PROSPERITY MEDICAL

CHARLOTTE, NORTH CAROLINA

VICINITY MAP

NOT TO SCALE

PROSPERITY MEDICAL I, LLC

9823 WHITE CASCADE DR. CHARLOTTE, NC 28269

PHONE: 704.548.0900 FAX: 704.548.0907



GENERAL
THE PURPOSE OF THESE DEVELOPMENT GUIDELINES IS TO ESTABLISH THE OVERALL CHARACTER OF THE PROPERTY INCLUDED IN THE REZONING APPLICATION AND
TO INSURE IT'S COMPATIBILITY WITH THE VILLAGE CONCEPT PLAN INSTITUTED BY THE CHARLOTTE-MECKLENBURG COUNTY PLANNING COMMISSION. ALL
CONSTRUCTION WITHIN THE "DEVELOPMENT" MUST MEET THE CRITERIA SET FORTH IN THESE GUIDELINES, AND THOSE ADOPTED BY THE CHARLOTTE-MECKLENBURG
PLANNING COMMISSION. EACH BUILDING PERMIT APPLICATION MUST BE APPROVED BY PLANNING COMMISSION STAFF. THESE DEVELOPMENT GUIDELINES AND THE
DESIGN GUIDELINES OF THE "PROSPERITY CHURCH ROAD VILLAGES" WILL BE USED BY THE STAFF WHEN EVALUATING THE BUILDING DESIGN FOR COMPLIANCE.

DEDICATION OF ROAD RIGHT-OF-WAY

THE MAIN ROADS, INDICATED ON THE DEVELOPMENT PLAN WILL BE DEDICATED AND CONVEYED TO THE CITY OF CHARLOTTE, MECKLENBURG COUNTY OR NCDOT UPON CONSTRUCTION OF THE ROADWAYS. THE PETITIONER AGREES TO DEDICATE THE RIGHTS-OF-WAY SHOWN ON THE PROPERTY DEVELOPMENT PLAN AS FOLLOWS:

THE "BRIDGE ROAD" MINOR THOROUGHFARE BETWEEN I-485 AND PROSPERITY CHURCH ROAD

THE EXISTING PROSPERITY CHURCH ROAD

THE FUTURE 60' RIGHT-OF-WAY COLLECTOR STREET SHALL BE CONSTRUCTED IN PHASES AS THE SITE IS DEVELOPED. THE FUTURE 70' RIGHT-OF-WAY PUBLIC ROAD SHALL BE CONSTRUCTED IN CONJUNCTION WITH PARCELS A, E AND F.

ALL INTERIOR THROUGH ROADWAYS SHALL BE CONSTRUCTED BY THE DEVELOPER IN CONJUNCTION WITH DEVELOPMENT OF THE PARCELS AND MUST BE DEDICATED.

THE NUMBER AND APPROXIMATE LOCATION OF THE PARCEL ACCESS POINTS ARE INDICATED ON THE SITE DEVELOPMENT PLAN. HOWEVER, INDIVIDUAL ACCESS MUST BE PERMITTED THROUGH THE MECKLENBURG COUNTY ENGINEERING OFFICE, COOT OR NODOT. PARCEL "G" WILL BE DEDICATED AND CONVEYED TO MECKLENBURG COUNTY UPON COMPLETION OF THE ROAD NETWORK IN PARCELS "E" AND "F" OR UPON REQUEST OF THE COUNTY TO THE PETITIONER. SAID DEDICATION MUST BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMITS IN PARCELS "A", "E", OR "F". THE DEDICATION WILL BE SUBJECT TO ANY EXISTING EASEMENTS OF RECORD AND THE RIGHT OF THE PETITIONER TO RESERVE ADDITIONAL EASEMENTS THAT MAY BE REASONABLY REQUIRED FOR DEVELOPMENT OF THIS SITE.

ALLOWABLE USES
ONLY THOSE USES SPECIFICALLY NOTED IN THE INDIVIDUAL PARCEL GUIDELINES FOR EACH PARCEL, WILL BE PERMITTED WITHIN THE RESPECTIVE PARCELS. BUILDING HEIGHTS
BUILDING HEIGHT WITHIN THIS DEVELOPMENT WILL BE LIMITED TO 60 FEET, EXCEPT FOR PARCEL E, WHICH WILL BE LIMITED TO 48'. DECORATIVE PARAPETS, FOR THE PURPOSE OF CONCEALING ROOF TOP EQUIPMENT ARE ALLOWED ABOVE THE HEIGHT LIMITATION BUT MAY NOT EXCEED THE LIMIT BY MORE THAN 5 FEET FOR ANY BUILDING. GUIDELINES FOR INDIVIDUAL PARCELS SHALL DETERMINE MAXIMUM NUMBER OF STORIES FOR STRUCTURES WITHIN THOSE PARCELS.

STREET WALLS
THE FIRST FLOOR OF ALL BUILDINGS, INCLUDING STRUCTURED PARKING MUST BE DESIGNED TO ENCOURAGE AND COMPLEMENT PEDESTRIAN SCALE INTEREST AND ACTIVITY. WHERE EXPANSES OF BLANK WALL ARE NECESSARY, THEY MAY NOT EXCEED TWENTY FEET IN LENGTH. A BLANK WALL IS A FAÇADE WHICH DOES NOT ADD TO THE CHARACTER OF THE STREETSCAPE AND DOES NOT CONTAIN TRANSPARENT WINDOWS OR DOORS SUFFICIENT ORNAMENTATION, DECORATION OR ARTICULATION. SEE "BUILDING DESIGN" REQUIREMENTS FOR OTHER ELEMENTS PERTAINING TO THE STREET WALLS AND BUILDING DESIGN.

STATED SETBACKS ARE FROM THE BACK OF CURB OF THE PROPOSED ROADWAYS. AS INDICATED ON THE SITE DEVELOPMENT PLAN, SETBACKS/BUILD-TO LINES ARE 14 FEET FROM BACK OF CURB, OR AT THE PROPERTY LINE, WHICHEVER IS GREATER. DOORS MAY NOT SWING INTO THE MINIMUM 14 FOOT SETBACK AREA.

STREETSCAPE REQUIREMENTS

STREET TREES ARE REQUIRED IN ACCORDANCE WITH AN APPROVED LANDSCAPE PLAN AND THE "STREETSCAPE PLAN" FOR THE VILLAGE. IF A "STREETSCAPE PLAN" DOES NOT EXIST, THE MINIMUM REQUIREMENTS ARE AS FOLLOWS:

DOES NOT EXIST, THE MINIMUM REQUIREMENTS ARE AS FOLLOWS: ES NOT EXIST, THE MINIMUM REQUIREMENTS ARE AS FOLLOWS:

LARGE MATURING TREE - ONE TREE PER 35 LINEAR FEET. THE MINIMUM CALIPER SHALL BE 2" MEASURED 6" ABOVE GROUND AT TIME OF PLANTING.

SMALL MATURING TREE - ONE TREE PER 24 LINEAR FEET. THE MINIMUM CALIPER SHALL BE 2" MEASURED 6" ABOVE GROUND AT TIME OF PLANTING. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL

GENERAL NOTES:

- 1. SURVEY INFORMATION OBTAINED FROM CONCORD ENGINEERING & SURVEYING, INC. 2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR, REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- 3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION. 4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR. 5. ALL ROAD IMPROVEMENTS AT PROSPERITY CHURCH RD TO BE COORDINATED WITH ENGINEERING DEPARTMENT
- 6. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLD STD. 50.05 (9" SIGNS ONLY). 7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- 8. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR. 9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY
- 10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50 PERCENT SLOPE ON THE CURB. 11. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED
- NECESSARY BY THE INSPECTOR. 12. CURB AND GUTTER SHOWN ON PLANS ALONG PROSPERITY CHURCH RD MAY BE ADJUSTED BASED UPON STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED
- 13. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND / OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- 14. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- 15. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

BIKE RACKS WILL BE PROVIDED AT THE FOLLOWING RATE: 1 BIKE SPACE PER 20 PARKING SPACES AT THE OFFICE AND COMMERCIAL FACILITIES. THE PETITIONER AGREES TO WORK WITH THE CHARLOTTE AREA TRANSIT SYSTEM (CATS) IN PROVIDING A BUS SHELTER PAD, BUS PULL-OFF AREA AND PARKING SPACES AS IS REASONABLY ACHIEVABLE.

SIDEWALKS

ALL SIDEWALKS CONSTRUCTED ADJACENT TO THE STREETS WILL BE 6 FEET WIDE CONCRETE WITH TOOLED CONSTRUCTION JOINTS AT EVERY 8 FEET. AN 8 FOOT WIDE PLANTING STRIP WILL BE LEFT BETWEEN THE CURB AND THE SIDEWALK. SPECIAL TREATMENTS, I.E., EMBOSSED CONCRETE PATTERN, BRICK, ETC., WILL BE ALLOWED AT ROAD CROSSINGS BUT MUST BE APPROVED BY THE CHARLOTTE—MECKLENBURG PLANNING COMMISSION STAFF.

A MASTER SIGNAGE PROGRAM WILL BE DEVELOPED FOR THIS PROPERTY THAT WILL BE IN CONCERT WITH THAT DEVELOPED WITHIN THE VILLAGE CONCEPT. A SIGNS MUST COMPLY WITH THE CHARLOTTE-MECKLENBURG SIGN ORDINANCE AND MUST BE PERMITTED ACCORDINGLY. POLE MOUNTED SIGNS WILL NOT BE ALLOWED, NOR WILL FLASHING SIGNS OF ANY NATURE. THE MAXIMUM HEIGHT OF GROUND MOUNTED/MONUMENT SIGNS WILL BE 5 FEET ABOVE THE AVERAGE GRADE AT EDGE OF RIGHT-OF-WAY. MAXIMUM SIZE OF SIGNAGE WILL BE 50 SQUARE FEET, EACH FACE. NO PERMANENT BUSINESS IDENTIFICATION SIGNS OR ADVERTISEMENTS WILL BE ALLOWED WITHIN THE 14 FOOT BUILDING SETBACK, EXCEPT AT DRIVEWAY ENTRANCES WHICH BISECT THE LANDSCAPE SETBACK AREA. ANY SAID SIGNS MUST BE WITHIN 6 FEET OF THE DRIVEWAY CURBING, TEMPORARY PROJECT IDENTIFICATION SIGNS MUST BE LOCATED OUTSIDE OF THE REQUIRED SETBACK STATED ABOVE.

TEMPORARY CONSTRUCTIONS SIGNAGE CAN NOT BE LOCATED WITHIN THE REQUIRED SETBACK, AND MUST BE REMOVED NO LATER THAN 80 DAYS FOLLOWING THE RECEIPT OF THE CERTIFICATE OF OCCUPANCY FOR THE STRUCTURE ADDRESSED BY THE SIGNAGE. BUILDING IDENTIFICATION SIGNS WITHIN INTERIOR PARKING LOTS WILL BE ALLOWED AT THE WALKWAY LEADING TO THE BUILDING AT THE POINT THE WALKWAY EXITS THE PARKING LOT. SUCH SIGNAGE IS LIMITED TO 8 SQUARE FEET, EACH FACE, AND MUST BE INTERNALLY ILLUMINATED. SIGNAGE FOR PARCELS "E", AND "F" MEET REQUIREMENTS PER SECTION 13.109 (1)(C).

ALL STREET SIDE LIGHTING WILL BE IN ACCORDANCE WITH THE VILLAGE CONCEPT PLAN. ANY VARIATION TO THAT MUST BE APPROVED IN WRITING BY THE CHARLOTTE-MECKLENBURG PLANNING COMMISSION STAFF. PEDESTRIAN SCALE LIGHTING WILL BE PROVIDED WHERE APPROPRIATE. (IE. ALONG SIDEWALKS) WHERE AREA LIGHTING FOR PARKING LOTS IS MOUNTED ON POLES, POLES CAN NOT EXCEED 16 FEET IN HEIGHT WITH ILLUMINATION LIMITED TO 400 WATTS PELIGHT. A MAXIMUM OF FOUR LIGHT HEADS CAN BE MOUNTED ON ONE POLE. ALL ILLUMINATION WILL BE WHITE IN COLOR; YELLOW OR OTHER TONES WILL NOT BE ALLOWED. DISPERSION OF AREA LIGHTING CAN NOT CARRY OVER TO ADJOINING PROPERTIES, UNLESS THE LIGHTING IS FOR A PARKING LOT THAT SERVES ALL PROPERTIES WITHIN A DESIGNATED PARCEL.

AESTHETIC ILLUMINATION OF EXTERIOR WALL FACES WILL NOT BE ALLOWED, EXCEPT AT ENTRANCES AND CANOPIES OR DRIVE—THRU. SECURITY ILLUMINATION LESS THAN 3 FEET ABOVE GROUND WILL BE ALLOWED THROUGHOUT ALL PARKING LOTS OR ADJACENT TO BUILDINGS AS LONG AS THE LIGHT IS NOT DIRECTED UPWARDS THUS ILLUMINATING THE BUILDING. WALL—PAK LIGHTING IS NOT PERMITTED. LIGHTING LEVELS UNDER THE GAS STATION CANOPY ARE LIMITED TO 24 /

MATERIALS FOR THE BUILDINGS WALLS WITHIN THIS DEVELOPMENT WILL BE LIMITED TO BRICK, PATTERNED CONCRETE OR LIMESTONE. WITH APPROVAL, STUCCO OR "SYNTHETIC STUCCO" MAY BE USED FOR THE WALL FRONTING THE STREET AS WELL AS ADJACENT SIDE WALLS. IN ADDITION, METAL FASCIA TRIM, NOT TO EXCEED 36" IN HEIGHT, WILL BE ALLOWED TO BE USED AS A HORIZONTAL FEATURE. THERE IS NO SPECIFIC STYLE REQUIRED BUT THE BUILDINGS MUST BE "TRADITIONAL" IN NATURE AND ALL DETAILING SHALL PROMOTE THIS STYLE. BUILDING PROPORTIONS MUST BE COMPLEMENTARY TO THE VILLAGE CONCEPT GUIDELINES AND ALL ADJACENT BUILDINGS. THE MAIN ENTRANCE FOR EACH BUILDING WILL BE ORIENTED TO THE STREET WITH ALL SIGNAGE, ETC. SUPPORTING THAT ENTRANCE.

