

NEIGHBORHOOD NOTIFICATION CONTACTS

#027-07-383
 PROSPERITY VILLAGE TOWNHOMES
 10000 PARK CEDAR DR. STE. 166
 CHARLOTTE, NC 28260
 (704) 947-0500

PARCEL INFORMATION

PHASE ONE - EXISTING ZONING CONDITIONS
 PARCEL B - 4.63 AC
 50,000 SOFT OFFICE (30,000 ADDITIONAL SOFT TRANSFERRED FROM PARCEL C)
 PARCEL C - 2.43 AC
 30,000 SOFT OFFICE OR RETAIL
 30,000 SOFT RESIDENTIAL OR 60,000 SOFT IF THREE STORY
 PARCEL E - 6.67 AC
 82 TOWNHOUSE UNITS
 PARCEL F - 7.15 AC
 81 TOWNHOUSE UNITS

PHASE TWO - EXISTING ZONING CONDITIONS
 PARCEL A - 8.53 AC
 40,000 SOFT OFFICE
 20,000 SOFT RETAIL
 80 ROOM HOTEL
 PARCEL B - 4.63 AC
 20,000 SOFT OFFICE
 PARCEL D - 3.42 AC
 5,000 SOFT CONVENIENCE STORE / GAS STATION WITH CAR WASH
 10,000 SOFT OFFICE
 PARCEL G - 6.88 AC
 FUTURE GREENWAY

PROPOSED ZONING CONDITIONS

PARCEL A - 7.64 AC
 80,000 SOFT OFFICE AND RETAIL (INCLUDES 20,000 SOFT TRANSFERRED FROM PARCEL B PHASE TWO)
 80 ROOM HOTEL
 PARCEL B - 4.41 AC
 60,000 SOFT OFFICE (30,000 ADDITIONAL SOFT TRANSFERRED FROM PARCEL C)
 PARCEL C - 1.91 AC
 5,000 SOFT CONVENIENCE STORE / GAS STATION WITH CAR WASH
 10,000 SOFT OFFICE OR RETAIL
 PARCEL D (INCORPORATED INTO PARCEL B)
 PARCEL E - 5.40 AC
 81 MULTI-FAMILY UNITS * 16 DUA
 PARCEL G - 5.77 AC
 FUTURE GREENWAY

NOTES:
 INTERSTATE 485 ALIGNMENT DATA AND PROSPERITY CHURCH ROAD REALIGNMENT DATA PROVIDED BY:
 NC DEPARTMENT OF TRANSPORTATION
 PROJECT MANAGER: GREG BREW, PE
 PO BOX 25201
 RALEIGH, NC 27618-5201
 1070 BRICK RIDGE DR
 RALEIGH, NC 27610
 (919) 250-4016

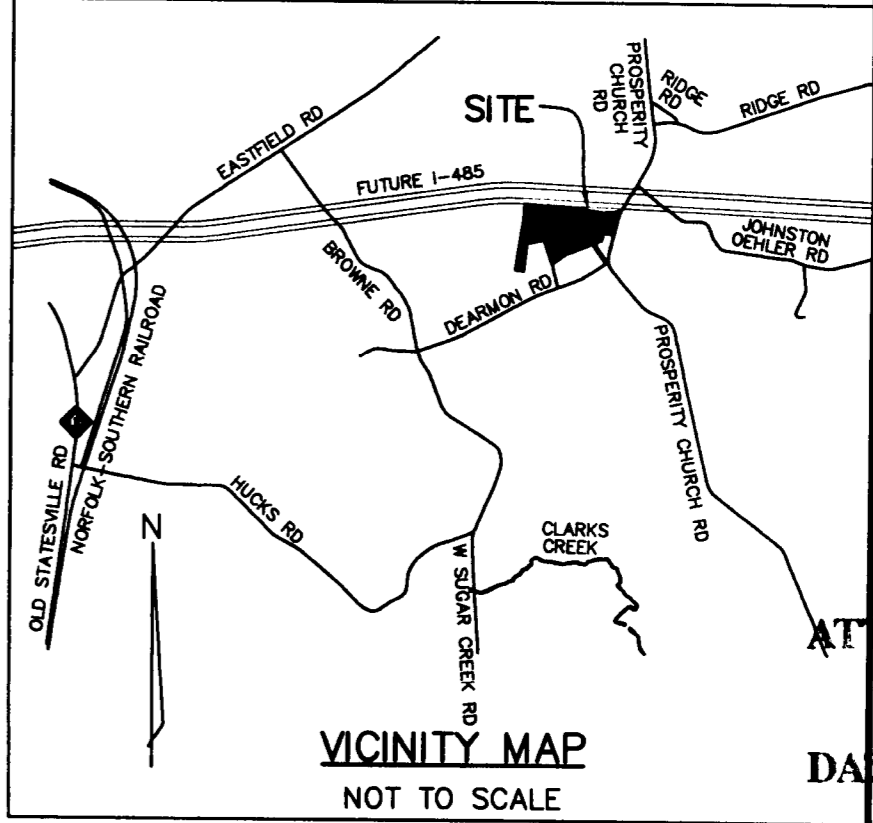
NOTE: ACREAGE'S ON PARCELS HAVE CHANGED DUE TO CHANGES IN THE ALIGNMENT OF INTERSTATE 485, PROSPERITY CHURCH ROAD AND THE FUTURE 60' RIGHT-OF-WAY COLLECTOR ROAD.

DEVELOPMENT SUMMARY

PREVIOUS PETITION NUMBER:	98-27C
NEW PETITION NUMBER:	2005-001
EXISTING ZONING:	CC
PROPOSED ZONING:	CC SPA
TOTAL SITE AREA:	38,899 AC
PER TAX PARCEL ID NUMBERS	
TOTAL SITE AREA PROPOSED:	38,939 AC
TOTAL ROW AREA TO BE DEDICATED:	3,949 AC

COMMERCIAL CENTER DISTRICT REQUIREMENTS

- MINIMUM PROJECT SIZE: 5 ACRES
 - MINIMUM SETBACK: 11' MINIMUM FROM BACK OF THE EXISTING OR FUTURE CURB, WHICHEVER IS GREATEST*
 - MINIMUM SIDE YARDS: 25'
 - MINIMUM REAR YARD: 25'
 - MAXIMUM HEIGHT: 60'
 - MAXIMUM FLOOR AREA RATIO: 1.0
 - MINIMUM LOT WIDTH: 6'
 - MINIMUM BUILDING SEPARATION: 10'
 - MINIMUM DISTANCE FROM BUILDING TO BACK OF CURB ON PRIVATE DRIVES AND PARKING FIELDS: 10'
 - PARKING: MINIMUM OF ONE SPACE PER UNIT AND MAXIMUM OF 1.8 SPACES PER UNIT, ON-STREET PARKING ON PUBLIC STREET TO BE COUNTED TO MEET MINIMUM PARKING REQUIREMENTS.
- *SEE DEVELOPMENT GUIDELINES FOR PROSPERITY CHURCH ROAD VILLAGES, (MARCH, 1999), P.18



FOR PUBLIC HEARING
 PETITION NUMBER: 2005-001
 SITE PLAN AMENDMENT TO
 PETITION NUMBER: 98-27C

PROSPERITY CHURCH VILLAGE
 MIXED-USE CENTER - SITE PLAN AMENDMENT

BP EXPLORATION & OIL COMPANY

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 Design Resource Group

1230 West Morehead Street, Suite 214
 Charlotte, NC 28208
 704.343.0608 fax 704.358.3093
 www.drgrp.com

- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

PROPERTY DEVELOPMENT PLAN

PROPERTY DEVELOPMENT PLAN

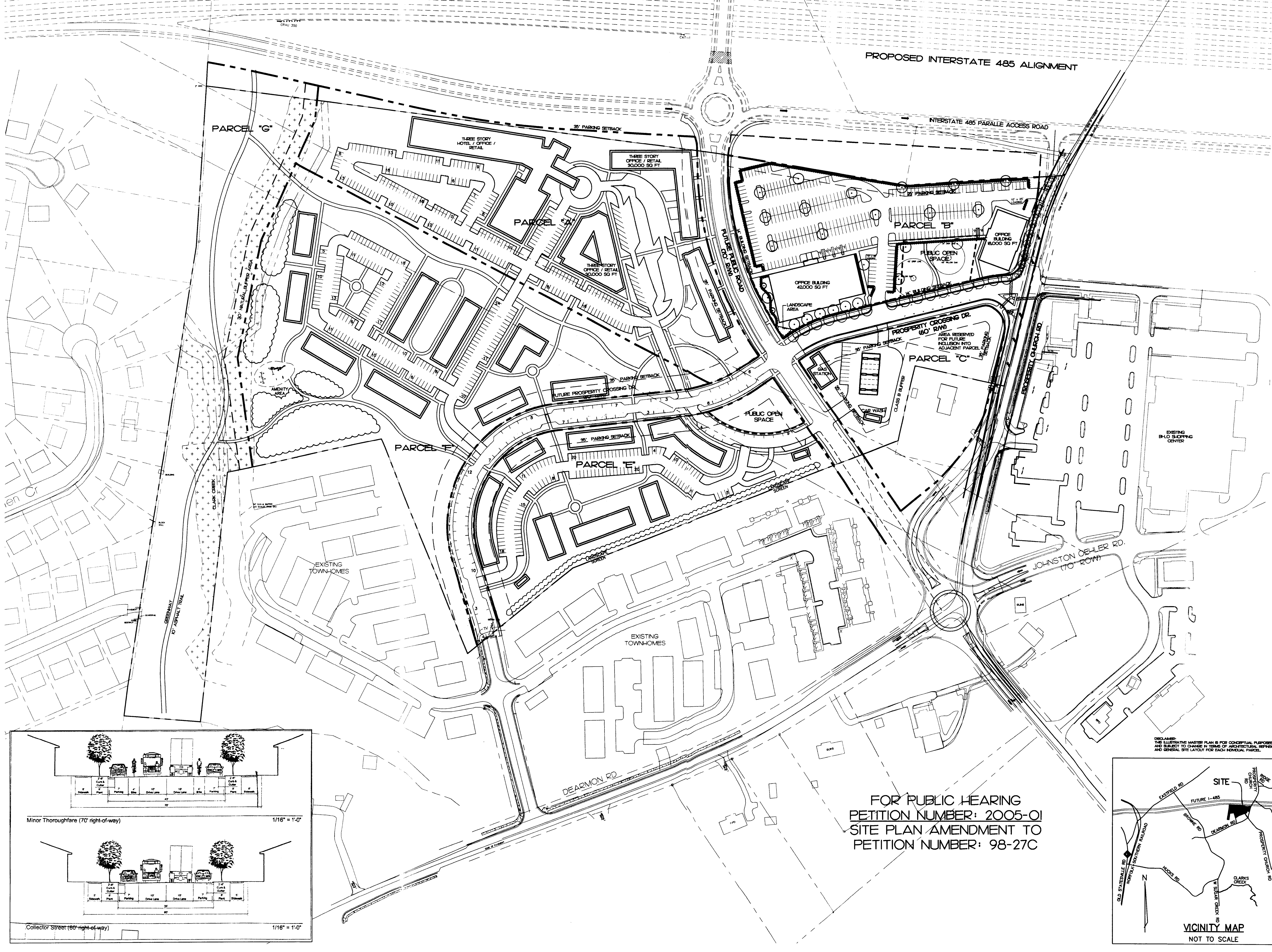
Scale: 1" = 100'
 Date: JUNE 21, 2005
 Project No.: 195-002
 Revisions:

