

- DEVELOPMENT SUMMARY**
- TAX PARCEL IDENTIFICATION NUMBERS: 032039 AND 032011
- EXISTING ZONING: R-3
- PROPOSED ZONING: A-1 (MF) (C)
- TOTAL SITE AREA: 393.6 AC
- RESIDENTIAL UP TO 471 UNITS
- SECTION NUMBER: 2004-71
- ADDITIONAL NOTES:**
1. PROPERTY BOUNDARIES AND TOPOGRAPHY TAKEN FROM MECKLENBURG COUNTY GIS PLANIMETRIC DATA.
 2. APPROXIMATE LOCATION OF JURISDICTIONAL STREAMS AND WETLANDS WERE FIELD SURVEYED BY JEFF LAMAR, NATURE RESOURCES PROJECT MANAGER, SMC, P.C., 6915 SOUTHVIEW PARK BLVD., CHARLOTTE, NC 28273 (09/03/2004).
 3. FUTURE NORTHLAKE BOULEVARD ALIGNMENT PER MUELEY ENGINEERS & CONSULTANTS.
 4. FUTURE 100' R.O.W. SHOWN ALONG EXISTING MOUNT HOLLY HUNTERSVILLE ROAD (SHOWING PER CDDT).
 5. PUBLIC ROAD 44' R.O.W. TO INCLUDE ON STREET PARKING ON BOTH SIDES.
 6. LEFT TURN LANE WILL BE DESIGNED AND ENGINEERED PRIOR TO BUILDING STANDARD APPROVAL.
 7. SITE WILL COMPLY WITH CHAPTER 31 OF THE CHARLOTTE CITY CODE. TREE SPECIES IN DIAMETER OR LARGER (BRISTL OAK) LOCATED IN THE SETBACKS WILL BE SHOWN ON THE GRADING AND/OR SITE PLAN WITH TREE PROTECTION STRIPS AND NOTES. THESE TREES CANNOT BE REMOVED WITHOUT A PERMIT FROM THE URBAN FORESTRY DEPT.
 8. THE SITE WILL COMPLY WITH CHAPTER 31 OF THE CHARLOTTE CITY CODE. PROPOSED PLANTING SHOWN IS CONCEPTUAL ONLY AND WILL BE SUBJECT TO CHANGE ON ACTUAL SITE CONDITIONS AND URBAN FORESTRY STAFF APPROVAL.
 9. ABANDONMENT OF WELLS ASSOCIATED WITH ANY STRUCTURES DEMOLISHED OR ABANDONED WERE DISCOVERED DURING THE DEVELOPMENT PROCESS SHOULD BE DONE IN ACCORDANCE WITH 14A N.C. GEN. STAT. § 113 "ABANDONMENT OF WELLS".
 10. UNDISTURBED WOODLAND TREE SAVE AREAS (TPS) ARE SHOWN ON THE PLAN. THE AMOUNT OF CLEARING TO PROMOTE THE GROWTH OF EXISTING VEGETATION AND/OR ENHANCE THE AESTHETIC APPEAL OF THE SITE, THE FOLLOWING WOULD BE ALLOWED IN A WOODLAND TREE SAVE AREA:
 - A. HAND PRUNING ONLY. NO HEAVY EQUIPMENT OR VEHICLES ALLOWED IN THE AREA.
 - B. BURIED MATERIAL WHICH MAY BE REMOVED SHALL BE CUT FLUSH WITH THE GROUND. NO DISTURBANCE OF THE SOIL WILL BE ALLOWED.
 - C. NO LOG REMOVAL WITH THE EXCEPTION OF BRACKS OR DISCARDED LIMBS.
 - D. WEEDS AND WILDS MAY BE REMOVED.
 - E. TREES THAT MEASURE LESS THAN 2" CALIPER AT THE BASE THAT ARE CLEARLY WITHIN THE 50' SETBACK SHALL BE REMOVED. 50' SETBACKS SHALL BE MAINTAINED AND AN ALTERNATIVE LINE ON THE GROUND THAT WOULD BE THE PERMITTER'S OWNERS' LINE.
 - F. DEAD TREES AND MATERIALS MAY BE REMOVED. DISCARDED TREES MAY BE REMOVED AT THE DISCRETION OF THE URBAN FORESTRY DEPT.
 - G. PULCH MAY BE APPLIED TO THE WOODLAND TREE SAVE AREA. KEEP MUNCH 1-3 INCHES AWAY FROM THE TRUNK OF THE TREE.
 11. THE SITE WILL PROVIDE A MINIMUM OF 14' FROM BUILDING TO BUILDING.
 12. THE SITE WILL COMPLY TO MINIMUM DISTANCES BETWEEN BUILDINGS AND PARKING PER ORDINANCE REQUIREMENTS.
- LEGEND**
- 30' CLASS "C" BUFFER
 - SETBACK (WIDTH VARIES)
 - PUBLIC ROAD ACCESS
 - PRIVATE DRIVE ACCESS
 - RIGHT TURN MOVEMENT
 - RIGHT IN-SIGHT CUT
 - APPROXIMATE LOCATION OF TREE LINE
 - APPROXIMATE LOCATION OF TREE COVER TO BE PRESERVED
 - APPROXIMATE LOCATION OF STREAM
 - APPROXIMATE LOCATION OF WETLANDS
 - BUILDING ENVELOPE
 - ATTACHED TO ADMINISTRATIVE PRIVATE OWNER APPROVAL
 - END OF PRIVATE DRIVE
 - WOODLAND BUFFER / CLASS "W" BUFFER
- FOR PUBLIC HEARING**
- DATE: 04/24/08
 DESIGNED BY: JEFF LAMAR
 CHECKED BY: JEFF LAMAR
 SCALE: 1" = 100' (P)
 PROJECT #: 100486
 SHEET # 100486