BUILDING ELEVATIONS FOR THE TOWNHOMES/CONDOMINIUMS LOCATED ON PARCELS E & F AS WELL AS FOR THE OFFICES AND HOTEL BUILDING LOCATED ON PARCEL A SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT DURING THE SITE PLAN APPROVAL PHASE. THE SCALE AND ORIENTATION OF THE TOWNHOMES/CONDOMINIUMS SHOULD COMPLEMENT THE SCALE OF THE SURROUNDING RESIDENTIAL. BUILDINGS. BUILDINGS WILL BE REQUIRED TO INCORPORATE BALCONIES, BAY WINDOWS, PORCHES AND OTHER ARCHITECTURAL ENHANCEMEN AS A WAY COF ADDRESSING THE PEDESTRIAN NATURE OF THE VILLAGE. FRONT DOORS SHOULD ORIENT TOWARD THE STREET, FACADES SHOULD BE VARIED WITH FREQUENT BUILDING ENTRIES AND WINDOWS.

AWNINGS ARRE ENCOURAGED AT THE STREET LEVEL, ESPECIALLY WHERE POSSIBLE TO ENHANCE ENTRANCES. MATERIAL SHALL BE IN CONFORMANCE WITH THE DVERALLL VILLAGE CONCEPT GUIDELINES. AWNINGS CAN NOT EXTEND MORE THAN ONE-HALF THE DISTANCE OF THE BUILD-TO LINE TO THE BACK OF CURB. WALL. MOUNTED SIGNAGE, NOT EXCEEDING 3" IN THICKNESS IS ALLOWED AT STREET LEVEL SQUARE FOOTAGE OF SUCH SIGNAGE IS CONTROLLED BY THE MECKLEENBURG COUNTY SIGN ORDINANCE AND THE VILLAGE CONCEPT PLAN. HOWEVER, SIGNAGE, NOT EXCEEDING 3 SQUARE FEET PER FACE, IS PERMITTED 1TO BE SUSPENDED PERPENDICULAR TO THE BUILDING, UNDER A CANOPY. SUSPENDED SIGNAGE MUST BE A MINIMUM OF 8 FEET ABOVE THE SIDEWALK. SSUSPENDED SIGNS MAY NOT BE ILLUMINATED.

TRASH ANDD/ OR DUMPSTER/COMPACTOR AND RECYCLING AREAS SHALL COMPLY WITH SECTION 12.403 OF THE CHARLOTTE-MECKLENBURG ZONING ORDINANCE. TRASH OR "DUMPSTER" PADS WILL BE SCREENED FROM VIEW USING MATERIALS SIMILAR TO THOSE USED ON THE RESPECTIVE BUILDING. WHERE JOIN'T COLLECTION POINTS ARE DEVELOPED, PADS SHALL BE SCREENED WITH BRICK ENCLOSURES. ALL ENCLOSURES WILL HAVE GATES THAT TOTALLY COONCEAL THE INTERIOR OF THE ENCLOSURE AND SHALL NOT BE LOCATED WITH 20-50 FEET OF THE SOUTHERN MOST PROPERTY LINE. INNOVATIVITEE PROVISIONS FOR COMMERCIAL CENTER DISTRICT, AS DISCUSSED UNDER SECTION 11.405 (3) OF THE CHARLOTTE-MECKLENBURG ZONING ORDINANCE, ARE TO BE USED FOR CROSSWALKS AND STREET CROSS-SECTIONS.

FIRE PROTECTION
FIRE HYDRAINTS WILL BE PROVIDED WITHIN THE LANDSCAPE SETBACK AREAS AS REQUIRED BY THE FIRE MARSHALL. FOR BUILDINGS ACCESSED THROUGH SCREENED PARKING LOTS, HYDRANTS MUST BE INSTALLED ADJACENT TO THE PARKING LOT AND EASILY ACCESSIBLE BY FIRE FIGHTING EQUIPMENT. HYDRANT LOCATIONS MUST BE APPROVED BY THE FIRE MARSHALL. AN ACCESS AGREEMENT SHALL BE ON FILE FOR ANY BUILDING SO PROTECTED. ROAD IMPROVEMENTS
LEFT TURN ILLANES SHALL BE CONSTRUCTED ON DEARMON ROAD AT THE NORTH SOUTH COLLECTOR STREET AND EXISTING PROSPERITY CHURCH ROAD AT THE EAST WEST COLLECTOR STREET.

PARCEL A
PARCEL "A" CONSTRUCTION IS A MAXIMUM 150 ROOM HOTEL LOCATED ADJACENT TO THE I-485 ACCESS RAMP, AND THREE ADDITIONAL OFFICE / RETAIL USE BUILDINGS WITH A MAXIMUM OF 80,000 SQUARE FEET UP TO FOUR STORIES IN HEIGHT. UP TO 60,000 SF OF THIS MAY BE OFFICE AND/OR RETAIL USE. BUILDINGS WILL BE ORIENTED TO THE BRIDGE CONNECTOR ROAD, THE ACCESS RAMP AND/OR COMMON OPEN SPACE AREAS ALL LINKED BY SIDEWALK CONNECTIONS THROUGH THE SITE AND TO THE ADJACENT GREENWAY. A CENTRALLY LOCATED PARKING LOT WILL BE REQUIRED TO PROVIDE THE REQUIRED NUMBER OF PARKING SPACES. PORTIONS OF THAT PARKING MAY HAVE TO BE MULTI-LEVEL, INCORPORATED INTO THE BUILDINGS. ACCESS TO THE PARCEL. WILL BE ON TWO SIDES WITH ACCESS FROM THE BRIDGE ROAD BEING RIGHT IN ONLY. THE COLLECTOR ROAD ACCESS WILL ALLOW TURNING MOVEMENTS I IN BOTH DIRECTIONS. ADDITIONALLY, A DRIVE THOUGH THE ADJACENT PARCEL F SHALL BE PROVIDED. PARCEL B PARCEL "B" IS LOCATED BETWEEN THE PROPOSED COLLECTOR ROAD AND THE ACCESS ROAD PARALLEL TO 1-485. THIS PARCEL HAS ACCESS FROM THREE SIDES. ACCESSS FROM THE PARALLEL ACCESS ROAD WILL BE RIGHT IN - RIGHT OUT ONLY. OTHER ENTRANCE/EXITS WILL ALLOW FOR ALL TURNING MOVEMENTS. CONSTRUCTION WILL INCLUDE UP TO 4 OFFICE BUILDINGS WITH A MAXIMUM OF 60,000 SQUARE FEET TOTAL FOR THE PARCEL BUILDINGS MUST BE TWO OR THREE STORIJES IN HEIGHT. BUILDING DESIGN SHOULD EMPHASIZE THE PARK ATMOSPHERE OF THE SQUARE, AS WELL AS THE PEDESTRIAN CHARACTER OF THE STREET DEVELOPMENT. BUILDING ORIENTATION WILL BE TO THE STREET, SOME OF THE PARKING WILL BE PROVIDED BY ON-STREET SPACES BUT THE MAJORITY OF THE PARKING WILL BE ON AN INTERNAL, SCREENED PARKING LOT. DEPENDING ON BUILDING DESIGN, A SURFACE LOT MAY BE ADEQUATE, BUT MULTI-LEVEL. PARKING MAY BE REQUIRED. MOLIT-LEVEL. PARKING MAY BE REQUIRED.

027-072-13, 027-072-14, 027-072-15

ORDER TO CREATE A MORE UNIFIED DESIGN OF SUCH PARCEL DUE TO REQUIRED REALIGNMENT OF INTERSTATE 485 AND THE 60' RIGHT-OF-WAY COLLECTOR ROAD, PARCEL "D" WAS INCORPORATED INTO PARCEL "E." SEE PARCEL "E" NOTES FOR DEVELOPMENT REQUIREMENTS.

PARCEL E
PARCEL "E" IS BORDERED BY THE PROFISED COLLECTOR ROAD AND THE DUKE POWER RIGHT-OF-WAY WITH EXISTING MULTI-FAMILY DEVELOPMENT TO THE
SOUTH. PLANNED CONSTRUCTION IS FOR TOWNHOMES OR CONDOMINIUMS, 16 UNITS PER ACRE. UNITS WILL MEET DEVELOPMENT GUIDELINES, WITH PARKING
INTERNAL FOR MORE INFORMATION OF THE GUIDELINES, SEE THE "PROSPERITY CHURCH ROAD VILLAGES" DOCUMENT FROM THE PLANNING COMMISSION.
PARKING WILL INCLUDE PARALLEL STREET PARKING AND AN INTERNAL LOT ACCESSIBLE TO EACH BUILDING. LANDSCAPE REQUIREMENTS AS WELL AS WALKWAY
REQUIREMENTS MUST BE ADHERED TOFOR THESE BUILDINGS. ADDITIONAL PARKING WILL BE LOCATED WITHIN THE DUKE POWER EASEMENT DRIVE LOOP. THE
REMAINING AREA IN THE DUKE POWERRIGHT-OF-WAY WILL BE RESERVED FOR PUBLIC OPEN SPACE AND SMALL MATURING TREES WILL CREATE A "VILLAGE

PARCEL "F" IS SIMILAR TO PARCEL "f" IN THAT IT IS ACCESSED FROM THE PROPOSED COLLECTOR ROAD. IT IS ALSO PROJECTED AS TOWNHOMES OR CONDOMINIUMS WITH AN ALLOWABLE ENSITY OF 16 UNITS PER ACRE. UNITS MUST MEET DEVELOPMENT CUIDELINES AS IN PARCEL "E" ABOVE. A NUMBER OF THE UNITS WILL BE LOCATED ADJACET TO THE PROPOSED COLLECTOR ROAD WITH THE BALANCE ACCESSED FROM AN INTERNAL ROAD NETWORK. A 30' NATURAL BUFFER WILL BE LOCATED ETWEEN THE DEVELOPMENT AND THE CREEK ON THE WEST SIDE OF THE PARCEL AND WILL BE PART OF PARCEL. "G". ALL DEVELOPMENT WILL BE ABOVE THE FOODPLAIN ELEVATION AND OUT OF THE FLOOD HAZARD AREA. ONE HALF ACRE SHOULD BE SET ASIDE FOR A PRIVATE RECREATIONAL AREA AT SOME LOCATON WITHIN THE PARCEL.

PARCEL G
PARCEL "G" WILL BE A PUBLIC RECEATIONAL AREA ALONG THE CREEKS BORDERING THE WESTERN BOUNDARY OF THE PROPERTY. IT WILL BE DEDICATED AND CONVEYED TO THE COUNTY AS A GEENWAY. IT WILL INCLUDE A 30' BUFFER BETWEEN PARCEL "F" AND THE EASTERLY MOST CREEK. A GREENWAY TRAIL SYSTEM WILL BE CONSTRUCTED AND CONNECTED TO THE DEVELOPMENT IN THE FORM ON 10' MIDE GRAVEL TRAILS THAT MEET THE MECKLENBURG COUNTY PARKS AND RECREATION DEPARTMENT STANDARDS. THE PETITIONER SHALL CONTROL AND TREAT THE DIFFERENCE IN STORM WATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE AND POST DEVELOPMENT RUNOFF CONDITIONS FOR THE 1—YEAR 24 HOUR STORM. RUNOFF DRAW DOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NOT MORE THAN 120 HOURS.

THE USE OF STRUCTURAL STORM MATER TREATMENT SYSTEMS (WET PONDS, EXTENDED DETENTION WETLANDS, BIO-RETENTION, ETC) SHALL BE INCORPORATED INTO THE SITE AND DESIGNED TO MAYE AN 85% AVERAGE ANNUAL REMOVAL FOR TOTAL SUSPENDED SOLIDS GENERATED FROM THIS DEVELOPMENT. A MAINTENANCE PLAN SHALL BE DEVELOPED TO ENSURE ADEQUATE LONG TERM OPERATION OF THE STRUCTURAL STORM WATER TREATMENT SYSTEMS. THE PETITIONER SHALL ABIDE BY THE S.W.I.M. STREAM BUFFER REGULATIONS WHERE APPLICABLE. STORM WATER DETENTION FACILIES ARE NOT ALLOWED IN REQUIRED SETBACKS AND BUFFERS.

THE PETITIONER SHALL CONTROLAND TREAT THE DIFFERENCE IN STORM WATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE- AND POST-DEVELOPMENT RUNOFF COIDITIONS FOR THE 1-YEAR 24 HOUR STORM. RUNOFF DRAW-DOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NO MORE THE USE OF STRUCTURAL STORN WATER TREATMENT SYSTEMS (WET PONDS, EXTENDED DETENTION WETLANDS, BIO-RETENTION, ETC.) SHALL BE INCORPORATED INTO THE SITE AND DESIGNED TOHAVE AN 85% AVERAGE ANNUAL REMOVAL FOR TOTAL SUSPENDED SOLIDS GENERATED FROM THE DEVELOPMENT. A MAINTENANCE PLAN SHALL BE YEVELOPED TO ENSURE ADEQUATE LONG—TERM OPERATION OF THE STRUCTURAL STORM WATER TREATMENT SYSTEMS.

