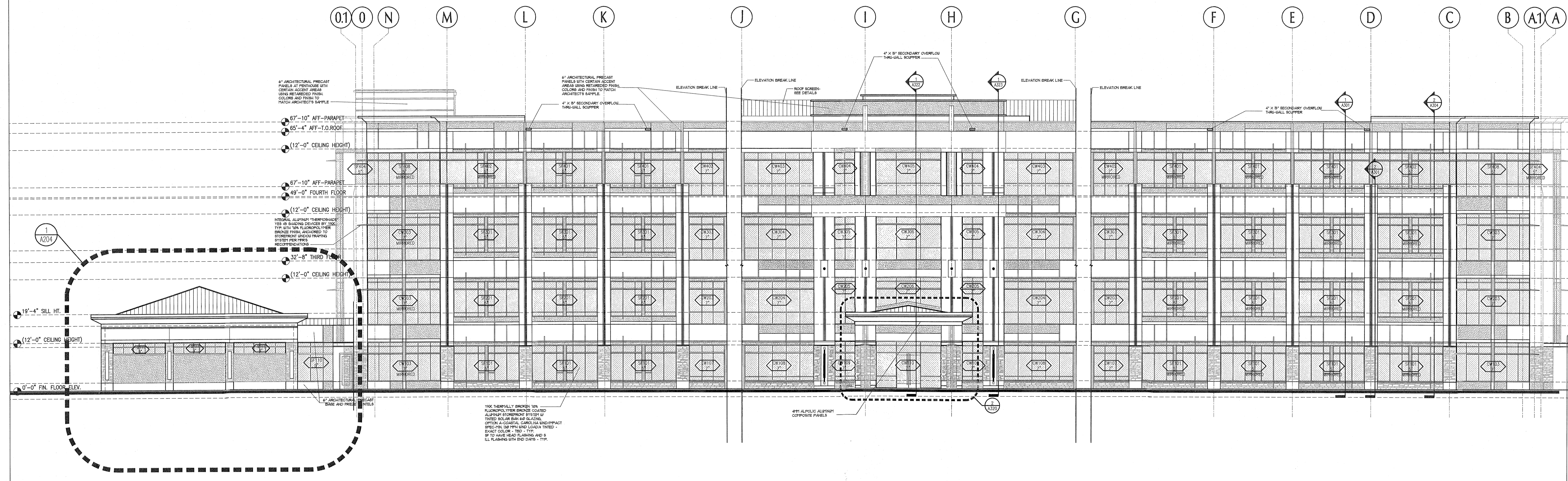
PROJECT NO.
C13009

SHEET NO.
FRONT ELEVATION

SHEET
A203

ATTACHED TO ADMINISTRATIVE
APPROVAL
 OCT 28 2015

ATTACHED TO ADMINISTRATIVE
APPROVAL
 OCT 28 2015



1 SCHEMATIC (WEST) FRONT ELEVATION
 SCALE: 3/32" = 1'-0"

SEE G - SHEET SERIES FOR ALL CODE INFO & LSP SHEET SERIES FOR ALL LIFE SAFETY INFO