LandDesign

231 N. Graham Street, Charlotte, NC 28202
 V: 704.333.0315 F: 704.333.2446
 www.LandDesign.com

THE RESERVE AT NORTHLAKE
 TECHNICAL DATA SHEET
 STATE STREET COMPANY, CHARLOTTE

REVISIONS:

04-28-08 REVISIONS TO 03-20-08 PLAN TO ADD 10' SETBACKS TO ALL EXISTING WETLANDS AND STREAMS TO MEET 10' SETBACK REQUIREMENTS FOR WETLANDS AND STREAMS. SEE SHEET S-1.0 FOR WETLANDS AND STREAMS ALIGNMENT.

DATE: 04/24/08
 DESIGNED BY: JEFF LAMAR
 CHECKED BY: JEFF LAMAR
 SCALE: 1" = 100' (P)
 PROJECT #: 100486
 SHEET # 100486

BY: DEBRA B. CAMPBELL

FOR PUBLIC HEARING

DATE: 04/24/08
 DESIGNED BY: JEFF LAMAR
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 SCALE: 1" = 100' (P)
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S-1.0



- LEGEND**
- PRIVATE DRIVE
 - END OF PRIVATE DRIVE
 - SIDEWALKS
 - APPROXIMATE LOCATION OF TREE COVER TO BE PRESERVED
 - APPROXIMATE LOCATION OF STREAM
 - APPROXIMATE LOCATION OF WETLANDS
 - WOODLAND BUFFER TO ADMINISTRATIVE APPROVAL
- NOTE:**
1. THIS SITE PLAN IS SCHEMATIC IN NATURE AND IS INTENDED TO SHOW THE GENERAL CONCEPT OF BUILDING RELATIONSHIPS, BUILDING SETBACKS AND STREETSCAPE. THE FINAL DESIGN LAYOUT MAY VARY DUE TO FINAL ARCHITECTURE AND UNFORESEEN SITE CONSTRAINTS.
- BY: DEBRA B. CAMPBELL**
- FOR PUBLIC HEARING**
- DATE: 04/24/08
 DESIGNED BY: JEFF LAMAR
 CHECKED BY: JEFF LAMAR
 SCALE: 1" = 100' (P)
 PROJECT #: 100486
 SHEET # 100486