C1 COVER SHEET

SITE PLAN

SCHEDULE OF DRAWINGS:

C2 EXISTING CONDITIONS

GRADING PLAN

SITE DETAILS

OVERALL SITE PLAN

REQUIRED PLANTING PLAN PHASE I EROSION CONTROL STORM DRAINAGE & EROSION CONTROL PLAN

C10 DRAINAGE AREA PLAN C11 EROSION CONTROL & STORM DRAINAGE DETAILS C12 STORM DRAINAGE DETAILS Revisions: C13 WATER & SANITARY SEWER PLAN .) 06/17/05 ADMINISTRATIVE SITE C14 WATER & SANITARY SEWER DETAILS

> ATTACHED TO ADMINISTRATIVE APPROVAL DATED: June 28 2005

16. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS FLOODWAY DISTRICT FRINGE BOUNDARY LINE OR FLOODWAY DISTRICT ENCROACHMENT BOUNDARY LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE MECKLENBURG COUNTY.

- 17. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION. 18. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST
- BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE. 19. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE
- MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL. 20. MECKLENBURG COUNTY HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM
- 21. NON-STANDARD ITEMS (I.e. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
- 22. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS. 23. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND / OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED
- R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN. 24. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL
- BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COST AND / OR ANY REPAIR COST CAUSED BY THE CONTRACTOR / DEVELOPER.
- 25. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED
- PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE INSPECTOR PRIOR TO PLACEMENT OF THE

MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

14' FROM BACK OF EXISTING CURB OR FUTURE CURB MIN. SIDE & REAR YARD: MAXIMUM BUIDLING HEIGHT: MAXIMUM FLOOR AREA RATIO: MAXIMUM BUILDING SEPARATION: PARKING PROVIDED: 253 REGULAR SPACES 8 HANDICAP (4 VAN) 40 COMPACT SPACES 16 ON-STREET

317 TOTAL

1 LOADING SPACE

CC-SPA

2005-01

4.41 AC..

SUITE 214 CHARLOTTE, NC 28208 704.343.0608 CONCORD ENGINEERING & SURVEYING, INC. 45 SPRING STREET SW CONCORD, NC 28025 704.786.5404

CONSULTANTS:

LANDSCAPE ARCHITECT:

CIVIL ENGINEER:

DEVELOPER: SOUTHERN HOLDINGS IV. LLC

704.548.0900

SUITE 214

704.343.0608

9823 WHITE CASCADE DR.

DESIGN RESOURCE GROUP, PA

DESIGN RESOURCE GROUP, PA

1230 WEST MOREHEAD STREET

1230 WEST MOREHEAD STREET

CHARLOTTE, NC 28269

CHARLOTTE, NC 28208

CHARLOTTE - MECKLENBURG PLANNING COMMISSION

SITE DATA: TAX PIARCEL NO:

ZONING PETION #

MIN. BIUILDING SETBACK:

ZONING:

SITE AREA:

INTER - OFFICE COMMUNICATION

Debra Campbell

June 28, 2005 181

TO: Katrina Young Interim Zoning Administrator

Planning Director

SUBJECT: Administrative Approval for Petition No. 2005-01 by BP Products North America, Inc.

Attached are revised plans for the above petition. The plans have been revised to shift 10,000 square feet of office space from parcel "A" to parcel "B" and to show a revised building layout for parcel "B". Since these changes do not alter the intent of the development and are minor, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of

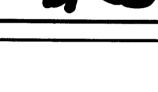
Note that all other ordinance requirements still apply.

Résource Group

1230 West Morehead Street, Suite 214 Charlotte, NC 28208 704.343.0608 fax 704.358.3093 www.drgrp.com · Landscape Architecture

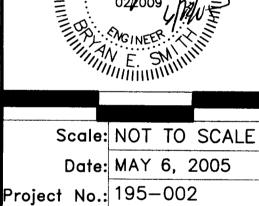
 Civil Engineering ·Land Planning

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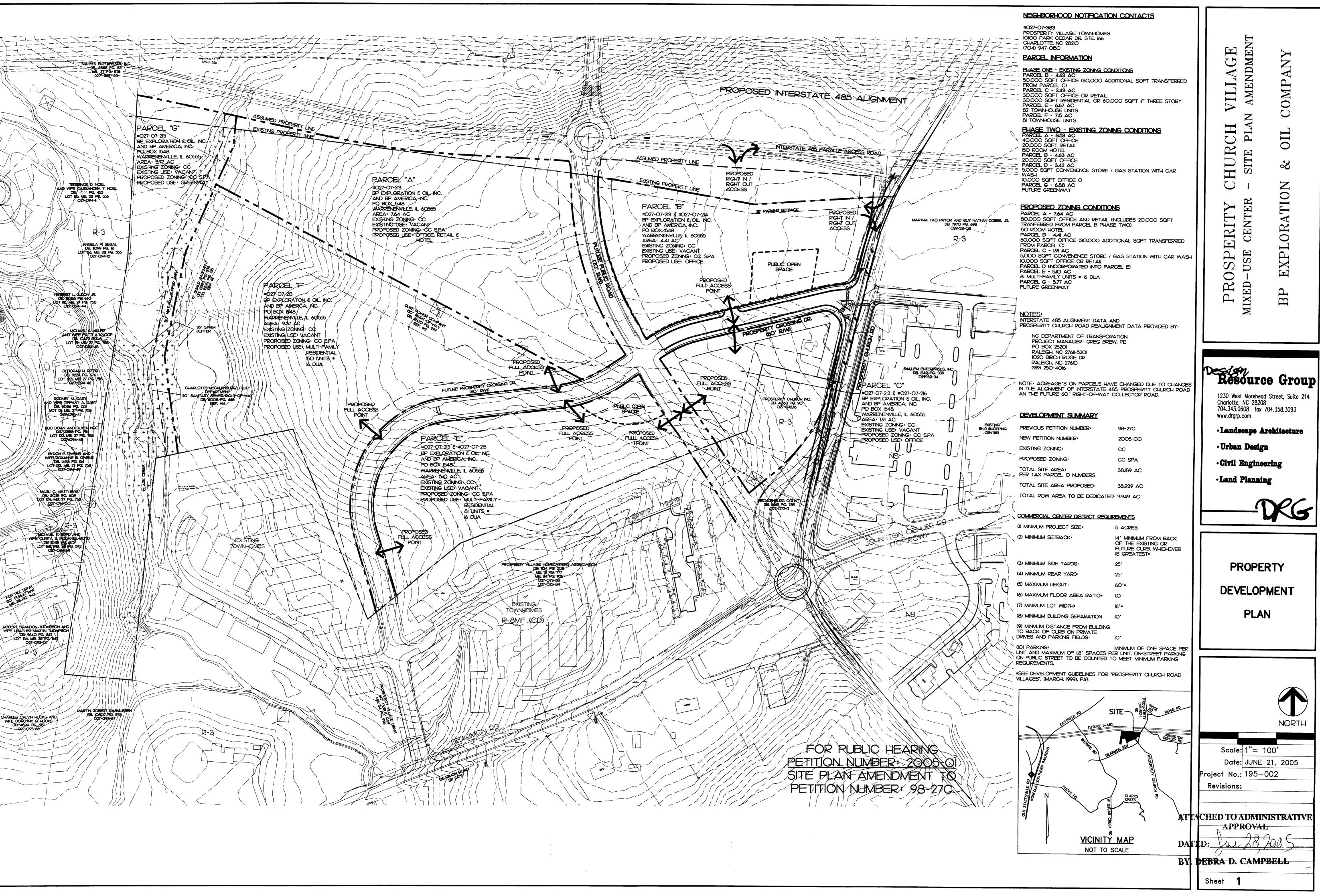
SHEET

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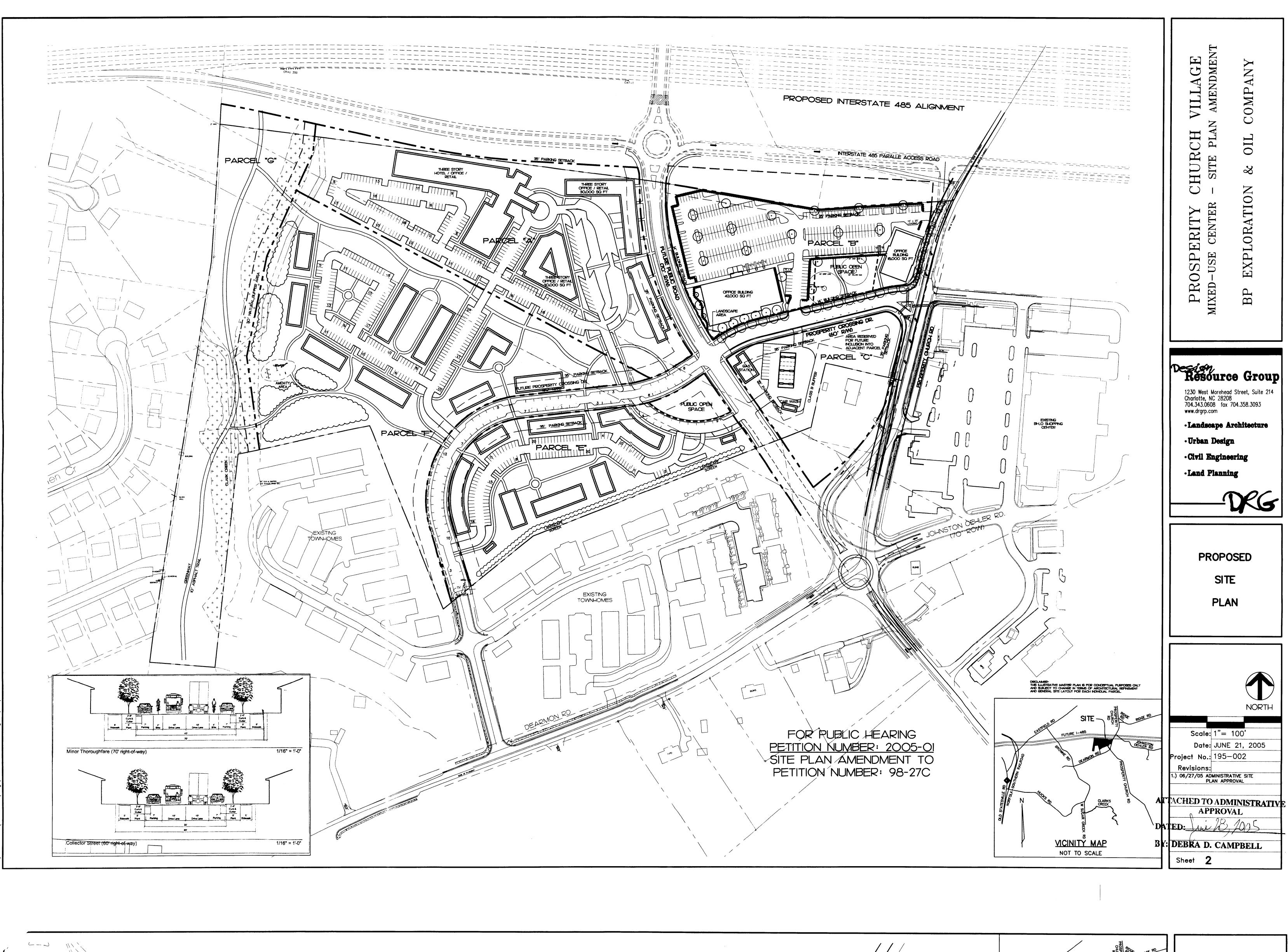