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: *June 28, 2005*

BY: **DEBRA D. CAMPBELL**

Sheet 1



PROSPERITY CHURCH VILLAGE
MIXED-USE CENTER - SITE PLAN AMENDMENT
BP EXPLORATION & OIL COMPANY

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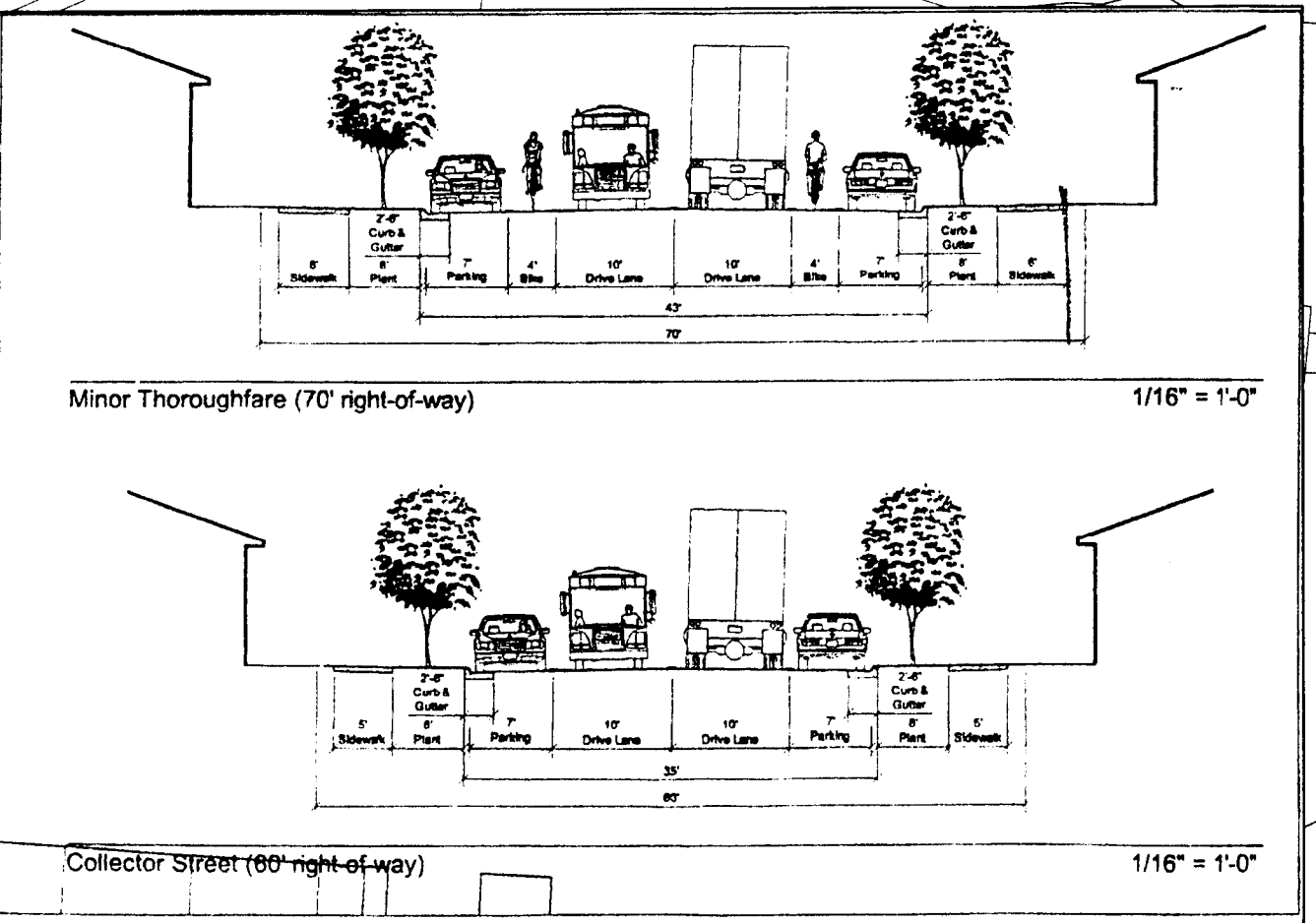
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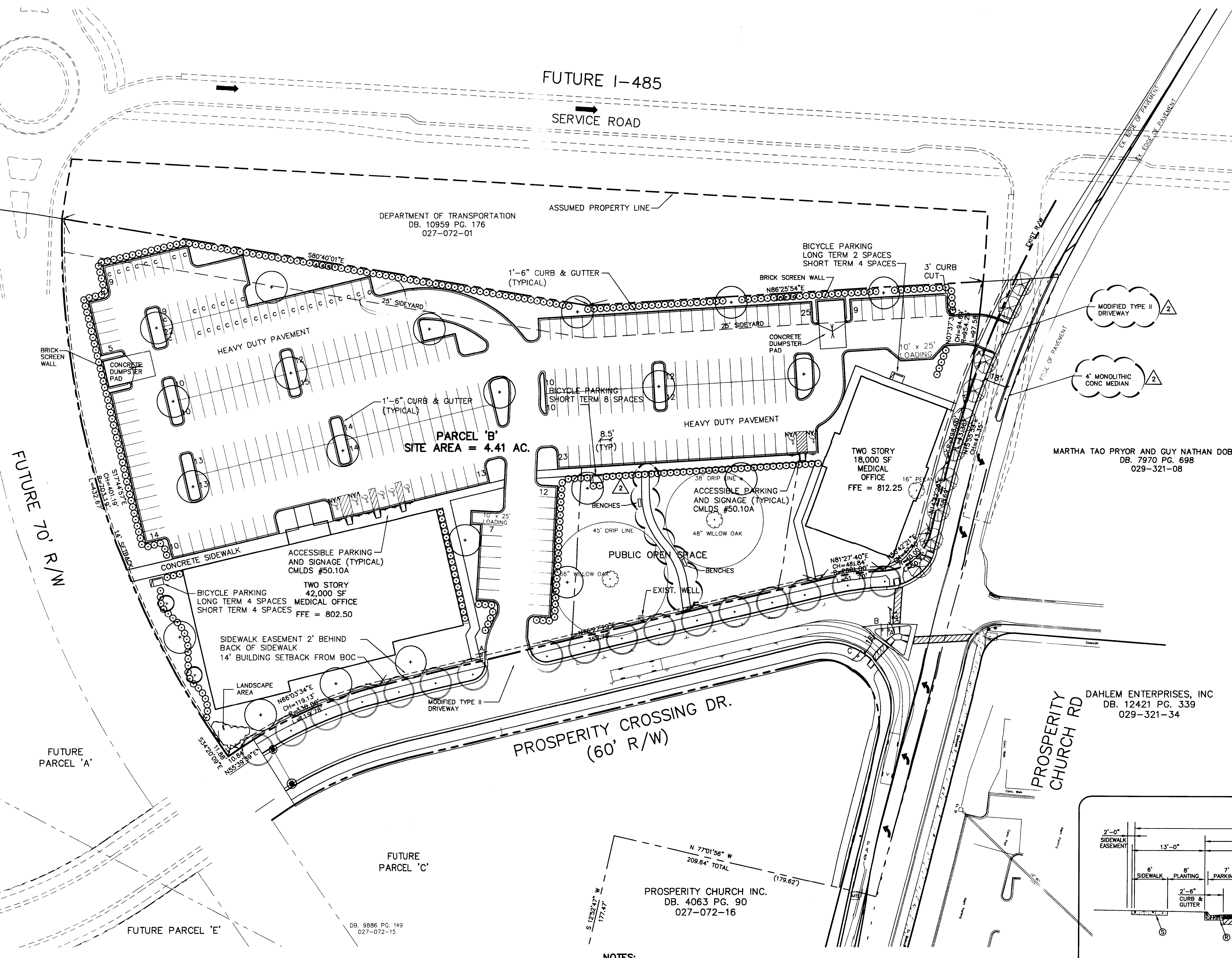
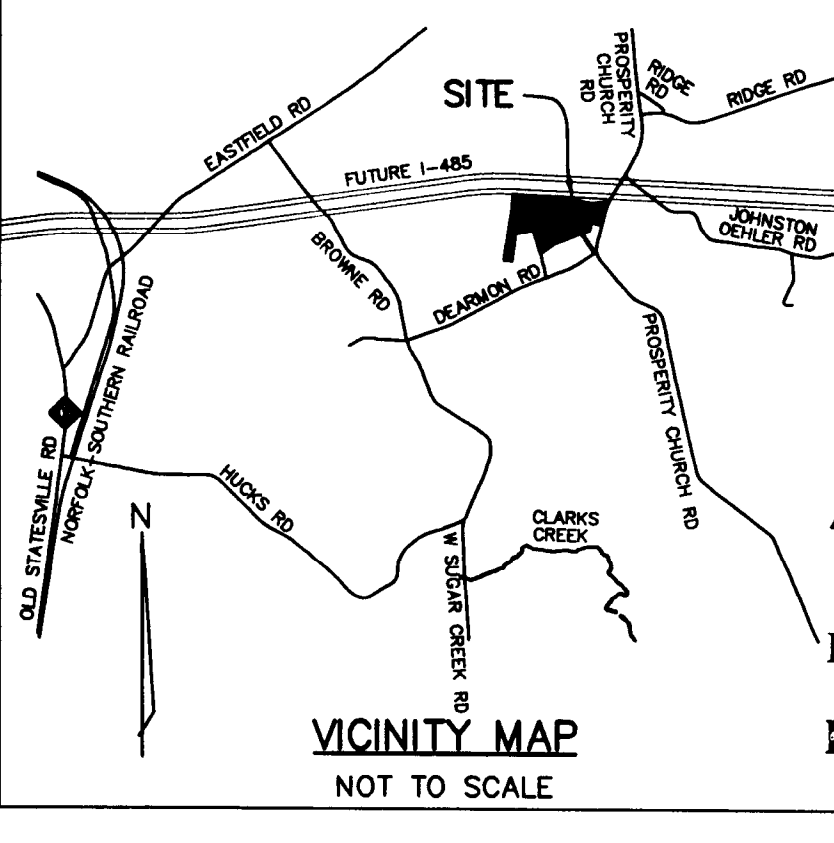
PROPOSED
SITE
PLAN

Scale: 1" = 100'
Date: JUNE 21, 2005
Project No.: 195-002
Revisions:
1) 06/27/05 ADMINISTRATIVE SITE PLAN APPROVAL
2) 06/27/05 ADMINISTRATIVE SITE PLAN APPROVAL
3) 06/27/05 ADMINISTRATIVE SITE PLAN APPROVAL

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: June 23, 2005
BY: DEBRA D. CAMPBELL
Sheet 2



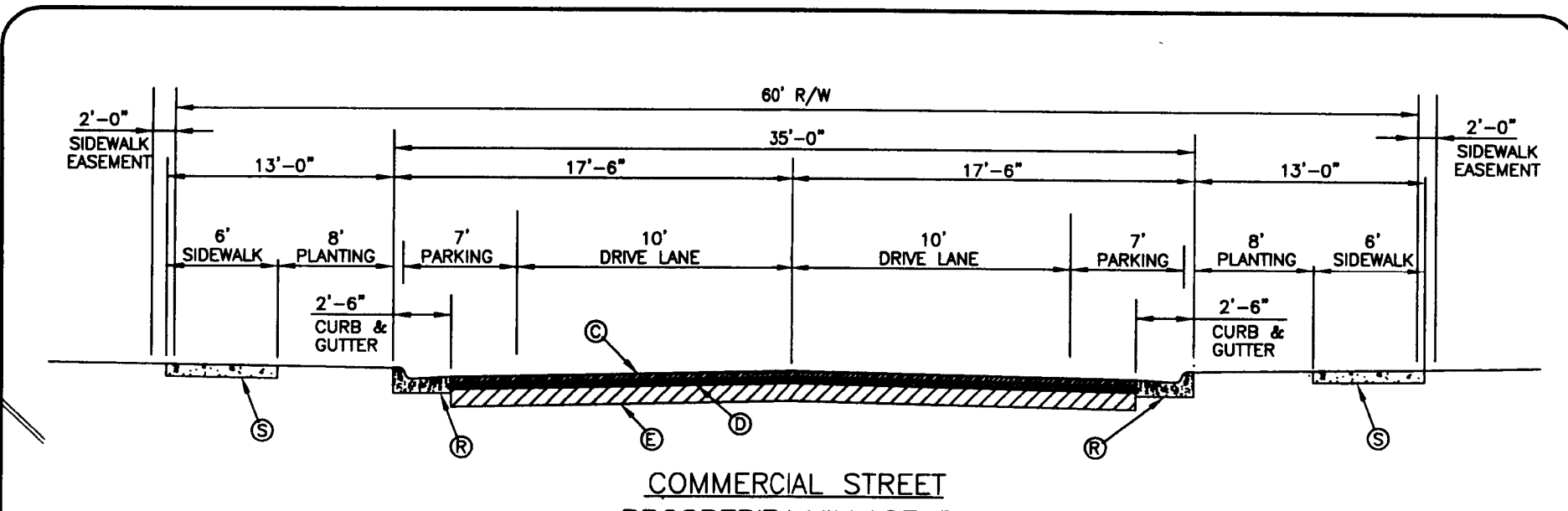
FOR PUBLIC HEARING
PETITION NUMBER: 2005-01
SITE PLAN AMENDMENT TO
PETITION NUMBER: 98-27C



SITE DATA:
TAX PARCEL NO: 027-072-13, 027-072-14, 027-072-15
ZONING: CC-SPA
ZONING PETON #: 2005-01
SITE AREA: 4.41 AC.
MIN. BUILDING SETBACK: 14' FROM BACK OF EXISTING CURB OR FUTURE CURB
MIN. SIDE & REAR YARD: 25'
MAXIMUM BUILDING HEIGHT: 60'
MAXIMUM FLOOR AREA RATIO: 1.0
MAXIMUM BUILDING SEPARATION: 100'
PARKING REQUIRED: 300 SPACES - 1 SPACE PER 200 SF
PARKING PROVIDED: 252 REGULAR SPACES
8 HANDICAP (4 VAN)
40 COMPACT SPACES
16 ON-STREET
317 TOTAL
2 LOADING SPACE

ASPHALT PAVING
LIGHT DUTY ASPHALT PAVING
1.5" S & A
1.5" S & A
6" A.B.C.
COMPACTED SUBGRADE (98% TOP 18-IN.)
HEAVY DUTY ASPHALT PAVING
1.5" S & A
2-1/2" 1 1/2 B
6" A.B.C.
COMPACTED SUBGRADE (98% TOP 18-IN.)