LandDesign

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 www.LandDesign.com

NORTHLAKE MULTI-FAMILY
 SCHEMATIC SITE PLAN
 STATE STREET COMPANY, CHARLOTTE

REVISIONS:

04-28-08 REVISIONS TO 03-20-08 PLAN TO ADD 10' SETBACKS TO ALL EXISTING WETLANDS AND STREAMS TO MEET 10' SETBACK REQUIREMENTS FOR WETLANDS AND STREAMS. SEE SHEET S-1.0 FOR WETLANDS AND STREAMS ALIGNMENT.

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BY: DEBRA B. CAMPBELL

FOR PUBLIC HEARING

DATE: 04/24/08
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S-3.0

CHARLOTTE-MECKLENBURG PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

DATE: April 22, 2005

TO: Katrina Young
 Interim Zoning Administrator

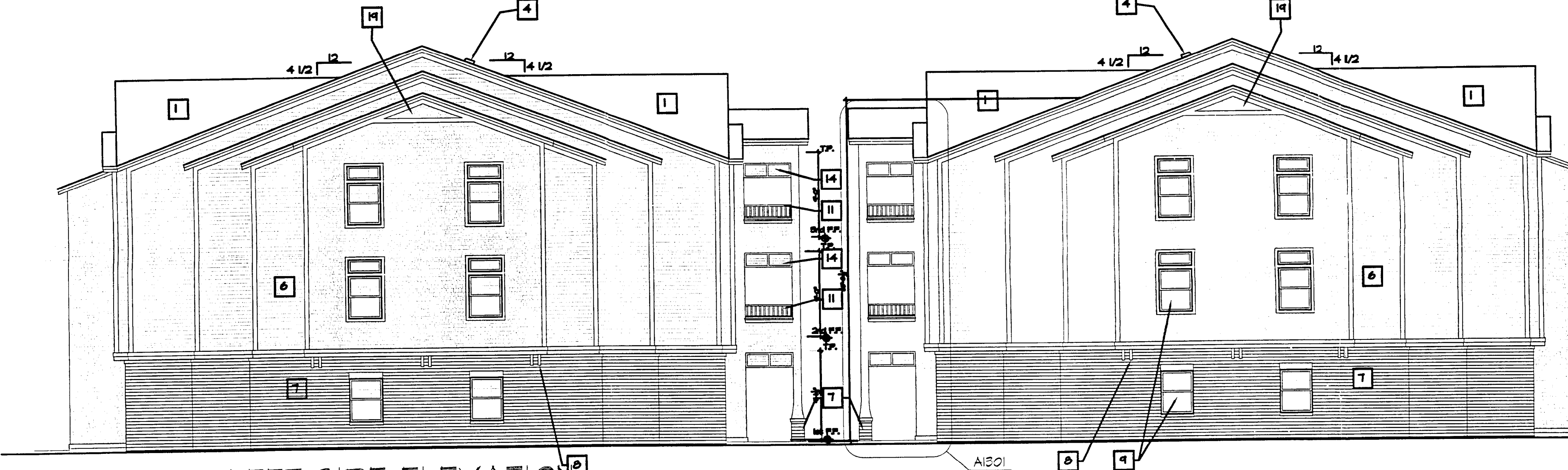
FROM: Debra Campbell
 Planning Director

SUBJECT: Administrative Approval for Petition No. 2004-71 by State Street Companies.