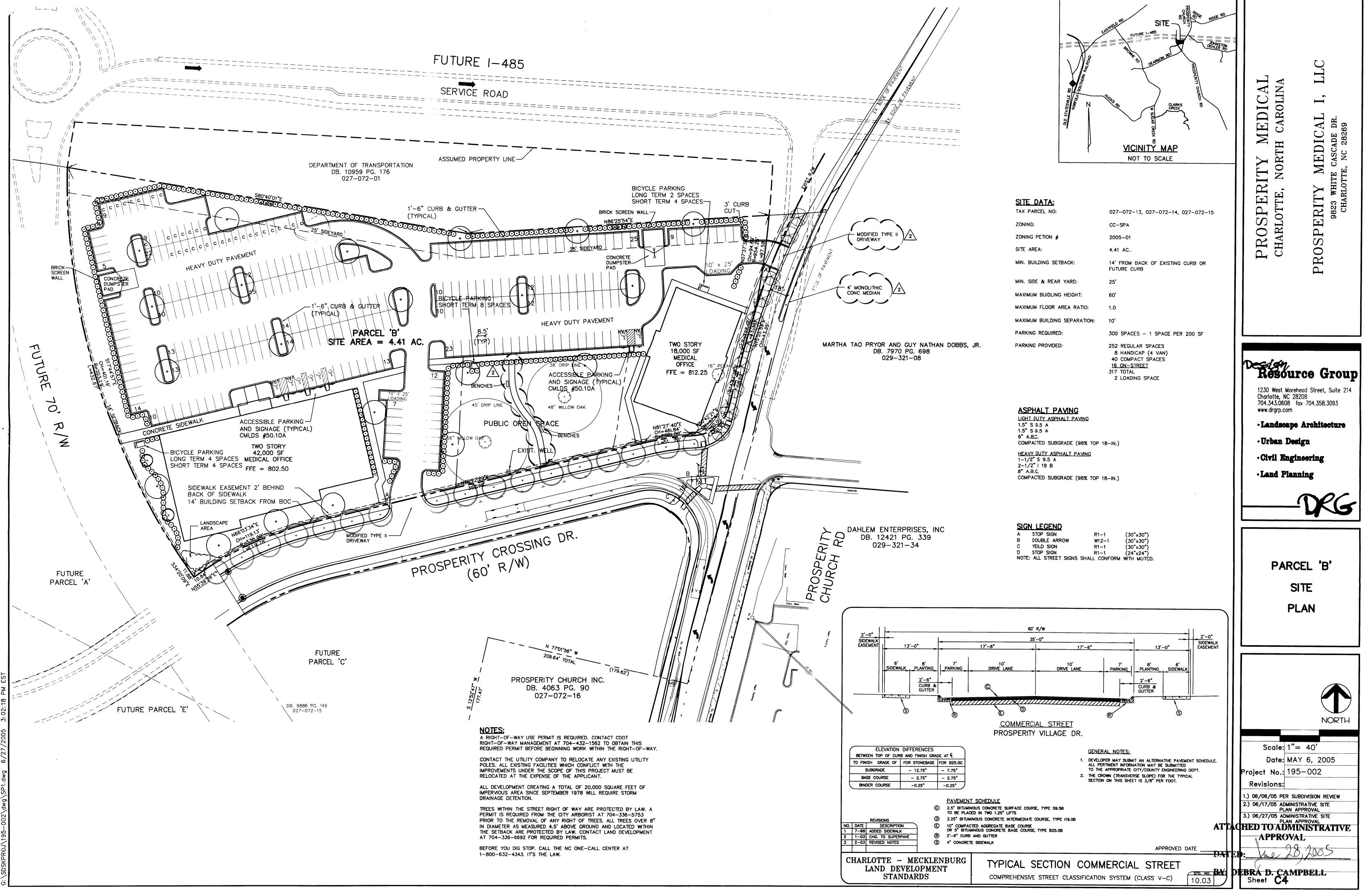
PLAN APPROVAL

BY: DEBRA D. CAMPBELL Sheet









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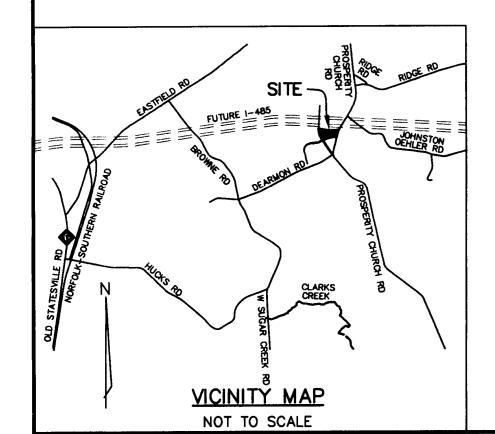
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PROSPERITY MEDICAL

CHARLOTTE, NORTH CAROLINA



PROSPERITY MEDICAL I, LLC

9823 WHITE CASCADE DR. CHARLOTTE, NC 28269

PHONE: 704.548.0900 FAX: 704.548.0907



SE OF THESE DEVELOPMENT CUIDELINES IS TO ESTABLISH THE OVERALL CHARACTER OF THE PROPERTY INCLUDED IN THE REZONING APPLICATION AND TO INSURE IT'S COMPATIBILITY WITH THE VILLAGE CONCEPT PLAN INSTITUTED BY THE CHARLOTTE-MECKLENBURG COUNTY PLANNING COMMISSION. ALL

ANTICIPATED THAT THIS WILL BE DEVELOPED PRIOR TO PARCELS "B" OR "C".

DEDICATION OF ROAD RIGHT-OF-WAY
THE MAIN ROADS, INDICATED ON THE DEVELOPMENT PLAN WILL BE DEDICATED AND CONVEYED TO THE CITY OF CHARLOTTE, MECKLENBURG COUNTY OR NCDOT
UPON CONSTRUCTION OF THE ROADWAYS. THE PETITIONER AGREES TO DEDICATE THE RIGHTS-OF-WAY SHOWN ON THE PROPERTY DEVELOPMENT PLAN AS FOLLOWS:
THE "BRIDGE ROAD" MINOR THOROUGHFARE BETWEEN I-485 AND PROSPERITY CHURCH ROAD
THE EXISTING PROSPERITY CHURCH ROAD
THE BROPOSED PUBLIC COLLECTOR ROAD

1. THE FIRST SECTION OF THE 60' ROW COLLECTOR ROAD FROM EXISTING PROSPERITY CHURCH ROAD TO THE FUTURE INTERSECTION OF THE 60' COLLECTOR

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1. THE FIRST SECTION OF THE 60' ROW COLLECTOR ROAD FROM EXISTING PROSPENITY CHURCH ROAD TO THE FUTURE INTERSECTION OF THE 60' COLLECTOR AND THE PROPOSED 70' PUBLIC ROAD BEFORE ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY FOR PARCEL B OR C.

2. THE SECOND SECTION OF THE 60' ROW FROM THE FUTURE INTERSECTION OF THE 80' COLLECTOR AND THE PROPOSED 70' PUBLIC ROAD TO THE

CONNECTION WITH PROSPERITY VILLAGE DRIVE BEFORE ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY FOR PARCEL A, E OR F.

3. THE FUTURE 70' RIGHT-OF-WAY PUBLIC ROAD SHALL BE CONSTRUCTED IN CONJUNCTION WITH PARCELS A, E AND F.

ALL INTERIOR THROUGH ROADWAYS SHALL BE CONSTRUCTED BY THE DEVELOPER IN CONJUNCTION WITH DEVELOPMENT OF THE PARCELS AND MUST BE DEDICATED THE NUMBER AND APPROXIMATE LOCATION OF THE PARCEL ACCESS POINTS ARE INDICATED ON THE SITE DEVELOPMENT PLAN. HOWEVER, INDIVIDUAL ACCESS MUST BE PERMITTED THROUGH THE MECKLENBURG COUNTY ENGINEERING OFFICE, COOT OR NCDOT. PARCEL "G" WILL BE DEDICATED AND CONVEYED TO MECKLENBURG COUNTY UPON COMPLETION OF THE ROAD NETWORK IN PARCELS "E" AND "F" OR UPON

REQUEST OF THE COUNTY TO THE PETITIONER. SAID DEDICATION MUST BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMITS IN PARCELS "A", "E", OR "F". THE DEDICATION WILL BE SUBJECT TO ANY EXISTING EASEMENTS OF RECORD AND THE RIGHT OF THE PETITIONER TO RESERVE ADDITIONAL EASEMENTS THAT MAY BE REASONABLY REQUIRED FOR DEVELOPMENT OF THIS SITE.

ALLOWABLE USES
ONLY THOSE USES SPECIFICALLY NOTED IN THE INDIVIDUAL PARCEL GUIDELINES FOR EACH PARCEL, WILL BE PERMITTED WITHIN THE RESPECTIVE PARCELS. BUILDING HEIGHTS
BUILDING HEIGHT WITHIN THIS DEVELOPMENT WILL BE LIMITED TO 60 FEET, EXCEPT FOR PARCEL E, WHICH WILL BE LIMITED TO 48'. DECORATIVE PARAPETS, FOR THE PURPOSE OF CONCEALING ROOF TOP EQUIPMENT ARE ALLOWED ABOVE THE HEIGHT LIMITATION BUT MAY NOT EXCEED THE LIMIT BY MORE THAN 5 FEET FOR MY BUILDING. GUIDELINES FOR INDIVIDUAL PARCELS SHALL DETERMINE MAXIMUM NUMBER OF STORIES FOR STRUCTURES WITHIN THOSE PARCELS.

STREET WALLS
THE FIRST FLOOR OF ALL BUILDINGS, INCLUDING STRUCTURED PARKING MUST BE DESIGNED TO ENCOURAGE AND COMPLEMENT PEDESTRIAN SCALE INTEREST AND ACTIVITY. WHERE EXPANSES OF BLANK WALL ARE NECESSARY, THEY MAY NOT EXCEED TWENTY FEET IN LENGTH. A BLANK WALL IS A FAÇADE WHICH DOES NOT ADD TO THE CHARACTER OF THE STREETSCAPE AND DOES NOT CONTAIN TRANSPARENT WINDOWS OR DOORS SUFFICIENT ORNAMENTATION, DECORATION OR ARTICULATION.

SEE "BUILDING DESIGN" REQUIREMENTS FOR OTHER ELEMENTS PERTAINING TO THE STREET WALLS AND BUILDING DESIGN. SETBACKS
STATED SETBACKS ARE FROM THE BACK OF CURB OF THE PROPOSED ROADWAYS. AS INDICATED ON THE SITE DEVELOPMENT PLAN, SETBACKS/BUILD—TO LINES ARE
14 FEET FROM BACK OF CURB, OR AT THE PROPERTY LINE, WHICHEVER IS GREATER. DOORS MAY NOT SWING INTO THE MINIMUM 14 FOOT SETBACK AREA.

STREET SCAPE REQUIREMENTS STREET TREES ARE REQUIRED IN ACCORDANCE WITH AN APPROVED LANDSCAPE PLAN AND THE "STREETSCAPE PLAN" FOR THE VILLAGE. IF A "STREETSCAPE PLAN" DOES NOT EXIST, THE MINIMUM REQUIREMENTS ARE AS FOLLOWS: LARGE MATURING TREE - ONE TREE PER 35 LINEAR FEET. THE MINIMUM CALIPER SHALL BE 2" MEASURED 6" ABOVE GROUND AT TIME OF PLANTING. SMALL MATURING TREE - ONE TREE PER 24 LINEAR FEET. THE MINIMUM CALIPER SHALL BE 2" MEASURED 6" ABOVE GROUND AT TIME OF PLANTING.

ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL GENERAL NOTES:

- 1. SURVEY INFORMATION OBTAINED FROM CONCORD ENGINEERING & SURVEYING, INC. 2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT
- 3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION. 4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR. 5. ALL ROAD IMPROVEMENTS AT PROSPERITY CHURCH RD TO BE COORDINATED WITH ENGINEERING DEPARTMENT
- PRIOR TO CONSTRUCTION. 8. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLD STD. 50.05 (9" SIGNS ONLY). 7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- 8. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR. 9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY
- 10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50 PERCENT SLOPE ON THE CURB. 11. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- 12. CURB AND GUTTER SHOWN ON PLANS ALONG PROSPERITY CHURCH RD MAY BE ADJUSTED BASED UPON STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED
- FIELD CONDITIONS. 13. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND / OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.

14. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE

- RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER. 15. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- 16. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION. 17. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST
- BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE. 18. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL. 19. NON-STANDARD ITEMS (i.e. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A
- RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. 20. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS. 21. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND / OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED
- R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN. 22. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COST AND / OR ANY REPAIR COST CAUSED BY THE CONTRACTOR / DEVELOPER.
- 23. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

THE PETITIONER AGREES TO WORK WITH THE CHARLOTTE AREA TRANSIT SYSTEM (CATS) IN PROVIDING A BUS SHELTER PAD, BUS PULL-OFF AREA AND PARKING SPACES AS IS REASONABLY ACHIEVABLE. ALL SIDEWALKS CONSTRUCTED ADJACENT TO THE STREETS WILL BE 6 FEET WIDE CONCRETE WITH TOOLED CONSTRUCTION JOINTS AT EVERY 8 FEET. AN 8 FOOT WIDE PLANTING STRIP WILL BE LEFT BETWEEN THE CURB AND THE SIDEWALK. SPECIAL TREATMENTS, I.E., EMBOSSED CONCRETE PATTERN, BRICK, ETC., WILL BE ALLOWED AT ROAD CROSSINGS BUT MUST BE APPROVED BY THE CHARLOTTE—MECKLENBURG PLANNING COMMISSION STAFF.

SIGNAGE
A MASTER SIGNAGE PROGRAM WILL BE DEVELOPED FOR THIS PROPERTY THAT WILL BE IN CONCERT WITH THAT DEVELOPED WITHIN THE VILLAGE CONCEPT. ALL
SIGNS MUST COMPLY WITH THE CHARLOTTE-MECKLENBURG SIGN ORDINANCE AND MUST BE PERMITTED ACCORDINGLY. POLE MOUNTED SIGNS WILL NOT BE ALLOWED, NOR WILL FLASHING SIGNS OF ANY NATURE. THE MAXIMUM HEIGHT OF GROUND MOUNTED/MONUMENT SIGNS WILL BE 5 FEET ABOVE THE AVERAGE GRADE AT EDGE OF RIGHT-OF-WAY, MAXIMUM SIZE OF SIGNAGE WILL BE 50 SQUARE FEET, EACH FACE. NO PERMANENT BUSINESS IDENTIFICATION SIGNS OR ADVERTISEMENTS WILL BE ALLOWED WITHIN THE 14 FOOT BUILDING SETBACK, EXCEPT AT DRIVEWAY ENTRANCES WHICH BISECT THE LANDSCAPE SETBACK AREA ANY SAID SIGNS MUST BE WITHIN 8 FEET OF THE DRIVEWAY CURBING, TEMPORARY PROJECT IDENTIFICATION SIGNS MUST BE LOCATED OUTSIDE OF THE

TEMPORARY CONSTRUCTIONS SIGNAGE CAN NOT BE LOCATED WITHIN THE REQUIRED SETBACK, AND MUST BE REMOVED NO LATER THAN 60 DAYS FOLLOWING THE RECEIPT OF THE CERTIFICATE OF OCCUPANCY FOR THE STRUCTURE ADDRESSED BY THE SIGNAGE. BUILDING IDENTIFICATION SIGNS WITHIN INTERIOR PARKING LOTS WILL BE ALLOWED AT THE WALKWAY LEADING TO THE BUILDING AT THE POINT THE WALKWAY EXITS THE PARKING LOT. SUCH SIGNAGE IS LIMITED TO 6 SQUARE FEET, EACH FACE, AND MUST BE INTERNALLY ILLUMINATED. SIGNAGE FOR PARCELS "E". AND "F" MEET REQUIREMENTS PER SECTION 13.109 (1)(C). LIGHTING
ALL STREET SIDE LIGHTING WILL BE IN ACCORDANCE WITH THE VILLAGE CONCEPT PLAN. ANY VARIATION TO THAT MUST BE APPROVED IN WRITING BY THE CHARLOTTE-MECKLENBURG PLANNING COMMISSION STAFF.