SIGN LEGEND
A STOP SIGN R1-1 (30"x30")
B DOUBLE ARROW W12-1 (30"x30")
C YIELD SIGN R1-1 (30"x30")
D STOP SIGN R1-1 (24"x24")
NOTE: ALL STREET SIGNS SHALL CONFORM WITH M.I.C.D.



ELEVATION DIFFERENCES

TO FINISH GRADE OF FOR STONEAGE FOR 825.00	BASE COURSE	FINISH GRADE
- 2.75"	- 2.75"	- 2.75"
- 0.25"	- 0.25"	- 0.25"

PAVEMENT SCHEDULE

NO.	DESCRIPTION
1	2.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 98.08
2	TO BE PLACED IN TWO 1.25" LIFTS
3	2.25" BITUMINOUS CONCRETE INTERMEDIATE COURSE, TYPE 118.09
4	10" COMPACTED AGGREGATE BASE COURSE
5	OR 8" BITUMINOUS CONCRETE BASE COURSE, TYPE 825.08
6	4" CONCRETE SIDEWALK

GENERAL NOTES:
1. DEVELOPER MAY SUBMIT AN ALTERNATE PAVEMENT SCHEDULE. ALL PERTINENT INFORMATION MUST BE SUBMITTED TO THE APPROPRIATE CITY/COUNTY ENGINEERING DEPT. TO THE CROW (EMPAVEMENT SCHEDULE) FOR THE TYPICAL SECTION ON THIS SHEET TO 3/8" PER FOOT.

CHARLOTTE - MECKLENBURG LAND DEVELOPMENT STANDARDS
TYPICAL SECTION COMMERCIAL STREET
COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS V-C)
10.03

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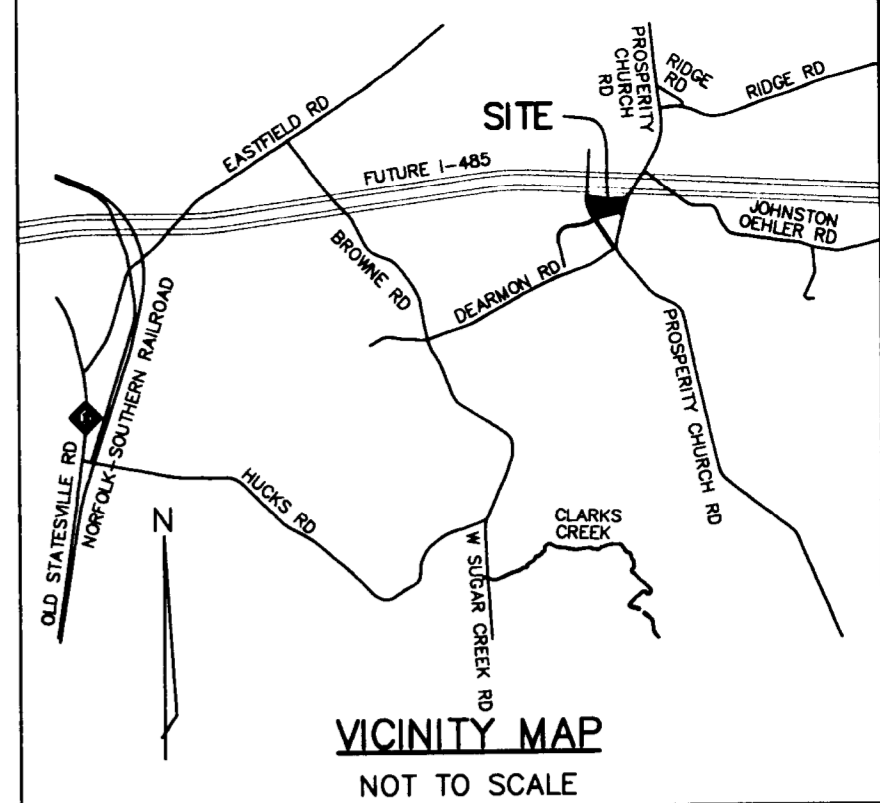
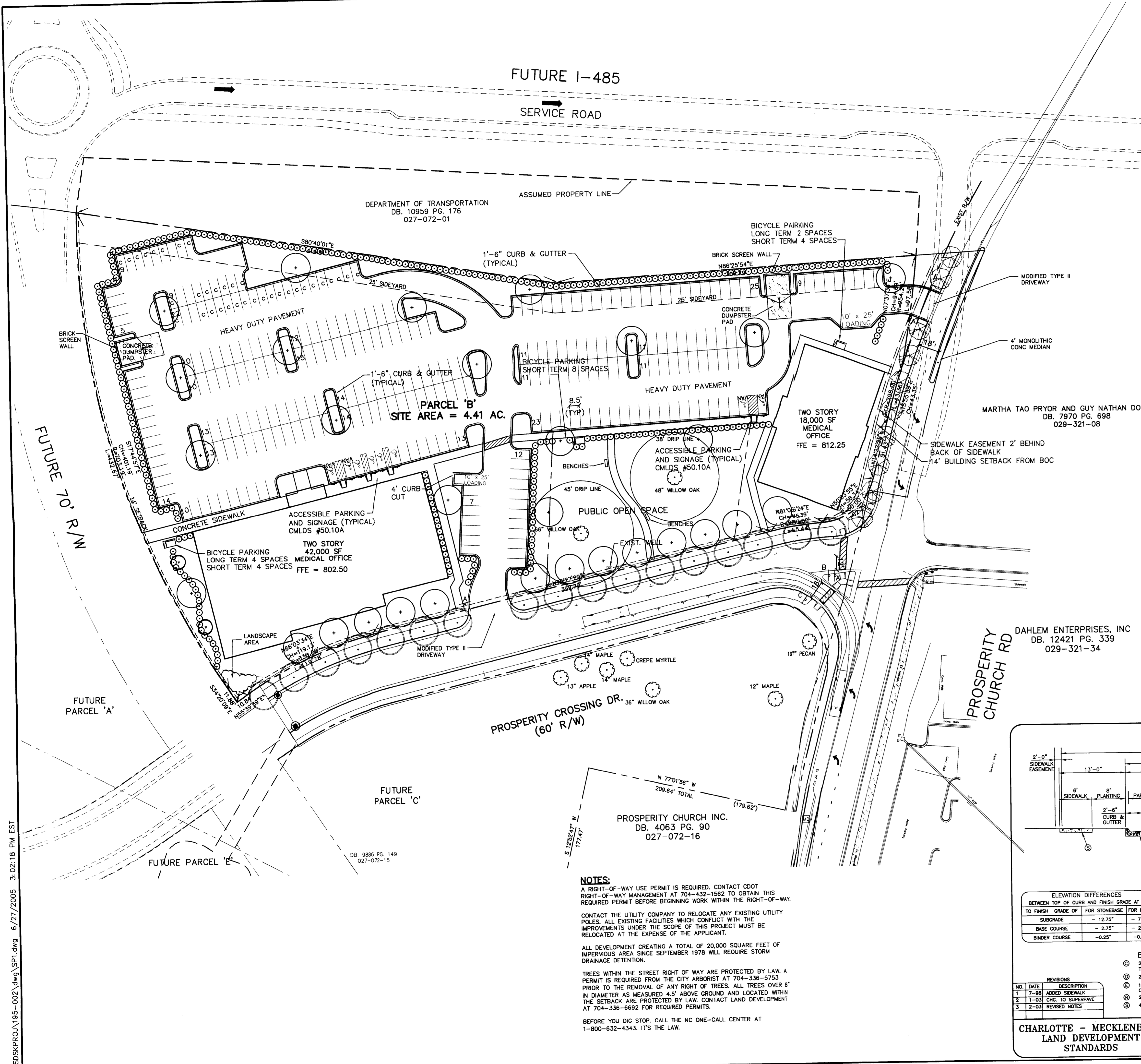
- Landscape Architecture
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- Civil Engineering
- Land Planning

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PARCEL 'B'
SITE
PLAN

Scale: 1" = 40'
Date: MAY 6, 2005
Project No.: 195-002
Revisions:
1) 06/06/05 PER SUBDIVISION REVIEW
2) 06/17/05 ADMINISTRATIVE SITE PLAN APPROVAL
3) 06/27/05 ADMINISTRATIVE SITE PLAN APPROVAL

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: June 23, 2005
BY: DEBRA D. CAMPBELL
Sheet C4



SITE DATA:

TAX PARCEL NO:	027-072-13, 027-072-14, 027-072-15
ZONING:	CC-SPA
ZONING PETION #	2005-01
SITE AREA:	4.41 AC.
MIN. BUILDING SETBACK:	14' FROM BACK OF EXISTING CURB OR FUTURE CURB
MIN. SIDE & REAR YARD:	25'
MAXIMUM BUILDING HEIGHT:	60'
MAXIMUM FLOOR AREA RATIO:	1.0
MAXIMUM BUILDING SEPARATION:	10'
PARKING REQUIRED:	300 SPACES - 1 SPACE PER 200 SF
PARKING PROVIDED:	252 REGULAR SPACES 8 HANDICAP (4 VAN) 40 COMPACT SPACES 16 ON-STREET 317 TOTAL 2 LOADING SPACE

ASPHALT PAVING

LIGHT DUTY ASPHALT PAVING

- 1.5" S 9.5 A
- 1.5" S 9.5 A
- 6" A.B.C.
- COMPACTED SUBGRADE (98% TOP 18-IN.)