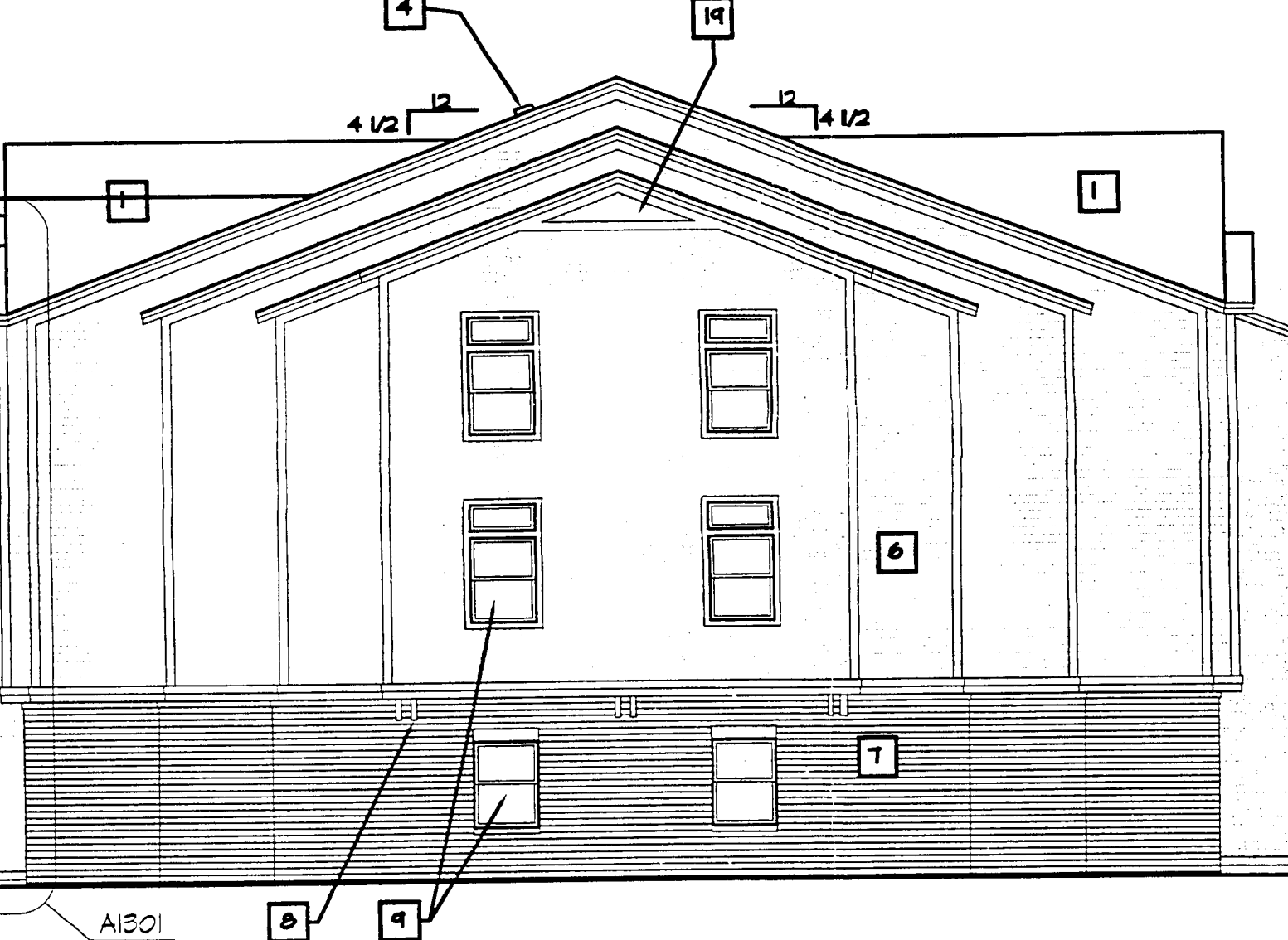
Attached is a copy of the revised plans for the above rezoning petition. The plans have been revised to relocate the Collector Road and remove note 7 under Transportation Commitments. Since these changes do not alter the intent of the development and are minor, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of occupancy.
 Note all other ordinance requirements still apply.