PEDESTRIAN SCALE LIGHTING WILL BE PROVIDED WHERE APPROPRIATE. (IE. ALONG SIDEWALKS) WHERE AREA LIGHTING FOR PARKING LOTS IS MOUNTED ON POLES, POLES CAN NOT EXCEED 16 FEET IN HEIGHT WITH ILLUMINATION LIMITED TO 400 WATTS PEI LIGHT. A MAXIMUM OF FOUR LIGHT HEADS CAN BE MOUNTED ON ONE POLE. ALL ILLUMINATION WILL BE WHITE IN COLOR; YELLOW OR OTHER TONES WILL NOT BE ALLOWED. DISPERSION OF AREA LIGHTING CAN NOT CARRY OVER TO ADJOINING PROPERTIES, UNLESS THE LIGHTING IS FOR A PARKING LOT THAT SERVES ALL PROPERTIES WITHIN A DESIGNATED PARCEL. AESTHETIC ILLUMINATION OF EXTERIOR WALL FACES WILL NOT BE ALLOWED, EXCEPT AT ENTRANCES AND CANOPIES OR DRIVE—THRU. SECURITY ILLUMINATION LESS THAN 3 FEET ABOVE GROUND WILL BE ALLOWED THROUGHOUT ALL PARKING LOTS OR ADJACENT TO BUILDINGS AS LONG AS THE LIGHT IS NOT DIRECTED UPWARDS THUS ILLUMINATING THE BUILDING. WALL—PAK LIGHTING IS NOT PERMITTED. LIGHTING LEVELS UNDER THE GAS STATION CANOPY ARE LIMITED TO 24 FOOTCANDLES.

STUCCO OR "SYNITHETIC STUCCO" MAY BE USED FOR THE WALL FRONTING THE STREET AS WELL AS ADJACENT SIDE WALLS. IN ADDITION, METAL FASCIA TRIM, NOT TO EXCCED 36" IN HEIGHT, WILL BE ALLOWED TO BE USED AS A HORIZONTAL FEATURE. THERE IS NO SPECIFIC STYLE REQUIRED BUT THE BUILDINGS MUST EBE "TRADITIONAL" IN NATURE AND ALL DETAILING SHALL PROMOTE THIS STYLE. BUILDING PROPORTIONS MUST BE COMPLEMENTARY TO THE VILLAGE CONGCEPT GUIDELINES AND ALL ADJACENT BUILDINGS. THE MAIN ENTRANCE FOR EACH BUILDING WILL BE ORIENTED TO THE STREET WITH ALL SIGNAGE, ETC. SUMPPORTING THAT ENTRANCE. BUILDING ELEVATIONS FOR THE TOWNHOMES/CONDOMINIUMS LOCATED ON PARCELS E & F AS WELL AS FOR THE OFFICES AND HOTEL BUILDING LOCATED ON PARCEL A SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE CHARLOTTE-MECKLEMBURG PLANNING DEPARTMENT DURING THE SITE PLAN APPROVAL PHASE:. THE SCALE AND ORIENTATION OF THE TOWNHOMES/CONDOMINIUMS SHOULD COMPLEMENT THE SCALE OF THE SURROUNDING RESIDENTIAL BUILDINGS. BUILDINGS WILL BE REQUIRED TO INCORPORATE BALCONIES, BAY WINDOWS, PORCHES AND OTHER ARCHITECTURAL ENHANCEMENTS AS A WAY OF ADDIRESSING THE PEDESTRIAN NATURE OF THE VILLAGE. FRONT DOORS SHOULD ORIENT TOWARD THE STREET, FACADES SHOULD BE VARIED WITH FREQUENT BUILDING ENTRIES AND WINDOWS.

AWNINGS ARE ENCOURAGED AT THE STREET LEVEL, ESPECIALLY WHERE POSSIBLE TO ENHANCE ENTRANCES. MATERIAL SHALL BE IN CONFORMANCE WITH THE OVERALL VILLAGE CONCEPT GUIDELINES. AWNINGS CAN NOT EXTEND MORE THAN ONE—HALF THE DISTANCE OF THE BUILD—TO LINE TO THE BACK OF CURB. WALL MOUNNTED SIGNAGE, NOT EXCEEDING 3" IN THICKNESS IS ALLOWED AT STREET LEVEL. SQUARE FOOTAGE OF SUCH SIGNAGE IS CONTROLLED BY THE MECKLENBURGG COUNTY SIGN ORDINANCE AND THE VILLAGE CONCEPT PLAN. HOWEVER, SIGNAGE, NOT EXCEEDING 3 SQUARE FEET PER FACE, IS PERMITTED TO BE: SUSPENDED PERPENDICULAR TO THE BUILDING, UNDER A CANOPY. SUSPENDED SIGNAGE MUST BE A MINIMUM OF 8 FEET ABOVE THE SUSPENDED SIGNAGE MUST BE A MINIMUM OF 8 FEET ABOVE THE

TRASH AND/ OR! DUMPSTER/COMPACTOR AND RECYCLING AREAS SHALL COMPLY WITH SECTION 12.403 OF THE CHARLOTTE-MECKLENBURG ZONING ORDINANCE. TRASSH OR "DUMPSTER" PADS WILL BE SCREENED FROM VIEW USING MATERIALS SIMILAR TO THOSE USED ON THE RESPECTIVE BUILDING. WHERE JOINT COLLECTION POINTS ARE DEVELOPED, PADS SHALL BE SCREENED WITH BRICK ENCLOSURES. ALL ENCLOSURES WILL HAVE GATES THAT TOTALLY CONCEAL. THE INTERIOR OF THE ENCLOSURE AND SHALL NOT BE LOCATED WITH 20-50 FEET OF THE SOUTHERN MOST PROPERTY LINE. INNOVATIVITE PROVISIONS FOR COMMERCIAL CENTER DISTRICT, AS DISCUSSED UNDER SECTION 11.405 (3) OF THE CHARLOTTE-MECKLENBURG ZONING ORDINANCE, ARE 1TO BE USED FOR CROSSWALKS AND STREET CROSS-SECTIONS.

FIRE PROTECTION
FIRE HYDRANTS WILL BE PROVIDED WITHIN THE LANDSCAPE SETBACK AREAS AS REQUIRED BY THE FIRE MARSHALL. FOR BUILDINGS ACCESSED THROUGH SCREENED PARKINNG LOTS, HYDRANTS MUST BE INSTALLED ADJACENT TO THE PARKING LOT AND EASILY ACCESSIBLE BY FIRE FIGHTING EQUIPMENT.
HYDRANT LOCATIONNS MUST BE APPROVED BY THE FIRE MARSHALL AN ACCESS AGREEMENT SHALL BE ON FILE FOR ANY BUILDING SO PROTECTED.

ROAD IMPROVEMENTS
LEFT TURN LANES; SHALL BE CONSTRUCTED ON DEARMON ROAD AT THE NORTH SOUTH COLLECTOR STREET AND EXISTING PROSPERITY CHURCH ROAD AT THE EAST WEST COLLECTOR STREET. PARCEL "A" CONSTRUCTION IS A MAXIMUM 150 ROOM HOTEL LOCATED ADJACENT TO THE 1-485 ACCESS RAMP, AND THREE ADDITIONAL OFFICE / RETAIL USE BUILDINGS WITH A MAXIMUM OF 80,000 SQUARE FEET UP TO FOUR STORIES IN HEIGHT. UP TO 60,000 SF OF THIS MAY BE OFFICE AND/OR RETAIL USE. BUILDINGS WILL BE ORIENTED TO THE BRIDGE CONNECTOR ROAD, THE ACCESS RAMP AND/ OR COMMON OPEN SPACE AREAS ALL LINKED BY SIDEWALK CONNECTIONS THROUGH THE SITE AND TO THE ADJACENT GREENWAY. A CENTRALLY LOCATED PARKING LOT WILL BE REQUIRED TO PROVIDE THE REQUIRED NUMBER? OF PARKING SPACES. PORTIONS OF THAT PARKING MAY HAVE TO BE MULTI-LEVEL, INCORPORATED INTO THE BUILDINGS. ACCESS TO THE PARCEL WILL BE ON TWO SIDES WITH ACCESS FROM THE BRIDGE ROAD BEING RIGHT IN ONLY. THE COLLECTOR ROAD ACCESS WILL ALLOW TURNING MOVEMENTS IN BOOTH DIRECTIONS. ADDITIONALLY, A DRIVE THOUGH THE ADJACENT PARCEL F SHALL BE PROVIDED. PARCEL "B" IS LOCATED BETWEEN THE PROPOSED COLLECTOR ROAD AND THE ACCESS ROAD PARALLEL TO 1-485. THIS PARCEL HAS ACCESS FROM THREE SIDES. ACCESS FROM THE PARALLEL ACCESS ROAD WILL BE RIGHT IN - RIGHT OUT ONLY. OTHER ENTRANCE/EXITS WILL ALLOW FOR ALL TURNING MOVEMENTS CONSTRUCTION WILL INCLUDE UP TO 4 OFFICE BUILDINGS WITH A MAXIMUM OF 80,000 SQUARE FEET TOTAL FOR THE PARCEL BUILDINGS MUST BE TWO OR THREE STORIES IN I HEIGHT. BUILDING DESIGN SHOULD EMPHASIZE THE PARK ATMOSPHERE OF THE SQUARE, AS WELL AS THE PEDESTRIAN CHARACTER OF THE STREET DEVELOPMENT. BUILDING ORIENTATION WILL BE TO THE STREET, SOME OF THE PARKING WILL BE PROVIDED BY ON-STREET SPACES BUT THE MAJORITY OF THE PARKING WILL BE ON AN INTERNAL, SCREENED PARKING LOT. DEPENDING ON BUILDING DESIGN, A SURFACE LOT MAY BE ADEQUATE, BUT MULTI-LEVEL PARKING MAY BE REQUIRED.

MULTI-LEVEL PARKING MAT BE REQUIRED.

8 HANDICAP (4 VAN)

40 COMPACT SPACES

2 LOADING SPACES

16 ON-STREET

A GAS STATION FACILITY WILL BE LOCATED AT THIS INTERSECTION. IT INCLUDES A 5,000 SQUARE FOOT ± CONVENIENCE STORE BUILDING A CAR WASH AND A

PARCEL "E" NOTES FOR DEVELOPMENT REQUIR. ENTS.

PARCEL E
PARCEL "E" IS BORDERED BY THE PROPOSED COLLECTOR ROAD AND THE DUKE POWER RIGHT-OF-WAY WITH EXISTING MULTI-FAMILY DEVELOPMENT TO THE
SOUTH. PLANNED CONSTRUCTION IS FOR TOWNHOMES OR CONDOMINIUMS, 16 UNITS PER ACRE. UNITS WILL MEET DEVELOPMENT GUIDELINES, WITH PARKING
INTERNAL FOR MORE INFORMATION ON THE GUIDELINES, SEE THE "PROSPERITY CHURCH ROAD VILLAGES" DOCUMENT FROM THE PLANNING COMMISSION.
PARKING WILL INCLUDE PARALLEL STREET PARING AND AN INTERNAL LOT ACCESSIBLE TO EACH BUILDING, LANDSCAPE REQUIREMENTS AS WELL AS WALKWAY
REQUIREMENTS MUST BE ADHERED TO FOR THESE BUILDINGS. ADDITIONAL PARKING WILL BE LOCATED WITHIN THE DUKE POWER EASEMENT DRIVE LOOP. THE
REMAINING AREA IN THE DUKE POWER RIGHT-OF-WAY WILL BE RESERVED FOR PUBLIC OPEN SPACE AND SMALL MATURING TREES WILL CREATE A "VILLAGE PARCEL "F" IS SIMILAR TO PARCEL "E" IN THAT IT IS ACCESSED FROM THE PROPOSED COLLECTOR ROAD. IT IS ALSO PROJECTED AS TOWNHOMES OR

CONDOMINIUMS WITH AN ALLOWABLE DENSITY OF 18 UNITS PER ACRE. UNITS WILST MEET DEVELOPMENT GUIDELINES AS IN PARCEL "E" ABOVE. A NUMBER OF THE UNITS WIL BE LOCATED ADJACENT TO THE PROPOSED COLLECTOR ROAD WITH THE BALANCE ACCESSED FROM AN INTERNAL ROAD NETWORK, A 30' NATURAL BUFFER WILL BE LOCATED BETWEEN THE DEVELOPMENT AND THE CREEK ON THE WEST SIDE OF THE PARCEL AND WILL BE PART OF PARCEL "G". ALD DEVELOPMENT WILL BE ABOVE THE FLOODPLAIN ELEVATION AND OUT OF THE FLOOD HAZARD AREA. ONE HALF ACRE SHOULD BE SET ASIDE FOR A PRIVATE RECREATIONAL AREA AT SOME LOCATION WITHIN THE PARCEL. PARCEL G
PARCEL "G" WILL BE A PUBLIC RECREATIONAL AREA ALONG THE CREEKS BORDERING THE WESTERN BOUNDARY OF THE PROPERTY. IT WILL BE DEDICATED AND
CONVEYED TO THE COUNTY AS A GREENWAY. IT WILL INCLUDE A 30' BUFFER BETWEEN PARCEL "F" AND THE EASTERLY MOST CREEK. A GREENWAY TRAIL
SYSTEM WILL BE CONSTRUCTED AND CONNECTED TO THE DEVELOPMENT IN THE FORM ON 10' MODE GRAVEL TRAILS THAT MEET THE MECKLENBURG COUNTY

THE PETITIONER SHALL CONTROL AND TREAT THE DIFFERENCE IN STORM WATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE AND POST DEVELOPMENT RUNOFF CONDITIONS FOR THE 1-YEAR 24 HOUR STORM. RUNOFF DRAW DOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NOT MORE THAN

THE USE OF STRUCTURAL STORM WATER TREATMENT SYSTEMS (WET PONDS, EXTENDED DETENTION WETLANDS, BIO-RETENTION, ETC) SHALL BE INCORPORATED INTO THE SITE AND DESIGNED TO HAVE AN 85% AVERAGE ANNUAL REMOVAL FOR TOTAL SUSPENDED SOLIDS GENERATED FROM THIS DEVELOPMENT. A MAINTENANCE PLAN SHALL BE DEVELOPED TO ENSURE ADEQUATE LONG TERM OPERATION OF THE STRUCTURAL STORM WATER TREATMENT SYSTEMS. THE PETITIONER SHALL ABIDE BY THE S.W.I.M. STREAM BUFFER REGULATIONS WHERE APPLICABLE. STORM WATER DETENTION FACILITIES ARE NOT ALLOWED IN REQUIRED SETBACKS AND BUFFERS. THE PETITIONER SHALL CONTROL AND TREAT THE DIFFERENCE IN STORM WATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE- AND POST-DEVELOPMENT RUNOFF CONDITIONS FOR THE 1-YEAR 24 HOUR STORM. RUNOFF DRAW-DOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NO MORE

COVER SHEET

SITE DATTA: TAX PARCEEL NO:

ZONING:

027-072-13, 027-072-14, 027-072-15 CC-SPA ZONING PEETION # 2005-01 SITE AREA: 4.41 AC...