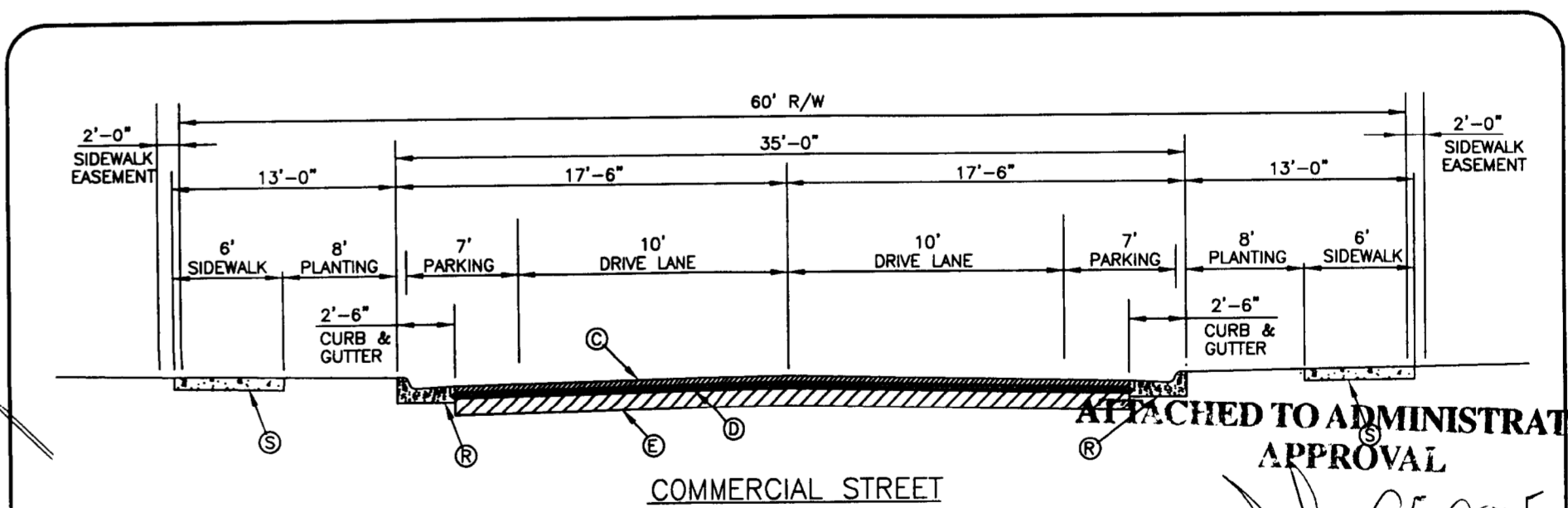
HEAVY DUTY ASPHALT PAVING

- 1-1/2" S 9.5 A
- 2-1/2" S 19 B
- 8" A.B.C.
- COMPACTED SUBGRADE (98% TOP 18-IN.)

SIGN LEGEND

A STOP SIGN	R1-1 (30"x30")
B DOUBLE ARROW	W12-1 (30"x30")
C YIELD SIGN	R1-1 (30"x30")
D STOP SIGN	R1-1 (24"x24")

NOTE: ALL STREET SIGNS SHALL CONFORM WITH MUTCD.



ELEVATION DIFFERENCES

BETWEEN TOP OF CURB AND FINISH GRADE AT €	TO FINISH GRADE OF FOR STONEBASE FOR B25.0C
SUBGRADE	- 12.75" - 7.75"
BASE COURSE	- 2.75" - 2.75"
BINDER COURSE	- 0.25" - 0.25"

PAVEMENT SCHEDULE

- 2.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 59.58 TO BE PLACED IN TWO 1.25" LIFTS
- 2.25" BITUMINOUS CONCRETE INTERMEDIATE COURSE, TYPE 119.08
- 10" COMPACTED AGGREGATE BASE COURSE OR 5" BITUMINOUS CONCRETE BASE COURSE, TYPE B25.08
- 2'-6" CURB AND GUTTER
- 4" CONCRETE SIDEWALK

REVISIONS

NO.	DATE	DESCRIPTION
1	7-08	ADDED SIDEWALK
2	1-03	CHG. TO SUPERPAVE
3	2-03	REVISED NOTES

APPROVED DATE _____

CHARLOTTE - MECKLENBURG LAND DEVELOPMENT STANDARDS

TYPICAL SECTION COMMERCIAL STREET

COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS V-C)

STD. NO. REV. 10.03

NOTES:

A RIGHT-OF-WAY USE PERMIT IS REQUIRED. CONTACT CDOT A RIGHT-OF-WAY MANAGEMENT AT 704-432-1562 TO OBTAIN THIS REQUIRED PERMIT BEFORE BEGINNING WORK WITHIN THE RIGHT-OF-WAY.

CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.

ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.

TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT 704-336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT 704-336-6692 FOR REQUIRED PERMITS.

BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4343. IT'S THE LAW.

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PARCEL 'B'
SITE
PLAN

Scale: 1" = 40'

Date: MAY 6, 2005

Project No: 195-002

Revisions:

- 06/06/05 PER SUBDIVISION REVIEW
- 06/17/05 ADMINISTRATIVE SITE PLAN APPROVAL
- 06/27/05 ADMINISTRATIVE SITE PLAN APPROVAL
- 07/15/05 ADMINISTRATIVE SITE PLAN APPROVAL

Scale: 1" = 40'

Date: MAY 6, 2005

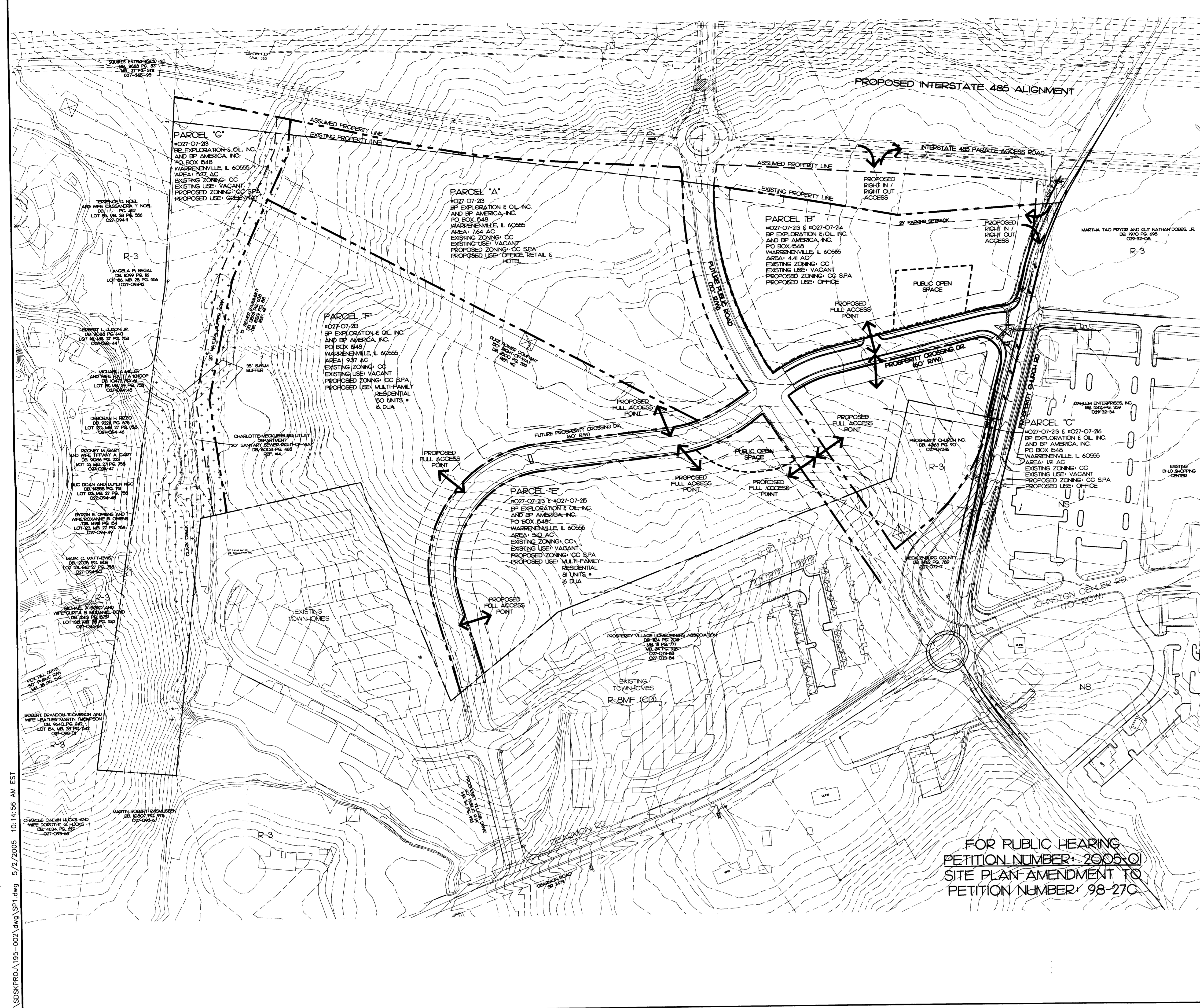
Project No: 195-002

Revisions:

- 06/06/05 PER SUBDIVISION REVIEW
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- 06/27/05 ADMINISTRATIVE SITE PLAN APPROVAL
- 07/15/05 ADMINISTRATIVE SITE PLAN APPROVAL

Sheet **C4**

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NEIGHBORHOOD NOTIFICATION CONTACTS

8027-07-265
PROSPERITY VILLAGE TOWNHOMES
3000 PARK CEMEX DR. STE. 60
CHARLOTTE, NC 28202

PARCEL INFORMATION

PHASE ONE - EXISTING ZONING CONDITIONS

PARCEL A - 744 AC
80,000 SQ FT OFFICE (30,000 ADDITIONAL SOFT TRANSFERRED FROM PARCEL C)
PARCEL B - 463 AC
30,000 SQ FT OFFICE OR RETAIL
PARCEL C - 667 AC
52 TOWNHOUSE UNITS
PARCEL D - 78 AC
8 TOWNHOUSE UNITS

PHASE TWO - EXISTING ZONING CONDITIONS

PARCEL A - 744 AC
80,000 SQ FT OFFICE
PARCEL B - 463 AC
30,000 SQ FT OFFICE OR RETAIL
PARCEL C - 667 AC
52 TOWNHOUSE UNITS
PARCEL D - 78 AC
8 TOWNHOUSE UNITS
80,000 SQ FT CONVENIENCE STORE / GAS STATION WITH CAR WASH
PARCEL E - 488 AC
10,000 SQ FT OFFICE

DEVELOPED ZONING CONDITIONS

PARCEL A - 744 AC
80,000 SQ FT OFFICE AND RETAIL (INCLUDES 20,000 SQ FT TRANSFERRED FROM PARCEL B PHASE TWO)
PARCEL B - 463 AC
80 ROOM HOTEL
PARCEL C - 667 AC
80,000 SQ FT OFFICE (30,000 ADDITIONAL SOFT TRANSFERRED FROM PARCEL B)
PARCEL D - 78 AC
8 TOWNHOUSE UNITS
PARCEL E - 488 AC
10,000 SQ FT CONVENIENCE STORE / GAS STATION WITH CAR WASH
PARCEL F - 510 AC
10,000 SQ FT OFFICE OR RETAIL
PARCEL G - 577 AC
16 DUA
FUTURE GREENWAY

NOTES:

1. INTERSTATE 485 ALIGNMENT DATA AND PROSPERITY CHURCH ROAD REALIGNMENT DATA PROVIDED BY: NC DEPARTMENT OF TRANSPORTATION
PROJECT MANAGER: GREG BREV, PE
PO BOX 2003
RALEIGH, NC 27602
2. THE ALIGNMENT OF INTERSTATE 485 PROSPERITY CHURCH ROAD AND THE FUTURE 60' RIGHT-OF-WAY COLLECTOR ROAD.