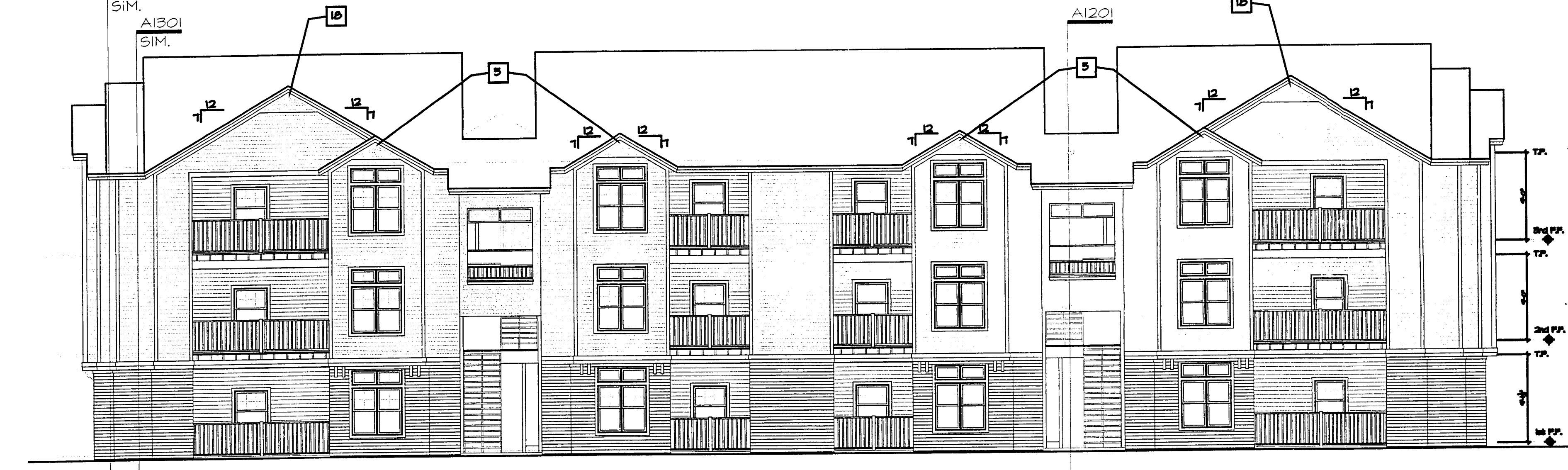
05 FRONT ELEVATION
SCALE 1/8" = 1'-0"