MIN. BUILDDING SETBACK: 14' FROM BACK OF EXISTING CURB OR **FUTURE CURB**

MIN. SIDE & REAR YARD: MAXIMUM EBUIDLING HEIGHT:

MAXIMUM FFLOOR AREA RATIO: MAXIMUM EBUILDING SEPARATION: PARKING PPROVIDED: 251 REGULAR SPACES DEVELOPER: SOUTHERN HOLDINGS IV, LLC 9823 WHITE CASCADE DR. CHARLOTTE, NC 28269 704.548.0900 LANDSCAPE ARCHITECT:

CONSULTANTS:

DESIGN RESOURCE GROUP, PA 1230 WEST MOREHEAD STREET SUITE 214 CHARLOTTE, NC 28208 704.343.0608

CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA 1230 WEST MOREHEAD STREET SUITE 214 CHARLOTTE, NC 28208 704.343.0608

704.786.5404

SURVEYOR: CONCORD ENGINEERING & SURVEYING, INC.

45 SPRING STREET SW

CONCORD, NC 28025

ATTACHED TO ADMINISTRATIV

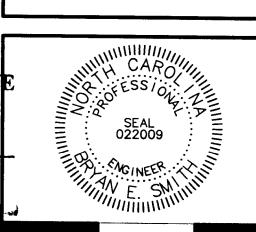
SCHEDULE OF DRAWINGS:

APPROVAL EXISTING CONDITIONS OVERALL SITE PLANED: 35000 L SITE PLAN

GRADING PLABY: DEBRA D. CAMPBELL REQUIRED PLANTING PLAN C7 SITE DETAILS PHASE I EROSION CONTROL

STORM DRAINAGE & EROSION CONTROL PLAN C10 DRAINAGE AREA PLAN EROSION CONTROL & STORM DRAINAGE DETAILS C12 STORM DRAINAGE DETAILS

C13 WATER & SANITARY SEWER PLAN C14 WATER & SANITARY SEWER DETAILS



Scale: NOT TO SCALE Date: MAY 6, 2005 Project No.: 195-002 Revisions: 1.) 06/17/05 ADMINISTRATIVE SITE PLAN APPROVAL 2.) 07/15/05 ADMINISTRATIVE SITE PLAN APPROVAL

Sheet

TO: Katrina Young

Interim Zoning Administrator

INTER - OFFICE COMMUNICATION

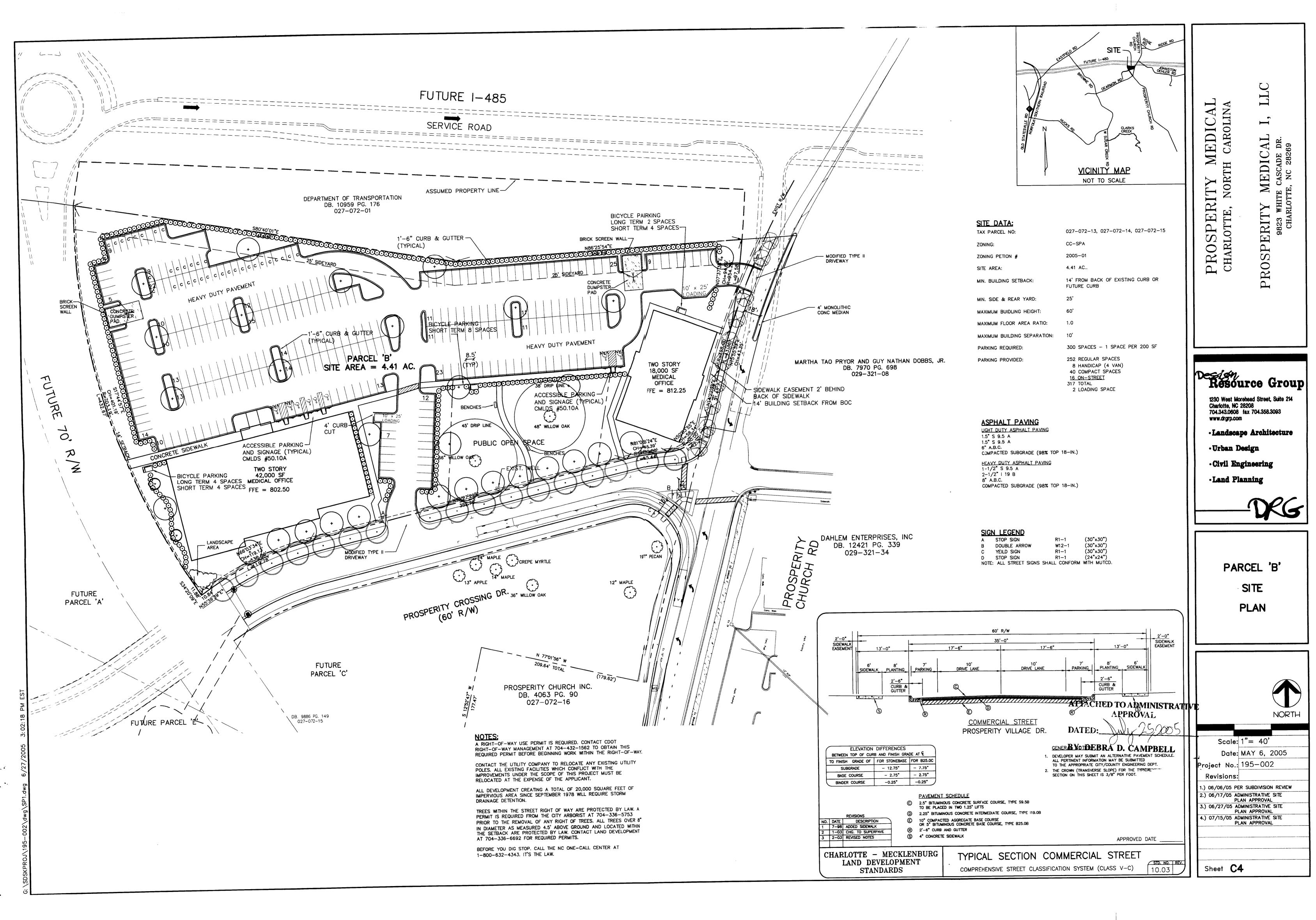
July 25, 2005 Debra Campbell

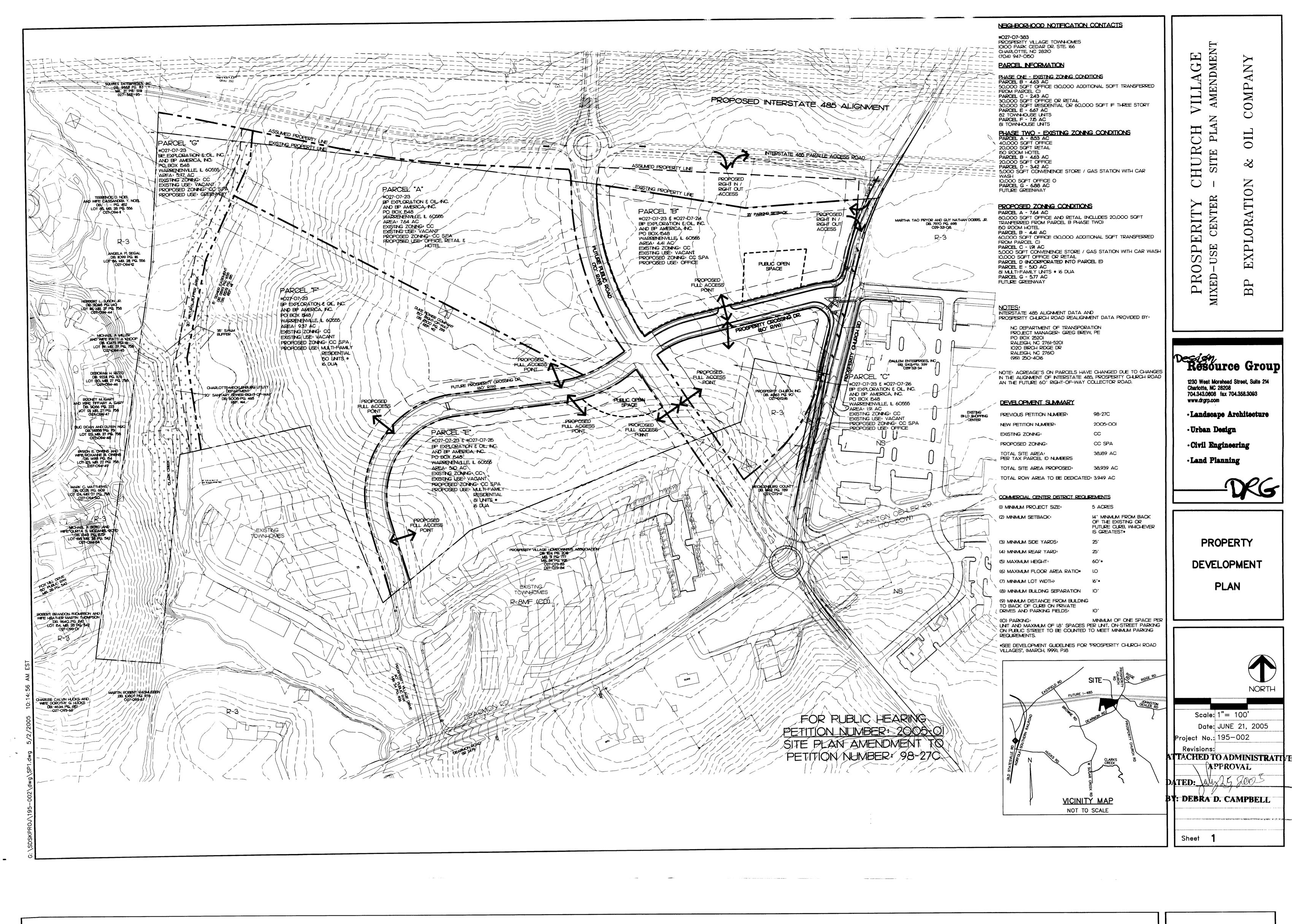
SUBJECT: Administrative Approval for Petition No. 2005-01 by BP Products North America, Inc.