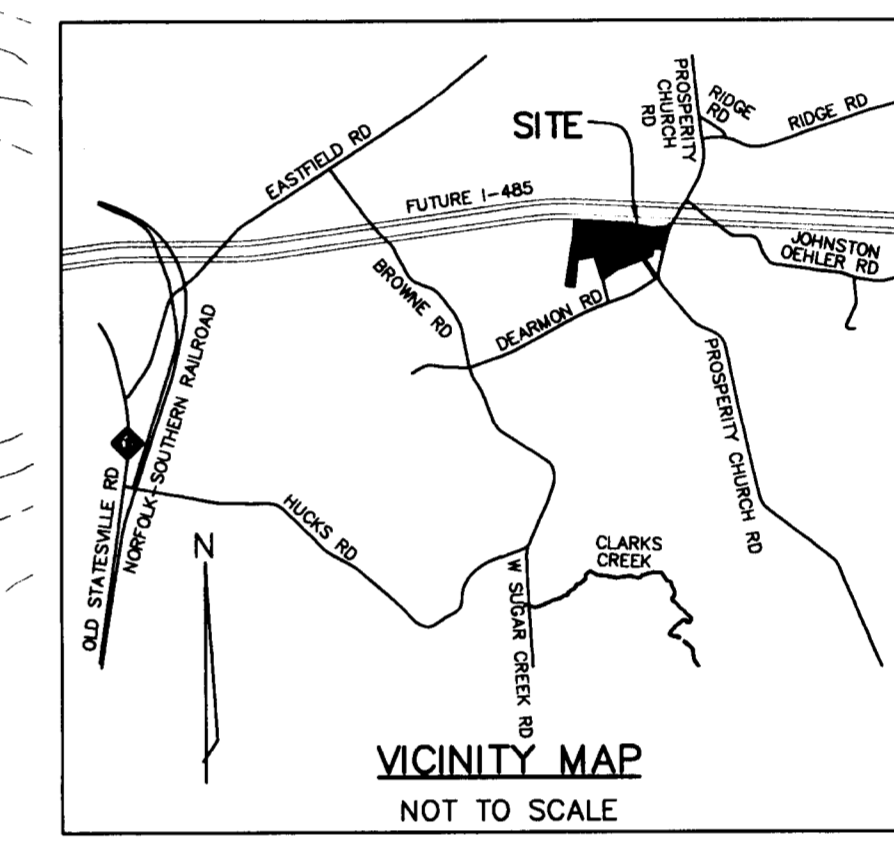
DEVELOPMENT SUMMARY

PREVIOUS PETITION NUMBER: 98-27C
NEW PETITION NUMBER: 2005-001
EXISTING ZONING: CC
PROPOSED ZONING: CC SPA
TOTAL SITE AREA: 3889 AC
TOTAL TAX PARCELS: 10 NUMBERS
TOTAL SITE AREA PROPOSED: 3899 AC
TOTAL ROW AREA TO BE DEDICATED: 3949 AC

COMMERCIAL CENTER DISTRICT REQUIREMENTS

(1) MINIMUM PROJECT SIZE: 5 ACRES
(2) MINIMUM SETBACK: 15'
(3) MINIMUM SIDE YARDS: 25'
(4) MINIMUM REAR YARD: 25'
(5) MAXIMUM HEIGHT: 60'
(6) MAXIMUM FLOOR AREA RATIO: 10
(7) MINIMUM LOT WIDTH: 65'
(8) MINIMUM BUILDING SEPARATION: 10'
(9) MINIMUM DISTANCE FROM BUILDING TO BACK OF CURB ON PRIVATE LOTS AND PARKING FIELDS: 10'
(10) PARKING: MINIMUM OF ONE SPACE PER UNIT AND MAXIMUM OF 18' SPACES PER UNIT. ON-STREET PARKING ON PUBLIC STREET TO BE COUNTED TO MEET MINIMUM PARKING REQUIREMENTS.
(11) SEE DEVELOPMENT GUIDELINES FOR PROSPERITY CHURCH ROAD VILLAGE, MARCH, 1999, P.8

**FOR PUBLIC HEARING
PETITION NUMBER: 2005-001
SITE PLAN AMENDMENT TO
PETITION NUMBER: 98-27C**



**PROSPERITY CHURCH VILLAGE
MIXED-USE CENTER - SITE PLAN AMENDMENT**

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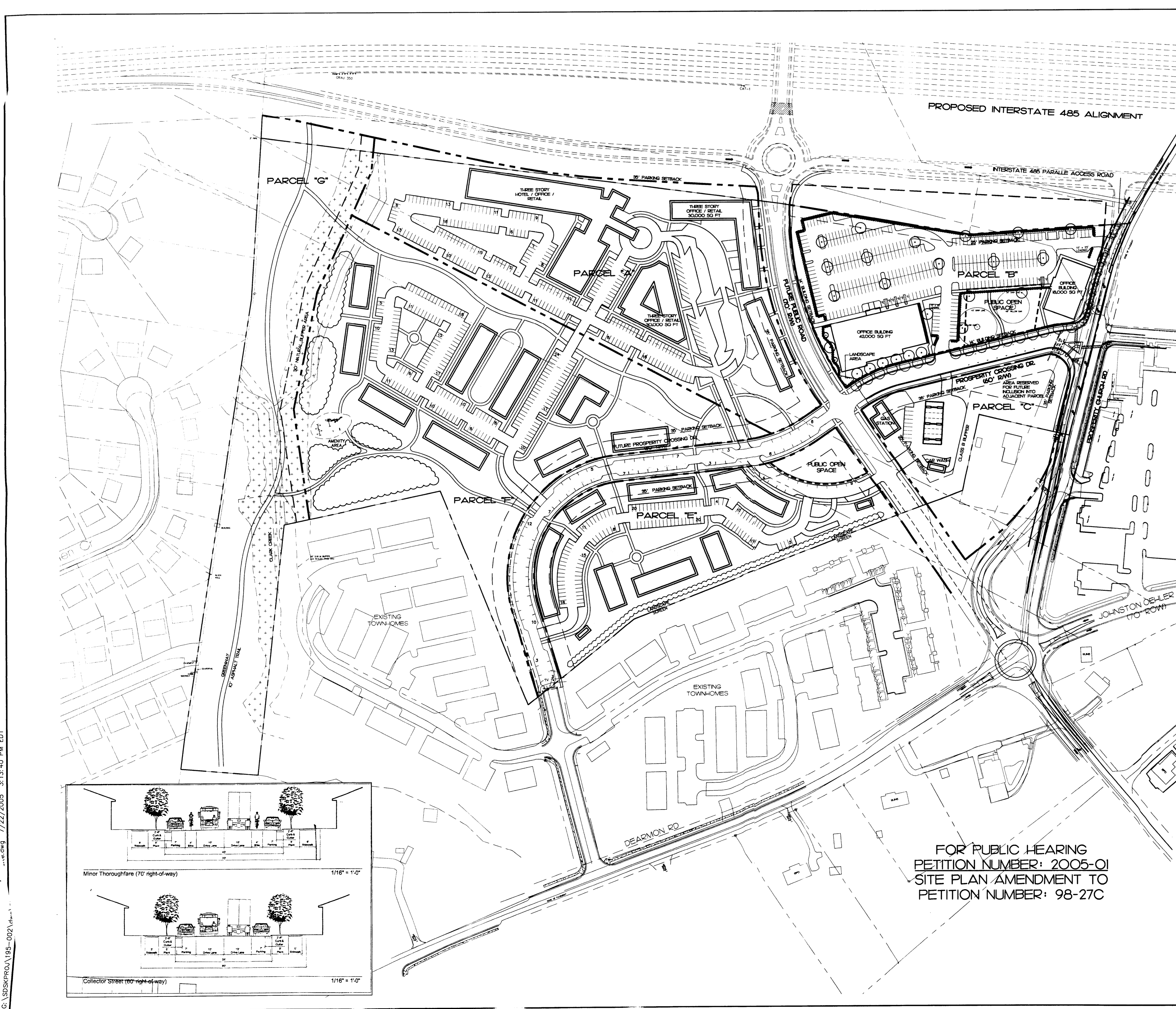
**PROPERTY
DEVELOPMENT
PLAN**

NORTH

Scale: 1" = 100'
Date: JUNE 21, 2005
Project No.: 195-002

Revisions:
ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: July 25, 2005
BY: DEBRA D. CAMPBELL

Sheet 1



**FOR PUBLIC HEARING
PETITION NUMBER: 2005-001
SITE PLAN AMENDMENT TO
PETITION NUMBER: 98-27C**

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: July 25, 2005
BY: DEBRA D. CAMPBELL

**FOR PUBLIC HEARING
PETITION NUMBER: 2005-001
SITE PLAN AMENDMENT TO
PETITION NUMBER: 98-27C**

Vicinity Map
NOT TO SCALE

**PROSPERITY CHURCH VILLAGE
MIXED-USE CENTER - SITE PLAN AMENDMENT**

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**PROPOSED
SITE
PLAN**

NORTH

Scale: 1" = 100'
Date: JUNE 21, 2005
Project No.: 195-002

Revisions:
1) 06/27/05 ADMINISTRATIVE SITE PLAN APPROVAL
2) 07/21/05 ADMINISTRATIVE SITE PLAN APPROVAL

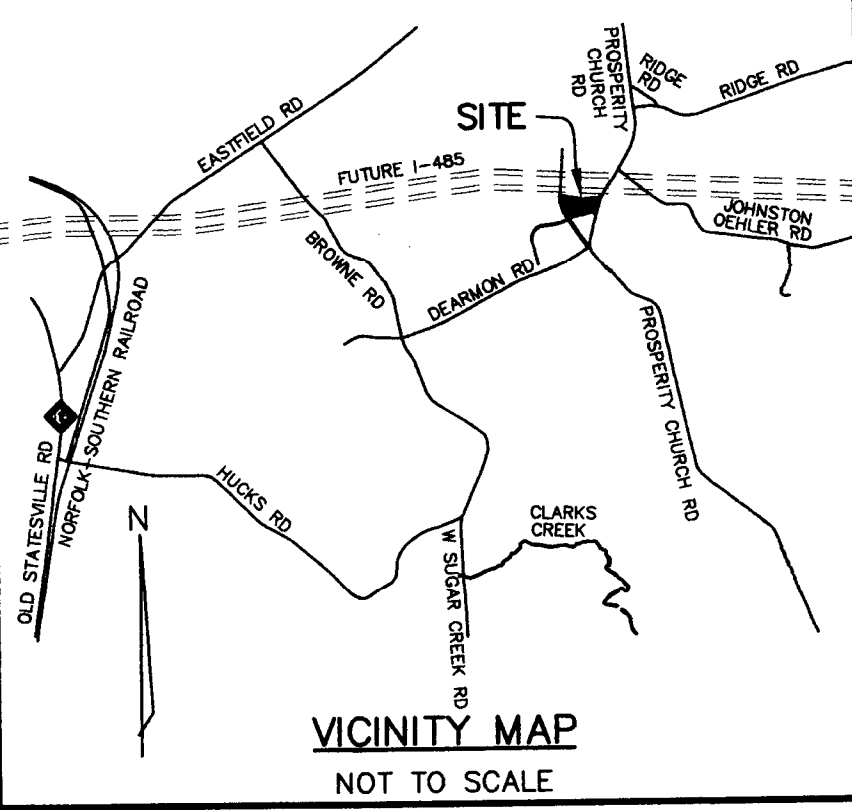
Sheet 2

PROSPERITY MEDICAL

CHARLOTTE, NORTH CAROLINA

PROSPERITY MEDICAL I, LLC

9823 WHITE CASCADE DR.
CHARLOTTE, NC 28269
PHONE: 704.548.0900 FAX: 704.548.0907



PROSPERITY MEDICAL
CHARLOTTE, NORTH CAROLINA

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CHARLOTTE, NC 28269

GENERAL
THE DEVELOPMENT GUIDELINES FOR THE 9823 WHITE CASCADE DRIVE AND PROSPERITY CHURCH ROAD...
DESIGN
THE DEVELOPMENT GUIDELINES FOR THE 9823 WHITE CASCADE DRIVE AND PROSPERITY CHURCH ROAD...
CONSTRUCTION
THE DEVELOPMENT GUIDELINES FOR THE 9823 WHITE CASCADE DRIVE AND PROSPERITY CHURCH ROAD...
OPERATION
THE DEVELOPMENT GUIDELINES FOR THE 9823 WHITE CASCADE DRIVE AND PROSPERITY CHURCH ROAD...

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THE DEVELOPMENT GUIDELINES FOR THE 9823 WHITE CASCADE DRIVE AND PROSPERITY CHURCH ROAD...
OPERATION
THE DEVELOPMENT GUIDELINES FOR THE 9823 WHITE CASCADE DRIVE AND PROSPERITY CHURCH ROAD...

GENERAL NOTES
1. SURVEY INFORMATION OBTAINED FROM CONCORD ENGINEERING & SURVEYING, INC.
2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
5. ALL ROAD IMPROVEMENTS AT PROSPERITY CHURCH RD TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
6. DEVELOPER WILL PROVIDE STREET SIGNS PER G.S.D. 50.05 (8" SIGNS ONLY).
7. SIGN TRIANGLES SHOWN ARE THE MINIMUM REQUIREMENTS.
8. IN HOLLIDAY AND NEARLY TOWNSHIP, TURNING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT WILL BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR.
9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER.
10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 5% PERCENT SLOPE ON THE CURB.
11. SURFACE DRAINAGE FACILITIES WILL BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
12. CURB AND GUTTER SHOWN ON PLANS ALONG PROSPERITY CHURCH RD MAY BE ADJUSTED BASED UPON STANDING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED ON FIELD CONDITIONS.
13. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
14. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
15. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TWIGS, BRUSH AND OTHER ACCUMULATIONS.