03 LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



04 RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

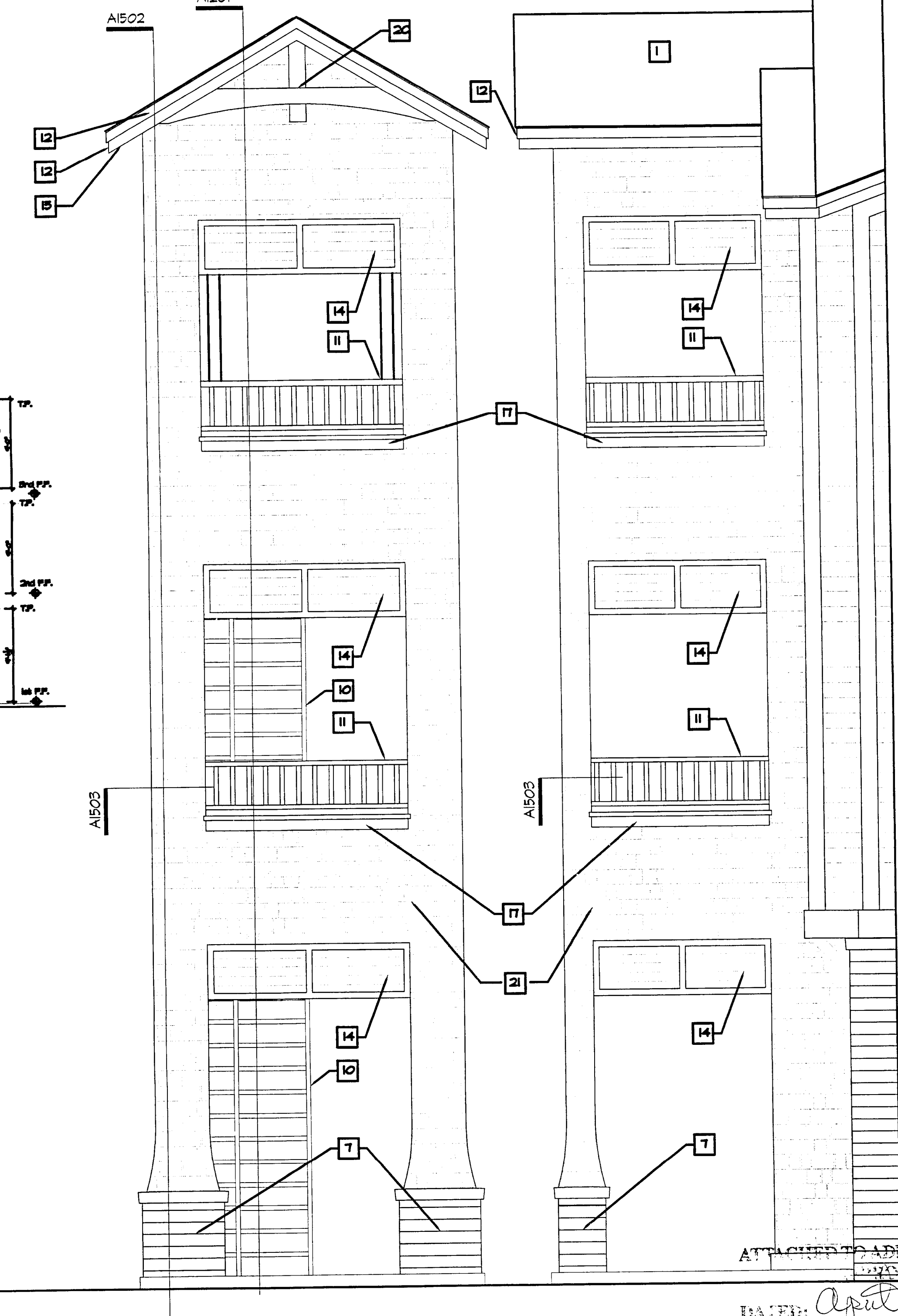


A1002 REAR ELEVATION
SCALE 1/8" = 1'-0"

ELEVATION LEGEND

1	ASPHALT SHINGLES
2	NOT USED
3	NOT USED
4	1/2" AIR WAVE GRAVITY ROOF VENT AT THIS LOCATION ON C AND D BUILDINGS ONLY
5	3/4" GABLE END ROOF VENT
6	SMOOTH & 1/4" HARD-PLANK SIDING, 5' EXPOSURE
7	BRICK VENEER
8	HOOD BRACKET, PAINTED
9	1/2" VENT SINGLE HAND HINGED WITH 1/2" HARD-PLANK TRIM ON SECOND AND THIRD FLOORS ON FIRST FLOOR, NO TRIM
10	PRESSURE TREATED HOOD STAIRS WITH CONTIGUOUS HAND RAIL
11	VINYL HAND RAIL 42" A.P.F.
12	THO PART P.T. HOOD FASCIA, PAINTED
13	ALUMINUM GUTTER
14	VINYL SOFFIT
15	THO PART P.T. HOOD BAND, PAINTED
16	PAINTED HOOD TRIM
17	3/4" GABLE END ROOF VENT
18	EXPOSED HOOD TRUSS
19	1/2" GABLE END ROOF VENT
20	MADE UP SOFFIT BRACKETS

GENERAL NOTES:
 * HARD SOFFIT TO BE SOLID ABOVE ALL DOORS AND WINDOWS, AND SOLID UP ALONG ENTIRE SIDE. ALL OTHER SOFFIT TO BE VENTED.
 * BOTTOM RAIL OF BALCONY RAILING TO BE NO MORE THAN 2' ABOVE BALCONY OPENING.
 * ALL ROOF OVERHANGS, BOTH SOFFIT AND RAFTERS, TO BE 12" UNDO.
 * ALL EXTERIOR FINISHES ARE AS NOTED UNLESS OTHERWISE SPECIFIED BY ARCHITECT OR OWNER.