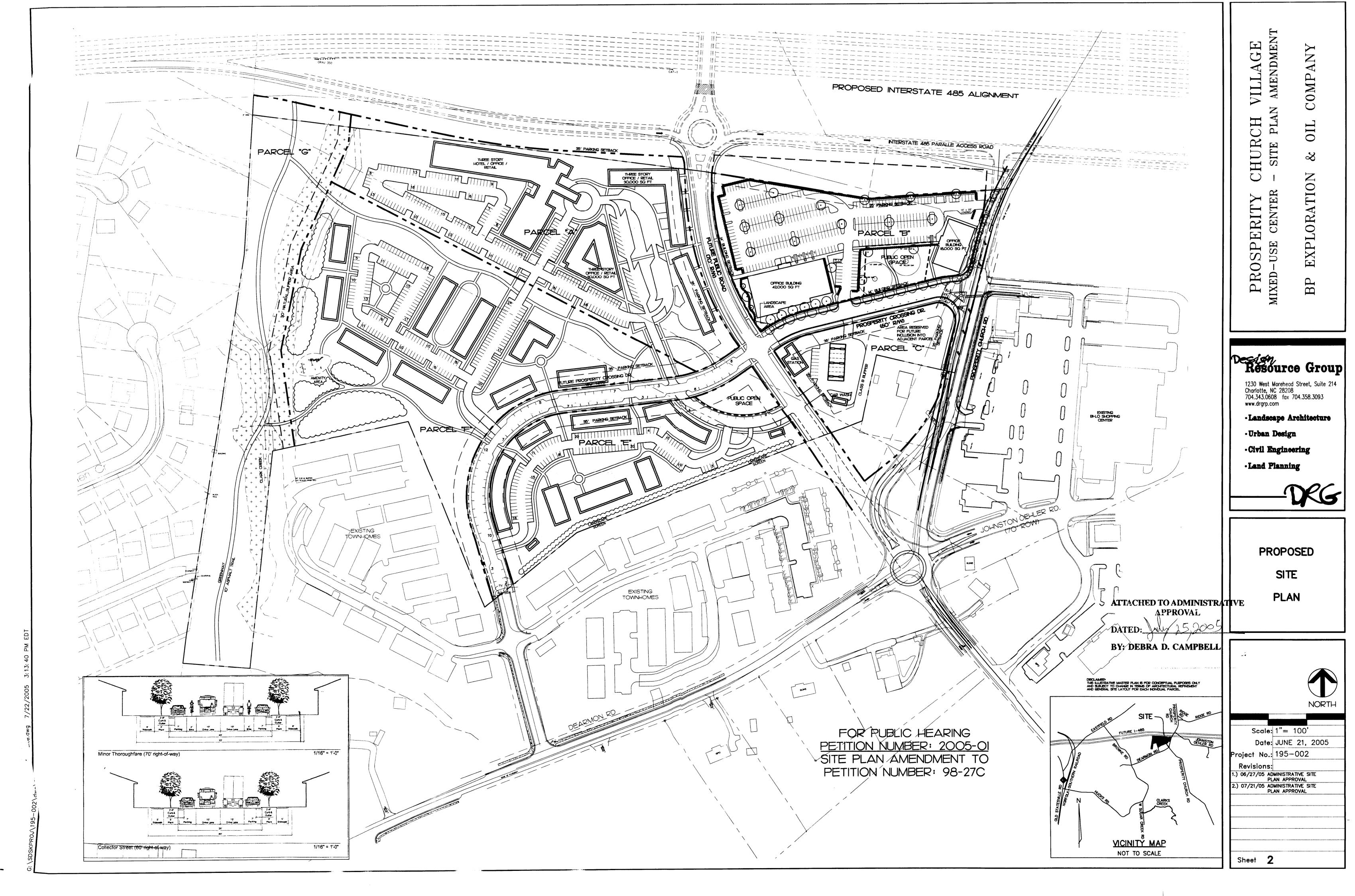
Attached are revised plans for the above petition. The plans have been revised to clarify the setbacks and phase the roadway improvements. Since these changes do not alter the intent of the development and are minor, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of occupancy. Note that all other ordinance requirements still apply.

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

Planning Director







CHARLOTTE, NORTH CAROLINA

PROSPERITY MEDICAL I, LLC

9823 WHITE CASCADE DR. CHARLOTTE, NC 28269

PHONE: 704.548.0900 FAX: 704.548.0907

SITE DATA:

TAX PARCEL NO:

ZONING PETION #

MIN. BUILDING SETBACK:

MIN. SIDE & REAR YARD:

MAXIMUM BUIDLING HEIGHT:

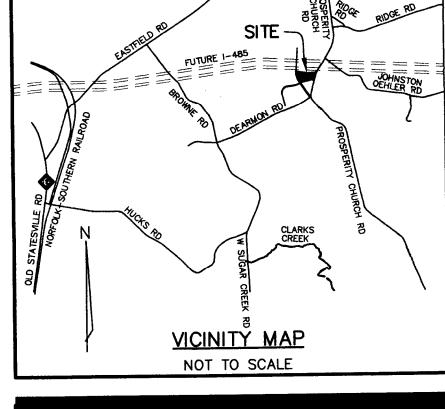
PARKING PROVIDED:

MAXIMUM FLOOR AREA RATIO:

MAXIMUM BUILDING SEPARATION:

SITE AREA:





GENERAL
THE PURPOSE OF THESE DEVELOPMENT GUIDELINES IS TO ESTABLISH THE OVERALL CHARACTER OF THE PROPERTY INCLUDED IN THE REZONING APPLICATION AND
TO INSURE IT'S COMPATIBILITY WITH THE VILLAGE CONCEPT PLAN INSTITUTED BY THE CHARLOTTE—MECKLENBURG COUNTY PLANNING COMMISSION. ALL
CONSTRUCTION WITHIN THE "DEVELOPMENT" MUST MEET THE CRITERIA SET FORTH IN THESE GUIDELINES, AND THOSE ADOPTED BY THE CHARLOTTE—MECKLENBURG
PLANNING COMMISSION. EACH BUILDING PERMIT APPLICATION MUST BE APPROVED BY PLANNING COMMISSION STAFF. THESE DEVELOPMENT GUIDELINES AND THE
PLANNING COMMISSION. EACH BUILDING PERMIT APPLICATION MUST BE APPROVED BY THE STAFF MICH. EVALUATING THE BUILDING DESIGN FOR COMPLIANCE. THE DEVELOPMENT TIMING OF THE OFFICE COMPONENT OF PARCEL "A" WILL BE MARKET DRIVEN AND DEVELOPED AS THE NEED ARISES FOR THIS AREA. IT IS NOT NO SERVICE OR LOADING AREA MAY BE ORIENTED TOWARDS THE STREET FROM WHICH THE REDUCED SETBACK WILL OCCUR. ANTICIPATED THAT THIS WILL BE DEVELOPED PRIOR TO PARCELS "B" OR "C". DEDICATION OF ROAD RIGHT-OF-WAY
THE MAIN ROADS, INDICATED ON THE DEVELOPMENT PLAN WILL BE DEDICATED AND CONVEYED TO THE CITY OF CHARLOTTE, MECKLENBURG COUNTY OR NCDOT
THE MAIN ROADS, INDICATED ON THE DEVELOPMENT PLAN AS FOLLOWS:
UPON CONSTRUCTION OF THE ROADWAYS. THE PETITIONER AGREES TO DEDICATE THE RIGHTS-OF-WAY SHOWN ON THE PROPERTY DEVELOPMENT PLAN AS FOLLOWS: UPON CONSTRUCTION OF THE ROADWAYS. THE PETITIONER AGREES TO DEDICATE THE RIGHTS—OF—WAY SHOWN ON THE PROPERTY DEVELOPMENT PLAN AS FOLLOWS:

THE "BRIDGE ROAD" MINOR THOROUGHFARE BETWEEN I—485 AND PROSPERITY CHURCH ROAD

THE EXISTING PROSPERITY CHURCH ROAD

THE PROPOSED PUBLIC COLLECTOR ROADS

1. THE FIRST SECTION OF THE 60' ROW COLLECTOR ROAD FROM EXISTING PROSPERITY CHURCH ROAD TO THE FUTURE INTERSECTION OF THE 60' COLLECTOR

AND THE PROPOSED 70' PUBLIC ROAD BEFORE ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY FOR PARCEL B OR C.

2. THE SECOND SECTION OF THE 60' ROW FROM THE FUTURE INTERSECTION OF THE 60' COLLECTOR AND THE PROPOSED 70' PUBLIC ROAD TO THE

CONNECTION WITH PROSPERITY VILLAGE DRIVE BEFORE ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY FOR PARCEL A, E OR F.

3. THE FUTURE 70' RIGHT—OF—WAY PUBLIC ROAD SHALL BE CONSTRUCTED IN CONJUNCTION WITH PARCELS A, E AND F.

ALL INTERIOR THROUGH ROADWAYS SHALL BE CONSTRUCTED BY THE DEVELOPER WY CONJUNCTION WITH DEVELOPMENT OF THE PARCELS AND MUST BE DEDICATED

TO NCDOT OR THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDDT). SIGNAGE
A MASTER SIGNAGE PROGRAM WILL BE DEVELOPED FOR THIS PROPERTY THAT WILL BE IN CONCERT WITH THAT DEVELOPED WITHIN THE VILLAGE CONCEPT. ALL SIGNS MUST COMPLY WITH THE CHARLOTTE-MECKLENBURG SIGN ORDINANCE AND MUST BE PERMITTED ACCORDINGLY. POLE MOUNTED SIGNS WILL NOT BE ALLOWED, NOR WILL FLASHING SIGNS OF ANY NATURE. THE MAXIMUM HEIGHT OF GROUND MOUNTED/MONUMENT SIGNS WILL BE 5 FEET ABOVE THE AVERAGE GRADE AT EDGE OF RIGHT-OF-WAY. MAXIMUM SIZE OF SIGNAGE WILL BE 50 SQUARE FEET, EACH FACE. NO PERMANENT BUSINESS IDENTIFICATION SIGNS OR ADVERTISEMENTS WILL BE ALLOWED WITHIN THE 14 FOOT BUILDING SETBACK, EXCEPT AT DRIVEWAY ENTRANCES WHICH BISECT THE LANDSCAPE SETBACK AREA. ANY SAID SIGNS MUST BE WITHIN 6 FEET OF THE DRIVEWAY CURBING. TEMPORARY PROJECT IDENTIFICATION SIGNS MUST BE LOCATED OUTSIDE OF THE REQUIRED SETBACK STATED ABOVE. THE NUMBER AND APPROXIMATE LOCATION OF THE PARCEL ACCESS POINTS ARE INDICATED ON THE SITE DEVELOPMENT PLAN. HOWEVER, INDIVIDUAL ACCESS MUST BE PERMITTED THROUGH THE MECKLENBURG COUNTY ENGINEERING OFFICE, CDOT OR NCDOT. PARCEL "G" WILL BE DEDICATED AND CONVEYED TO MECKLENBURG COUNTY UPON COMPLETION OF THE ROAD NETWORK IN PARCELS "E" AND "F" OR UPON

REQUEST OF THE COUNTY TO THE PETITIONER. SAID DEDICATION MUST BE COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMITS IN PARCELS "A", "E", OR "F", THE DEDICATION WILL BE SUBJECT TO ANY EXISTING EASEMENTS OF RECORD AND THE RIGHT OF THE PETITIONER TO RESERVE ADDITIONAL EASEMENTS THAT MAY BE REASONABLY REQUIRED FOR DEVELOPMENT OF THIS SITE. ALLOWABLE USES
ONLY THOSE USES SPECIFICALLY NOTED IN THE INDIVIDUAL PARCEL GUIDELINES FOR EACH PARCEL, WILL BE PERMITTED WITHIN THE RESPECTIVE PARCELS.

LARGE MATURING TREE — ONE TREE PER 35 LINEAR FEET. THE MINIMUM CALIPER SHALL BE 2" MEASURED 6" ABOVE GROUND AT TIME OF PLANTING.

SMALL MATURING TREE — ONE TREE PER 24 LINEAR FEET. THE MINIMUM CALIPER SHALL BE 2" MEASURED 6" ABOVE GROUND AT TIME OF PLANTING.

ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL

- 1. SURVEY INFORMATION OBTAINED FROM CONCORD ENGINEERING & SURVEYING, INC. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT RUILDING DIMENSIONS.
- 3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION. 4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR. 5. ALL ROAD IMPROVEMENTS AT PROSPERITY CHURCH RD TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. 8. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR. 9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD

6. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLD STD. 50.05 (9" SIGNS ONLY).

- CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY 10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50 PERCENT SLOPE ON THE CURB. 11. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED
- 12. CURB AND GUTTER SHOWN ON PLANS ALONG PROSPERITY CHURCH RD MAY BE ADJUSTED BASED UPON STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED
- 13. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND / OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- 14. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER. 15. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.

STUCCO OR "SYNIHETICSTUCCO MAY BE USED FOR THE WALL FRONTING THE STREET AS WELL AS ADJACENT SIDE WALLS. IN ADDITION, METAL FASC TRIM, NOT TO EXCRED 3" IN HEIGHT, WILL BE ALLOWED TO BE USED AS A HORIZONTAL FEATURE. THERE IS NO SPECIFIC STYLE REQUIRED BUT THE BUILDINGS MUST BE "TROITIONAL" IN NATURE AND ALL DETAILING SHALL PROMOTE THIS STYLE. BUILDING PROPORTIONS MUST BE COMPLEMENTARY TO THE VILLAGE CONCEPT WIDELINES AND ALL ADJACENT BUILDINGS. THE MAIN ENTRANCE FOR EACH BUILDING WILL BE ORIENTED TO THE STREET WITH A SIGNAGE, ETC. SUPPORTING THAT ENTRANCE. ARCHITECTURALLY ARTICULATED FAÇADE. CARS ON ALL LEVELS OF THE PARKING FACILITY MUST BE SCREENED FROM VIEW FROM THE STREET OTHERING DECORATIVE ELEMENTS SUCH AS GRILL WORK OR LOUVERS. IN NO INSTANCE WILL CABLING ALONE BE SUFFICIENT TO MEET WITH SCREENING REQUIREMENTS. AWNINGS ARE ENCOURAGED AT THE STREET LEVEL, ESPECIALLY WHERE POSSIBLE TO ENHANCE ENTRANCES, MATERIAL SHALL BE IN CONFORMANCE WITH THE OVERALL VILLAGE CONCEPT GUIDELINES, AWNINGS CAN NOT EXTEND MORE THAN ONE-HALF THE DISTANCE OF THE BUILD-TO LINE TO THE BACK OF CURB. WALL MOUNTED SGNAGE, NOT EXCEEDING 3" IN THICKNESS IS ALLOWED AT STREET LEVEL SQUARE FOOTAGE OF SUCH SIGNAGE IS CONTROLLED BY THE MECKLENBURG COUNTY SIGN ORDINANCE AND THE VILLAGE CONCEPT PLAN. HOWEVER, SIGNAGE, NOT EXCEEDING 3 SQUARE FEET PER FACE, IS PERMITTED TO BE SUSPENDED PERPENDICULAR TO THE BUILDING, UNDER A CANOPY. SUSPENDED SIGNAGE MUST BE A MINIMUM OF 8 FEET ABOVE THE

BIKE RACKS WILL BE PROVIDED AT THE FOLLOWING RATE: 1 BIKE SPACE PER 20 PARKING SPACES AT THE OFFICE AND COMMERCIAL FACILITIES. THE PETITIONER AGREES TO WORK WITH THE CHARLOTTE AREA TRANSIT SYSTEM (CATS) IN PROVIDING A BUS SHELTER PAD, BUS PULL-OFF AREA AND PARKING SPACES AS IS REASONABLY ACHIEVABLE.