GENERAL NOTES
16. PER SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
17. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DETAILS, MUST BE SUBMITTED TO SUBDIVISION PLAN INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
18. PRIOR TO INSTALLATION, PER SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE SUBMITTED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
19. NON-STANDARD ITEMS (E.G. PAVEMENT, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
20. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
21. PRIOR TO PLANT RECOGNITION, OFFSITE R/W AND /OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS", THESE NEED TO BE OBTAINED PRIOR TO PLANT RECOGNITION.
22. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDAN, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND /OR ANY REPAIR COST CAUSED BY THE CONTRACTOR / DEVELOPER.
23. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

SITE DATA:
TAX PARCEL NO: 027-072-13, 027-072-14, 027-072-15
ZONING: CC-SPA
ZONING PETION # 2005-01
SITE AREA: 4.41 AC.
MIN. BUILDING SETBACK: 14' FROM BACK OF EXISTING CURB OR FUTURE CURB
MIN. SIDE & REAR YARD: 25'
MAXIMUM BUILDING HEIGHT: 60'
MAXIMUM FLOOR AREA RATIO: 1.0
MAXIMUM BUILDING SEPARATION: 10'
PARKING PROVIDED: 255 REGULAR SPACES
8 HANDICAP (4 VAN)
40 COMPACT SPACES
2 LOADING SPACES
16 ON-STREET
321 TOTAL

CONSULTANTS:
DEVELOPER: SOUTHERN HOLDINGS IV, LLC
9823 WHITE CASCADE DR.
CHARLOTTE, NC 28269
704.548.0900
LANDSCAPE ARCHITECT: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704.343.0608
CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA
1230 WEST MOREHEAD STREET
SUITE 214
CHARLOTTE, NC 28208
704.343.0608
SURVEYOR: CONCORD ENGINEERING & SURVEYING, INC.
45 SPRING STREET SW
CONCORD, NC 28025
704.786.5404

SCHEDULE OF DRAWINGS:
C1 COVER SHEET
C2 EXISTING CONDITIONS
C3 OVERALL SITE PLAN
C4 SITE PLAN
C5 GRADING PLAN
C6 REQUIRED PLANTING PLAN
C7 SITE DETAILS
C7A PHASE I EROSION CONTROL
C8 STORM DRAINAGE & EROSION CONTROL PLAN
C9 DRAINAGE AREA PLAN
C10 EROSION CONTROL & STORM DRAINAGE DETAILS
C11 STORM DRAINAGE DETAILS
C12 WATER & SANITARY SEWER PLAN
C13 WATER & SANITARY SEWER DETAILS
C14 PROSPERITY CHURCH ROAD STRIPPING & TRAFFIC CONTROL PLAN
C15 PROSPERITY CHURCH ROAD MEDIAN TRAFFIC CONTROL PLAN
C16 TRAFFIC CONTROL PLAN

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: November 9, 2005
BY: DEBRA D. CAMPBELL

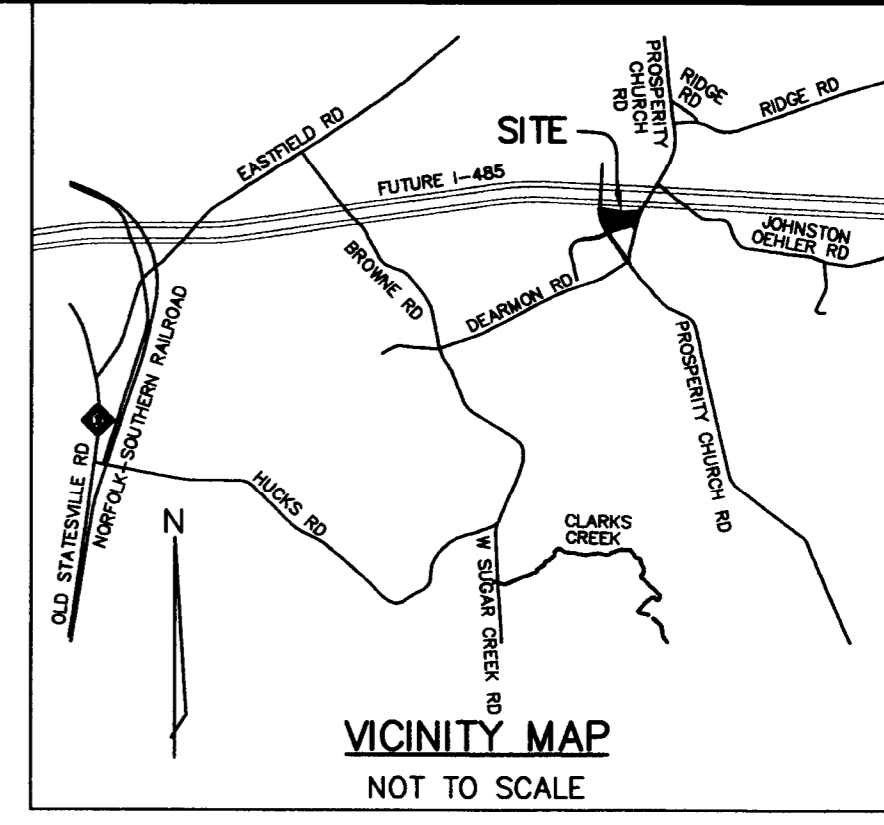
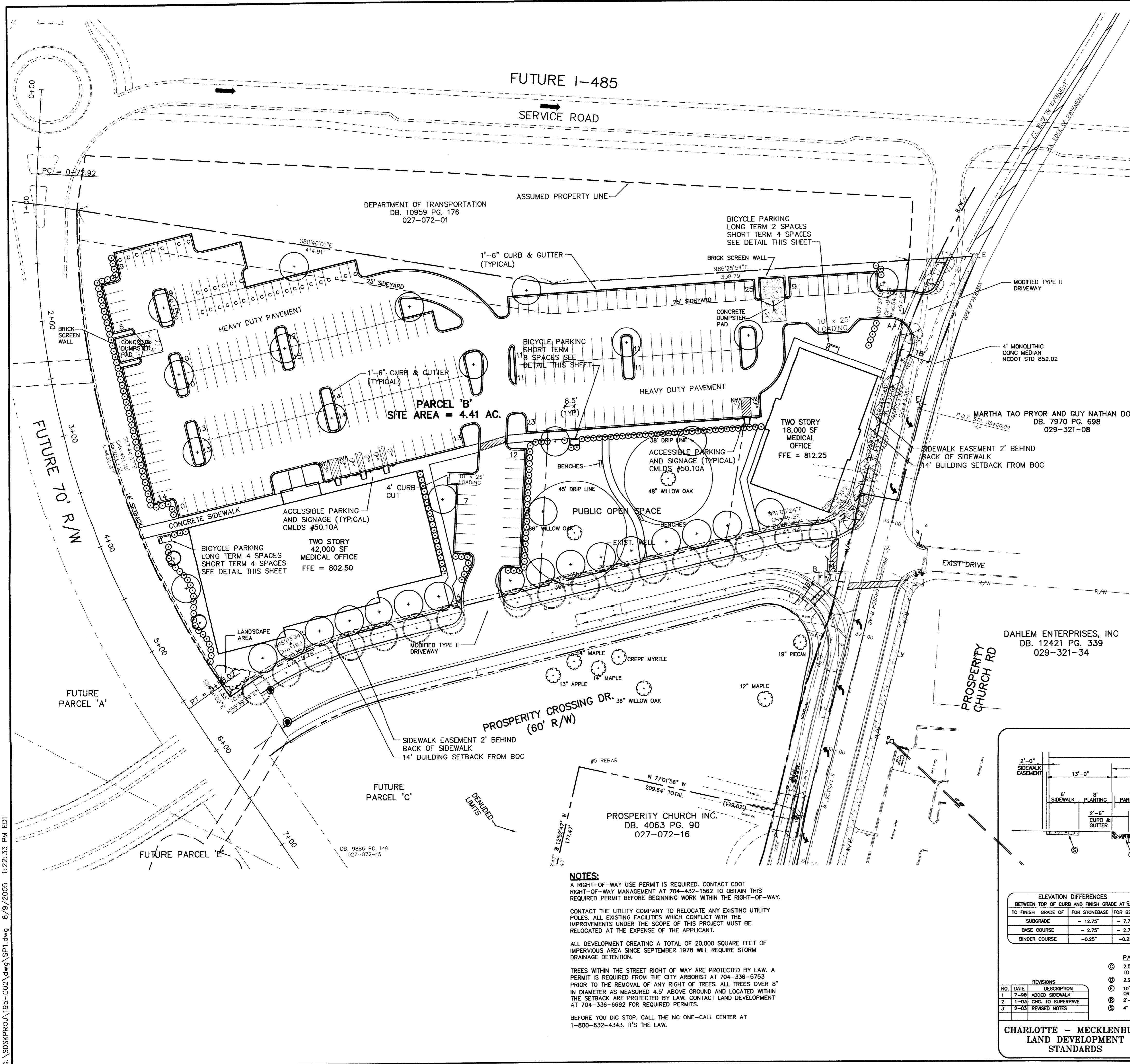
Scale: NOT TO SCALE
Date: MAY 6, 2005
Project No.: 195-002
Revisions:
1) 06/17/05 ADMINISTRATIVE SITE PLAN APPROVAL
2) 07/15/05 ADMINISTRATIVE SITE PLAN APPROVAL
3) 07/15/05 PER ENGINEERING REVIEW
4) 08/9/05
5) 11/6/05 ADMINISTRATIVE SITE PLAN APPROVAL
Sheet C1

CHARLOTTE - MECKLENBURG PLANNING COMMISSION INTER - OFFICE COMMUNICATION

DATE: November 9, 2005
FROM: Katrina Young
Interim Zoning Administrator

SUBJECT: Administrative Approval for Petition No. 2005-01 by BP Products North America, Inc.

Attached are revised plans for the above petition. The plans have been revised to increase the height of lighting in nonresidential areas to 28-feet and to phase the screening of parking along I-485. Since these changes do not alter the intent of the development and are minor, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of occupancy.
Note that all other ordinance requirements still apply.



SITE DATA:

TAX PARCEL NO:	027-072-13, 027-072-14, 027-072-15
ZONING:	CC-SPA
ZONING PETION #:	2005-01
SITE AREA:	4.41 AC.
MIN. BUILDING SETBACK:	14' FROM BACK OF EXISTING CURB OR FUTURE CURB
MIN. SIDE & REAR YARD:	25'
MAXIMUM BUILDING HEIGHT:	60'
MAXIMUM FLOOR AREA RATIO:	1.0
MAXIMUM BUILDING SEPARATION:	10'
PARKING REQUIRED:	300 SPACES - 1 SPACE PER 200 SF
PARKING PROVIDED:	252 REGULAR SPACES 8 HANDICAP (4 VAN) 40 COMPACT SPACES 18 ON-STREET 317 TOTAL 2 LOADING SPACE

ASPHALT PAVING

LIGHT DUTY ASPHALT PAVING

- 1.5" S 9.5 A
- 1.5" S 9.5 A
- 6" A.B.C.
- COMPACTED SUBGRADE (98% TOP 18-IN.)

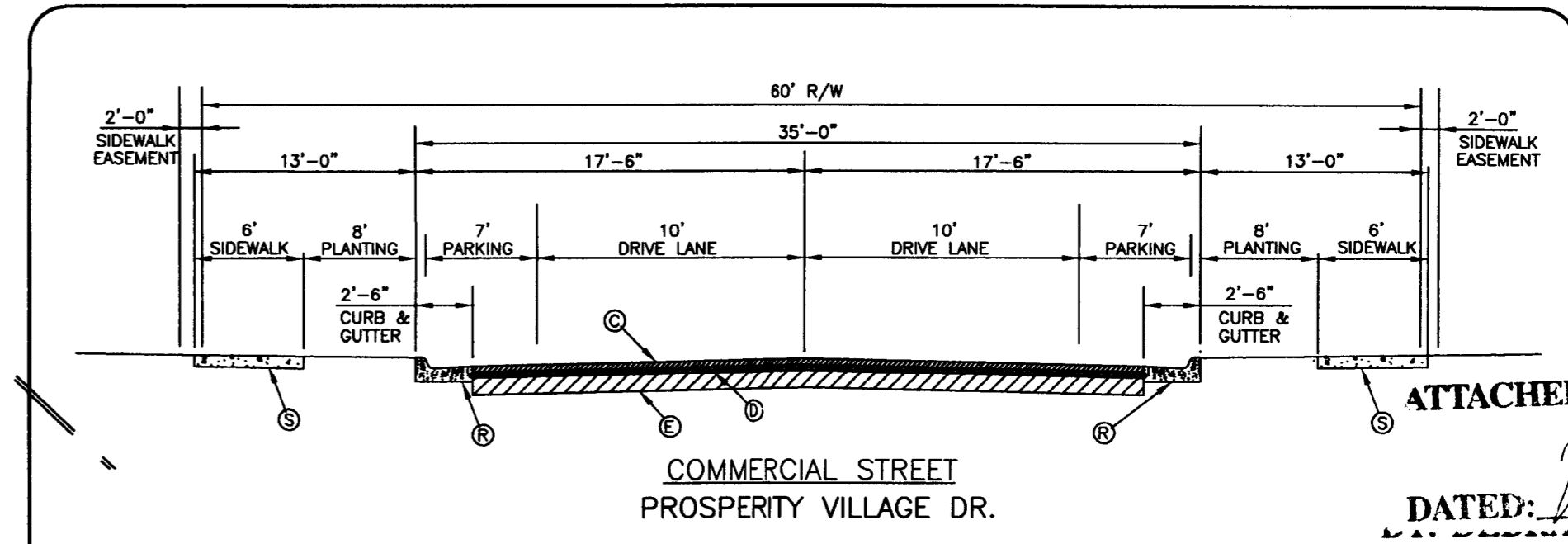
HEAVY DUTY ASPHALT PAVING

- 1-1/2" S 9.5 A
- 2-1/2" S 19 B
- 8" A.B.C.
- COMPACTED SUBGRADE (98% TOP 18-IN.)

SIGN LEGEND

A STOP SIGN	R1-1 (30"x30")
B DOUBLE ARROW	W12-1 (30"x30")
C YIELD SIGN	R1-1 (30"x30")
D STOP SIGN	R1-1 (24"x24")

NOTE: ALL STREET SIGNS SHALL CONFORM WITH MUTCD.



ELEVATION DIFFERENCES

TO FINISH	GRADE OF	FOR STONEBASE	FOR B25.0C
SUBGRADE	- 12.75"	- 7.75"	
BASE COURSE	- 2.75"	- 2.75"	
BINDER COURSE	- 0.25"	- 0.25"	

PAVEMENT SCHEDULE

①	2.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE S9.5B TO BE PLACED IN TWO 1.25" LIFTS
②	2.25" BITUMINOUS CONCRETE INTERMEDIATE COURSE, TYPE I19.0B
③	10" COMPACTED AGGREGATE BASE COURSE
④	OR 5" BITUMINOUS CONCRETE BASE COURSE, TYPE B25.0B
⑤	2'-6" CURB AND GUTTER
⑥	4" CONCRETE SIDEWALK

GENERAL NOTES:

- DEVELOPER MAY SUBMIT AN ALTERNATIVE PAVEMENT SCHEDULE. ALL PERTINENT INFORMATION MAY BE SUBMITTED TO THE APPROPRIATE CITY/COUNTY ENGINEERING DEPT.
- THE CROWN (TRANSVERSE SLOPE) FOR THE TYPICAL SECTION ON THIS SHEET IS 3/8" PER FOOT.

CHARLOTTE - MECKLENBURG LAND DEVELOPMENT STANDARDS

TYPICAL SECTION COMMERCIAL STREET

COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS V-C)

APPROVED DATE: _____

PROSPERITY MEDICAL
 CHARLOTTE, NORTH CAROLINA

PROSPERITY MEDICAL I, LLC
 9823 WHITE CASCADE DR.
 CHARLOTTE, NC 28269

Design Resource Group

1230 West Morehead Street, Suite 214
 Charlotte, NC 28208
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 www.drg.com

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PARCEL 'B'
 SITE PLAN

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: September 9, 2005

BY: DEBRA D. CASPER

Scale: 1" = 40'

Date: MAY 6, 2005

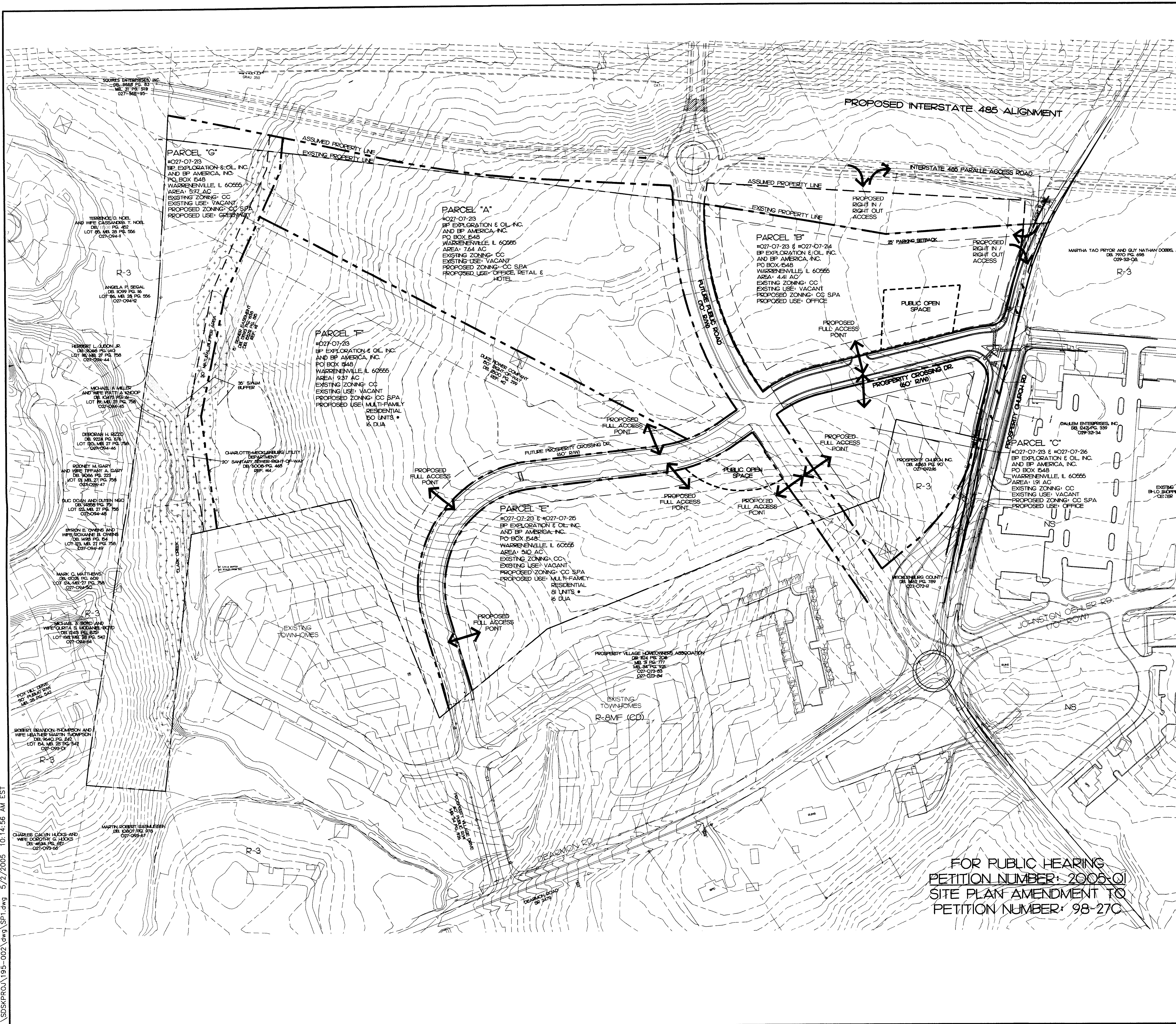
Project No.: 195-002

Revisions:

- 06/06/05 PER SUBDIVISION REVIEW
- 06/17/05 ADMINISTRATIVE SITE PLAN APPROVAL
- 06/27/05 ADMINISTRATIVE SITE PLAN APPROVAL
- 07/15/05 ADMINISTRATIVE SITE PLAN APPROVAL
- 11/6/05 ADMINISTRATIVE SITE PLAN APPROVAL

Sheet **C4**

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NEIGHBORHOOD NOTIFICATION CONTACTS

4027-07-26
PROSPERITY VILLAGE TOWNHOMES
3000 PARK CIRCLE DR. STE. 100
CHARLOTTE, NC 28208
704.343.0000

PARCEL INFORMATION

PHASE ONE - EXISTING ZONING CONDITIONS

PARCEL A - 2.55 AC
30000 SOFT OFFICE (30000 ADDITIONAL SOFT TRANSFERRED FROM PARCEL C)
PARCEL B - 2.45 AC
30000 SOFT OFFICE OR RETAIL
PARCEL C - 2.45 AC
30000 SOFT RESIDENTIAL OR 60000 SOFT IF THREE STORY
PARCEL D - 2.45 AC
30000 SOFT OFFICE
PARCEL E - 2.45 AC
30000 SOFT OFFICE
PARCEL F - 2.45 AC
30000 SOFT OFFICE
PARCEL G - 2.45 AC
30000 SOFT OFFICE

PHASE TWO - EXISTING ZONING CONDITIONS

PARCEL A - 2.55 AC
30000 SOFT OFFICE OR RETAIL (INCLUDES 20000 SOFT TRANSFERRED FROM PARCEL B PHASE TWO)
PARCEL B - 2.45 AC
30000 SOFT OFFICE (30000 ADDITIONAL SOFT TRANSFERRED FROM PARCEL C)
PARCEL C - 2.45 AC
30000 SOFT OFFICE OR RETAIL
PARCEL D - 2.45 AC
30000 SOFT OFFICE OR RETAIL
PARCEL E - 2.45 AC
30000 SOFT OFFICE OR RETAIL
PARCEL F - 2.45 AC
30000 SOFT OFFICE OR RETAIL
PARCEL G - 2.45 AC
30000 SOFT OFFICE OR RETAIL

PROPOSED ZONING CONDITIONS

PARCEL A - 744 AC
30000 SOFT OFFICE OR RETAIL (INCLUDES 20000 SOFT TRANSFERRED FROM PARCEL B PHASE TWO)
PARCEL B - 441 AC
30000 SOFT OFFICE (30000 ADDITIONAL SOFT TRANSFERRED FROM PARCEL C)
PARCEL C - 109 AC
30000 SOFT OFFICE OR RETAIL
PARCEL D - 109 AC
30000 SOFT OFFICE OR RETAIL
PARCEL E - 109 AC
30000 SOFT OFFICE OR RETAIL
PARCEL F - 109 AC
30000 SOFT OFFICE OR RETAIL
PARCEL G - 109 AC
30000 SOFT OFFICE OR RETAIL

NOTES:

INTERSTATE 485 ALIGNMENT DATA AND PROSPERITY CHURCH ROAD ALIGNMENT DATA PROVIDED BY: NC DEPARTMENT OF TRANSPORTATION
PROJECT MANAGER: GREGG BREW, PE
PO BOX 25201
RALEIGH, NC 27625-0201
704.343.0000
999.250.4016