SIDEWALKS

ALL SIDEWALKS CONSTRUCTED ADJACENT TO THE STREETS WILL BE 6 FEET WIDE CONCRETE WITH TOOLED CONSTRUCTION JOINTS AT EVERY 8 FEET. AN 8 ALL SIDEWALKS CONSTRUCTED ADJACENT TO THE CURB AND THE SIDEWALK. SPECIAL TREATMENTS, I.E., EMBOSSED CONCRETE PATTERN, BRICK, ETC., WILL BE ALLOWED AT ROAD CROSSINGS BUT MUST BE APPROVED BY THE CHARLOTTE—MECKLENBURG PLANNING COMMISSION STAFF.

TEMPORARY CONSTRUCTIONS SIGNAGE CAN NOT BE LOCATED WITHIN THE REQUIRED SETBACK, AND MUST BE REMOVED NO LATER THAN 60 DAYS FOLLOWING THE RECEIPT OF THE CERTIFICATE OF OCCUPANCY FOR THE STRUCTURE ADDRESSED BY THE SIGNAGE. BUILDING IDENTIFICATION SIGNS WITHIN INTERIOR PARKING LOTS WILL BE ALLOWED AT THE WALKWAY LEADING TO THE BUILDING AT THE POINT THE WALKWAY EXITS THE PARKING LOT. SUCH SIGNAGE IS LIMITED TO 6 SQUARE FEET, EACH FACE, AND MUST BE INTERNALLY ILLUMINATED. SIGNAGE FOR PARCELS "E", AND "F" MEET REQUIREMENTS PER SECTION 13.109 (1)(C).

16. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO

ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.

BEFORE INSTALLATION.

MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.

AND / OR ANY REPAIR COST CAUSED BY THE CONTRACTOR / DEVELOPER.

MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

17. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST

18. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE

RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION

21. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND / OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE

OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED

704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL

BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COST

PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE INSPECTOR PRIOR TO ANY BACKFILL BEING

23. HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED

PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE INSPECTOR PRIOR TO PLACEMENT OF THE

19. NON-STANDARD ITEMS (i.e. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A

20. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.

R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.

22. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORATION (GUS JORDI,

BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN

FIRE PROTECTION
FIRE HYDRANTS WILL BE PROVIDED WITHIN THE LANDSCAPE SETBACK AREAS AS REQUIRED BY THE FIRE MARSHALL. FOR BUILDINGS ACCESSED THROUGH SCREENED PARKING LOTS, HYDRANTS MUST BE INSTALLED ADJACENT TO THE PARKING LOT AND EASILY ACCESSIBLE BY FIRE FIGHTING EQUIPMENT. HYDRANT LOCATIONS MUST BE APPROVED BY THE FIRE MARSHALL AN ACCESS AGREEMENT SHALL BE ON FILE FOR ANY BUILDING SO PROTECTED. LEFT TURN LANES; SHALL BE CONSTRUCTED ON DEARMON ROAD AT THE NORTH SOUTH COLLECTOR STREET AND EXISTING PROSPERITY CHURCH ROAD AT THE EAST WEST COLLECTOR STREET. PARCEL "A" CONSTRUCTION IS A MAXIMUM 150 ROOM HOTEL LOCATED ADJACENT TO THE 1-485 ACCESS RAMP, AND THREE ADDITIONAL OFFICE / RETAIL A BLIKE WILL SA FADARE WIRD DESS NOT ADD TO THE CHARACTER OF THE STREET COATED THE WILL SAND BUILDING DESIGN.

A BLIKE WILL SA FADARE WIRD DESS NOT ADD TO THE CHARACTER OF THE STREET COATED THE WILL SAND BUILDING DESIGN.

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A BLIKE WILL SAN DESIGNATION OF STREET WILL SAN DESIGNATION OF THE FARRED WILL SAN DESIGNATION OF THE FARRED WILL SAND BUILDING SWITH A MADERN OF THE FARRING WILL BE PROVIDED WHERE A PROVIDED WHERE A PROVIDED WHERE A PROVIDED WHERE A MADERN OF THE WILL SAN DESIGNATION OF THE FARRING WILL SAN DESIGNATION OF THE F USE BUILDINGS WITH A MAXIMUM OF 80,000 SQUARE FEET UP TO FOUR STORIES IN HEIGHT. UP TO 60,000 SF OF THIS MAY BE OFFICE AND/OR RETAIL USE. BUILDINGS WILL BE ORIENTED TO THE BRIDGE CONNECTOR ROAD, THE ACCESS RAMP AND/ OR COMMON OPEN SPACE AREAS ALL LINKED BY SIDEWALK CONNECTIONS THROUGH THE SITE AND TO THE ADJACENT GREENWAY. A CENTRALLY LOCATED PARKING LOT WILL BE REQUIRED TO PROVIDE THE REQUIRED NUMBER OF PARKING SPACES. PORTIONS OF THAT PARKING MAY HAVE TO BE MULTI-LEVEL, INCORPORATED INTO THE BUILDINGS. ACCESS TO THE PARCEL WILL BE ON TWO SIDES WITH ACCESS FROM THE BRIDGE ROAD BEING RIGHT IN ONLY. THE COLLECTOR ROAD ACCESS WILL ALLOW TURNING MOVEMENTS IN BOTH DIRECTIONS. ADDITIONALLY, A DRIVE THOUGH THE ADJACENT PARCEL F SHALL BE PROVIDED.

CC-SPA

2005-01

4.41 AC..

25'

FUTURE CURB

255 REGULAR SPACES

8 HANDICAP (4 VAN)

40 COMPACT SPACES

2 LOADING SPACES

16 ON-STREET

321 TOTAL

TRASH AND/ OR DUMPSTER/COMPACTOR AND RECYCLING AREAS SHALL COMPLY WITH SECTION 12.403 OF THE CHARLOTTE-MECKLENBURG ZONING ORDINANCE. TRASH OR "DUMPSTER" PADS WILL BE SCREENED FROM VIEW USING MATERIALS SIMILAR TO THOSE USED ON THE RESPECTIVE BUILDING. WHERE JOINT COLLECTION POINTS ARE DEVELOPED, PADS SHALL BE SCREENED WITH BRICK ENCLOSURES. ALL ENCLOSURES WILL HAVE GATES THAT TOTALLY CONCEAL THE NTERIOR OF THE ENCLOSURE AND SHALL NOT BE LOCATED WITH 20-50 FEET OF THE SOUTHERN MOST PROPERTY LINE.

INNOVATIVITE PROVISIONS FOR COMMERCIAL CENTER DISTRICT, AS DISCUSSED UNDER SECTION 11.405 (3) OF THE CHARLOTTE-MECKLENBURG ZONING ORDINANCE, ARE TO BE USED FOR CROSSWALKS AND STREET CROSS-SECTIONS.

027-072-13, 027-072-14, 027-072-15

14' FROM BACK OF EXISTING CURB OR

A GAS STATION FACILITY WILL BE LOCATED AT TH'S INTERSECTION. IT INCLUDES A 5,000 SQUARE FOOT ± CONVENIENCE STORE BUILDING, A CAR WASH AND A 10 DISPENSER FUELING FACILITY AND ASSOCIATED ANOPY. ACCESS FROM THE BRIDGE ROAD WILL ALLOW ALL TURNING MOVEMENTS. OTHER ENTRANCE/EXITS ON TO THE COLLECTOR ROAD AND POSSIBLY A DRIVE THROUGH THE DUKE POWER RIGHT-OF-WAY, WILL ALSO ALLOW FOR ALL TURNING MOVEMENTS.

PARCEL "F" IS SIMILAR TO PARCEL "E" IN THAT IT IS ACCESSED FROM THE PROPOSED COLLECTOR ROAD. IT IS ALSO PROJECTED AS TOWNHOMES OR

NATURAL BUFFER WILL BE LOCATED BETWEEN THE DEVELOPMENT AND THE CREEK ON THE WEST SIDE OF THE PARCEL AND WILL BE PART OF PARCEL "G". ALL DEVELOPMENT WILL BE ABOVE THE FLOODPLAIN ELEVATION AND OUT OF THE FLOOD HAZARD AREA. ONE HALF ACRE SHOULD BE SET ASIDE FOR A PRIVATE RECREATIONAL AREA AT SOME LOCATION WITHIN THE PARCEL. PARCEL "G" WILL BE A PUBLIC RECREATIONAL AREA ALONG THE CREEKS BORDERING THE WESTERN BOUNDARY OF THE PROPERTY. IT WILL BE DEDICATED AND CONVEYED TO THE COUNTY AS A GREENWAY. IT WILL INCLUDE A 30' BUFFER BETWEEN PARCEL "F" AND THE EASTERLY MOST CREEK. A GREENWAY TRAIL SYSTEM WILL BE CONSTRUCTED AND CONNECTED TO THE DEVELOPMENT IN THE FORM ON 10' MODE GRAVEL TRAILS THAT MEET THE MECKLENBURG COUNTY BUSINESS AND PROPERTY OF THE PROPERTY OF THE PROPERTY.

CONDOMINIUMS WITH AN ALLOWABLE DENSITY OF 16 UNITS PER ACRE. UNITS MUST MEET DEVELOPMENT GUIDELINES AS IN PARCEL "E" ABOVE. A NUMBER OF

STORM WATER MANAGEMENT
THE PETITIONER SHALL CONTROL AND TREAT THE DIFFERENCE IN STORM WATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE AND POST
DEVELOPMENT RUNOFF CONDITIONS FOR THE 1-YE/R 24 HOUR STORM. RUNOFF DRAW DOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NOT MORE THAN THE USE OF STRUCTURAL STORM WATER TREATMENT SYSTEMS (WET PONDS, EXTENDED DETENTION WETLANDS, BIO-RETENTION, ETC) SHALL BE INCORPORATED INTO THE SITE AND DESIGNED TO HAVE AN 85% AVERAGE ANNUAL REMOVAL FOR TOTAL SUSPENDED SOLIDS GENERATED FROM THIS DEVELOPMENT. A MAINTENANCE PLAN SHALL BE DEVELOPED TO ENSURE ADEQUATE LONG TERM OPERATION OF THE STRUCTURAL STORM WATER TREATMENT SYSTEMS. THE PETITIONER SHALL ABIDE BY THE S.W.I.M. STREAM BUFFER REGULATIONS WHERE APPLICABLE. STORM WATER DETENTION FACILITIES ARE NOT ALLOWED IN REQUIRED SETBACKS AND BUFFERS.

THE PETITIONER SHALL CONTROL AND TREAT THE "IFFERENCE IN STORM WATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE- AND POST-DEVELOPMENT RUNOFF CONDITIONS FOR THE !-YEAR 24 HOUR STORM. RUNOFF DRAW-DOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NO MORE

SCHEDULE OF DRAWINGS:

EXISTING CONDITIONS

OVERALL SITE PLAN

REQUIRED PLANTING PLAN

PHASE I EROSION CONTROL

COVER SHEET

GRADING PLAN

CONSULTANTS:

LANDSCAPE ARCHITECT:

CIVIL ENGINEER:

DEVELOPER: SOUTHERN HOLDINGS IV. LLC

704.548.0900

SUITE 214

SUITE 214

704.343.0608

704.786.5404

704.343.0608

9823 WHITE CASCADE DR.

DESIGN RESOURCE GROUP, PA

1230 WEST MOREHEAD STREET

DESIGN RESOURCE GROUP, PA

1230 WEST MOREHEAD STREET

CONCORD ENGINEERING & SURVEYING, INC.

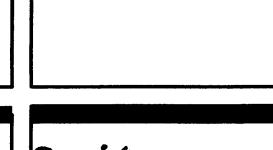
CHARLOTTE, NC 28269

CHARLOTTE, NC 28208

CHARLOTTE, NC 28208

45 SPRING STREET SW

CONCORD, NC 28025



Résource Group 1230 West Morehead Street, Suite 214 Charlotte, NC 28208 704.343.0608 fax 704.358.3093 www.drgrp.com

> · Landscape Architecture -Urban Design

Land Planning



COVER

ATTACHED TO ADMINISTRATIVE

PLAN APPROVAL

BY: DEBRA D. CAN Scale: NOT TO SCALE Date: MAY 6, 2005 Project No.: 195-002

Revisions: 1.) 06/17/05 ADMINISTRATIVE SITE PLAN APPROVAL 2.) 07/15/05 ADMINISTRATIVE SITE PLAN APPROVAL 3.) 07/15/05 PER ENGINEERING REVIEW 4.) 08/9/05 5.) 11/6/05 ADMINISTRATIVE SITE

Sheet

C7A SITE DETAILS STORM DRAINAGE & EROSION CONTROL PLAN EROSION CONTROL & STORM DRAINAGE DETAILS

C10 DRAINAGE AREA PLAN C12 STORM DRAINAGE DETAILS C13 WATER & SANITARY SEWER PLAN WATER & SANITARY SEWER DETAILS PROSPERITY CHURCH ROAD STRIPPING & TRAFFIC CONTROL PLAN PROPSPERITY CHURCH ROAD MEDIAN TRAFFIC CONTROL PLAN

CHARLOTTE - MECKLENBURG PLANNING COMMISSION

INTER-OFFICE COMMUNICATION

November 9, 2005

TO: Katrina Young Interim Zoning Administrator Debra Campbell Planning Director

SUBJECT: Administrative Approval for Petition No. 2005-01 by BP Products North America, Inc.

Attached are revised plans for the above petition. The plans have been revised to increase the height of lighting in nonresidential areas to 28-feet and to phase the screening of parking along I-485. Since these changes do not alter the intent of the development and are minor, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of

Note that all other ordinance requirements still apply.