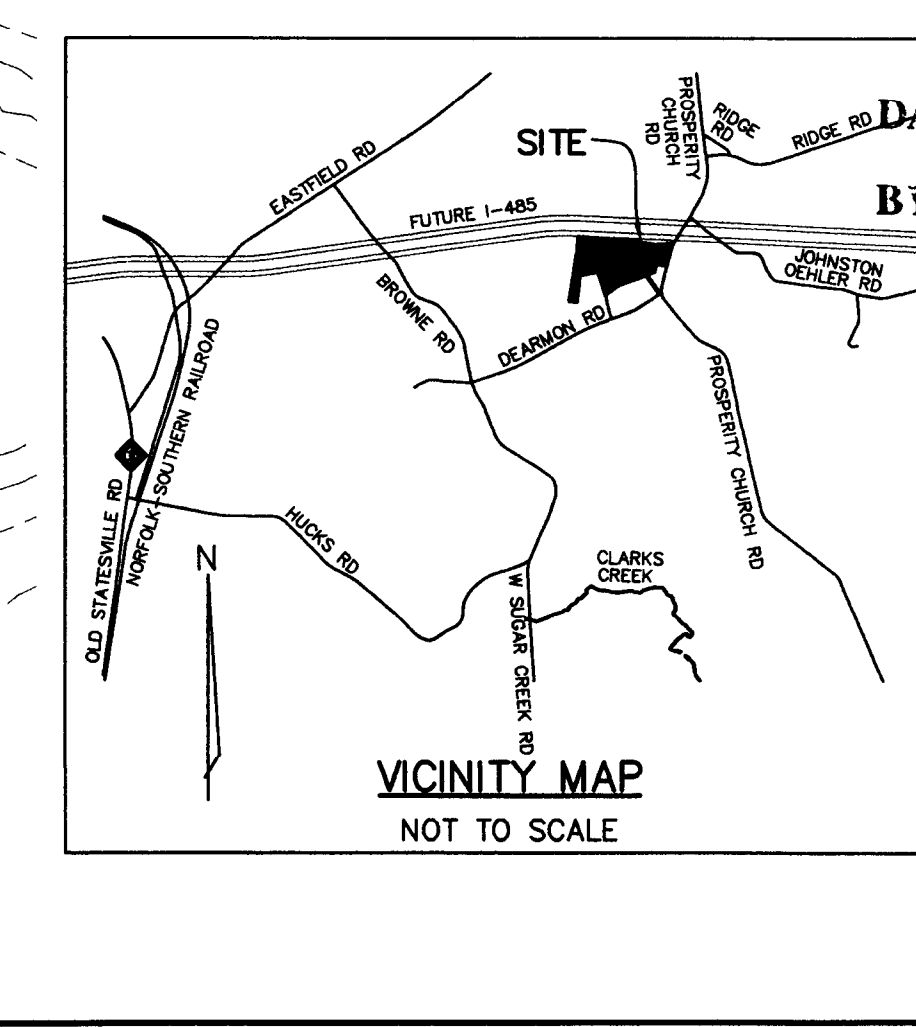
DEVELOPMENT SUMMARY

PREVIOUS PETITION NUMBER: 98-27C
NEW PETITION NUMBER: 2005-01
EXISTING ZONING: CC
PROPOSED ZONING: CC SPA
TOTAL SITE AREA: 38899 AC
TOTAL TAX PARCEL ID NUMBERS: 38899 AC
TOTAL SITE AREA PROPOSED: 38899 AC
TOTAL ROW AREA TO BE DEDICATED: 3949 AC

COMMERCIAL CENTER DISTRICT REQUIREMENTS

(1) MINIMUM PROJECT SIZE: 5 ACRES
(2) MINIMUM SETBACK: 14' MINIMUM FROM BACK OF THE EXISTING OR FUTURE CURB, WHICHEVER IS GREATEST*
(3) MINIMUM SIDE YARDS: 25'
(4) MINIMUM REAR YARD: 25'
(5) MAXIMUM HEIGHT: 60'
(6) MAXIMUM FLOOR AREA RATIO: 1.0
(7) MINIMUM LOT WIDTH: 15'
(8) MINIMUM BUILDING SEPARATION: 10'
(9) MINIMUM DISTANCE FROM BUILDING TO BACK OF CURB ON PRIVATE DRIVES AND PARKING FIELDS: 10'
(10) PARKING: MINIMUM OF ONE SPACE PER UNIT AND MAXIMUM OF 18 SPACES PER UNIT ON-STREET PARKING ON PUBLIC STREET TO BE COUNTED TO MEET MINIMUM PARKING REQUIREMENTS.
*SEE DEVELOPMENT GUIDELINES FOR PROSPERITY CHURCH ROAD VILLAGE, MARCH, 1999, P.8

**FOR PUBLIC HEARING
PETITION NUMBER: 2005-01
SITE PLAN AMENDMENT TO
PETITION NUMBER: 98-27C**



**PROSPERITY CHURCH VILLAGE
MIXED-USE CENTER - SITE PLAN AMENDMENT**

BP EXPLORATION & OIL COMPANY

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1230 West Morehead Street, Suite 214
Charlotte, NC 28208
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PROPERTY DEVELOPMENT PLAN

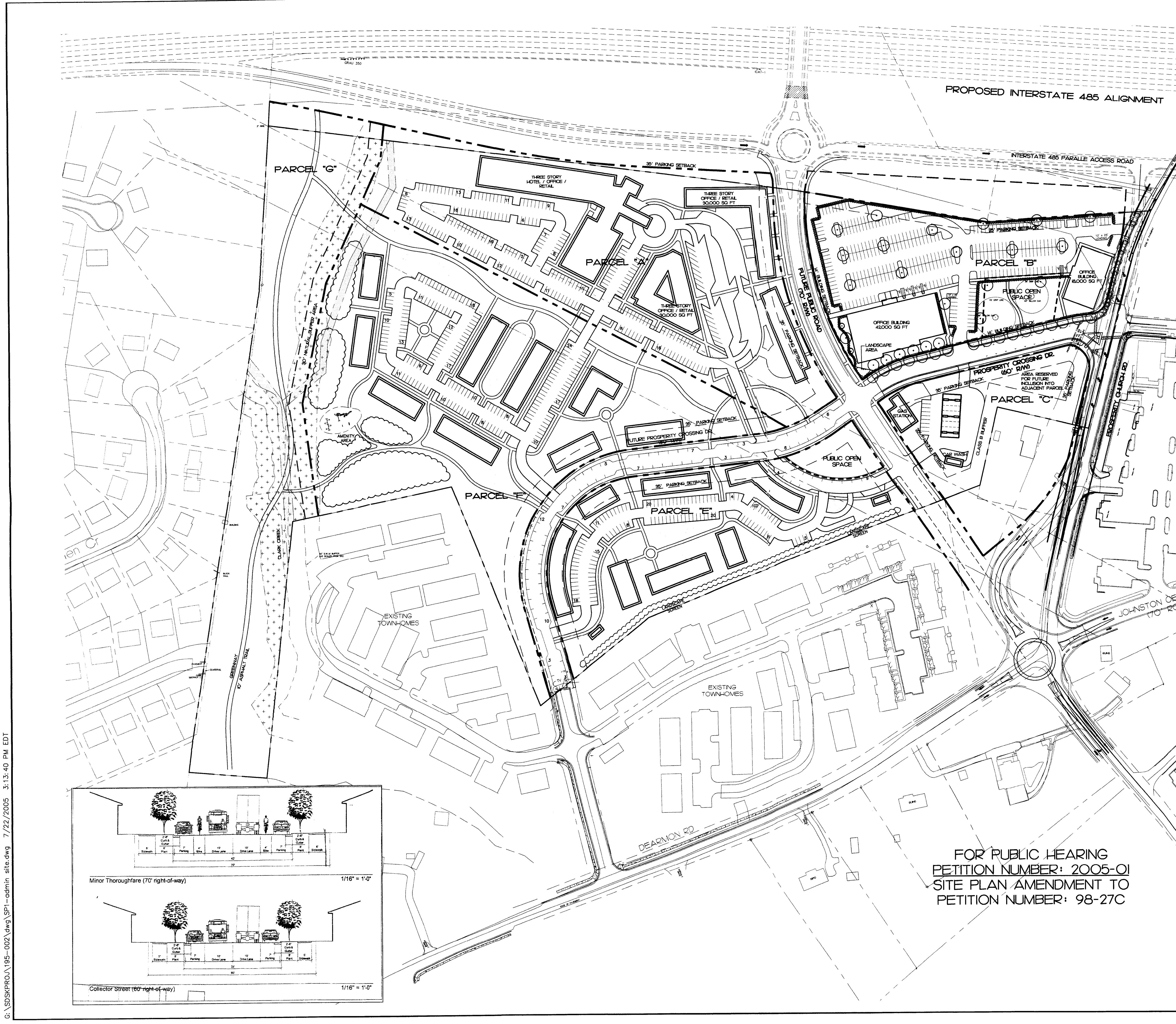
ATTACHED TO ADMINISTRATIVE APPROVAL

DATE: *June 9, 2005*

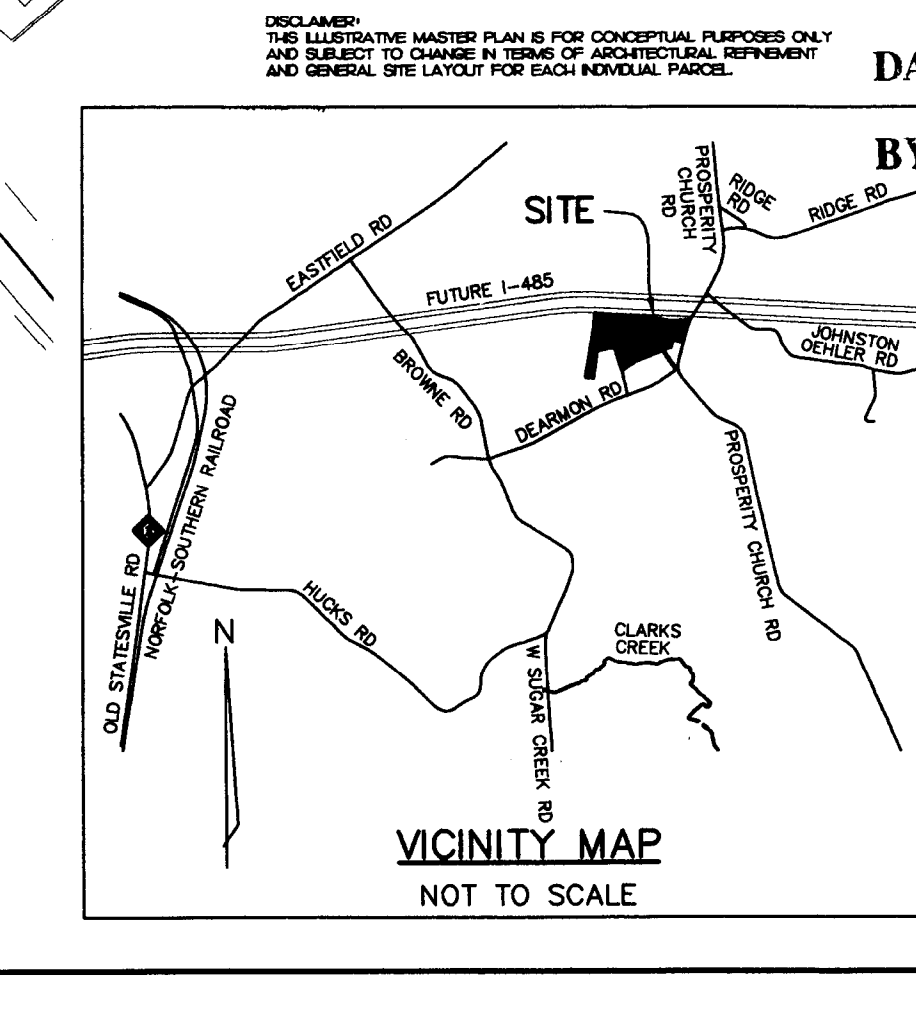
BY: *DEBRA D. CAMPBELL*

Scale: 1" = 100'
Date: JUNE 21, 2005
Project No.: 195-002
Revisions:

Sheet 1



**FOR PUBLIC HEARING
PETITION NUMBER: 2005-01
SITE PLAN AMENDMENT TO
PETITION NUMBER: 98-27C**



**PROSPERITY CHURCH VILLAGE
MIXED-USE CENTER - SITE PLAN AMENDMENT**

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PROPOSED SITE PLAN

ATTACHED TO ADMINISTRATIVE APPROVAL

DATE: *June 9, 2005*

BY: *DEBRA D. CAMPBELL*

Scale: 1" = 100'
Date: JUNE 21, 2005
Project No.: 195-002
Revisions:
1) 06/27/05 ADMINISTRATIVE SITE PLAN APPROVAL
2) 07/21/05 ADMINISTRATIVE SITE PLAN APPROVAL

Sheet 2