A1001 ENLARGED ENTRY AT STREET SIDE
SCALE 1/2" = 1'-0"

ATTACHED TO ADMINISTRATIVE PERMIT
 DATE: April 22, 2005
 BY: DEBRA D. CAMPBELL

DEVELOPMENT STANDARDS

GENERAL PROVISIONS
 Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the R-12MF zoning district classification shall be followed in connection with development taking place on the Site. Street layouts may be modified to accommodate final building locations. Building locations may be modified subject to final engineering plans.

PERMITTED USES
 The Site may be developed with up to 473 multi-family units along with any accessory uses as permitted under the Ordinance.

BUFFERS AND COMMON OPEN SPACE
 1. Buffer areas established on the Technical Data Sheet shall conform to the standards of Section 12.302 of the Ordinance subject, however, to the provisions of Section 12.304 thereof. In the event that an adjacent parcel is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirements on the Site, then Petitioner may reduce or eliminate, as the case may be, the buffers set out on the Technical Data Sheet accordingly.

2. No buildings, parking spaces or maneuvering areas may be located within the required buffer areas and all required buffers shall remain undisturbed.

3. The Site shall include two separate recreational amenity areas as part of the common open space for the community. Each of these areas shall include a swimming pool.

SETBACKS AND YARDS
 1. A 50 foot setback shall be provided along Mount Holly - Huntersville/Alexandera Roads. The 50-foot setback along Mt. Holly-Huntersville Road will be an undisturbed woodland tree save area that conforms to the following standards:
 a. Hand pruning only. No heavy equipment or vehicles allowed in the area.
 b. Plant material, which may be removed, shall be cut flush with the ground. No disturbance of the soil will be allowed.
 c. No limb removal, with the exception of dead or diseased limbs.
 d. Weeds and vines may be removed.
 e. Trees that measure less than two inches caliper at the base that are clearly within the drip line of a tree that is two feet or greater may be removed.
 f. Dead trees and materials may be removed. Diseased trees may be removed at the discretion of the City of Charlotte Urban Forester.
 g. Mulch may be applied to the woodland tree save area. Mulch shall be kept two to three inches away from the bark of trees.

Notwithstanding any of the above, tree removal within the 50 foot setback as necessary to install the two access points to the Site from Mount Holly-Huntersville Road/Alexandera Road shall be permitted.

2. A 50 foot setback shall be provided along 1-485 within which existing trees and plantings shall be preserved. In the event existing trees and plantings within the 50 foot setback do not conform to Class "A" buffer standards, supplementary plantings shall be installed within the setback in accordance with Class "A" buffer standards.

3. The portion of the forty foot rear yard abutting the Holly Ridge community that is not devoted to parking shall include existing trees, installation of new trees or a combination of the two so that the amount of landscaping within this area meets the standards of a Class "C" buffer.

SCREENING AND LANDSCAPED AREAS
 1. Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.

2. Any dumpsters located within the Site that are visible from a public street or from an adjoining property will be screened from view by a solid-enclosure with gates.

3. The Site shall conform to the Tree Ordinance. A tree survey of the Mount Holly-Huntersville Road setback will be provided with the Rezoning Petition.

PARKING
 1. Off street parking spaces will satisfy the minimum standards established under the Ordinance.

2. Parking may be provided along one or both sides of the internal public or private streets.

3. At least one bike rack will be provided within each of the two amenity areas.

LIGHTING
 1. All freestanding lighting fixtures installed will be uniform in design, with the final spacing of such lighting fixtures to be determined by Petitioner.

2. The maximum height of any freestanding lighting fixture, including its base, shall not exceed 15 feet.

SIGNS
 All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.

ACCESS POINTS (DRIVEWAYS/STREETS/SIDEWALKS)
 1. The number of vehicular access points to the Site shall be limited to the number depicted on the Technical Data Sheet.

2. The Site's secondary access point to Mount Holly - Huntersville/Alexandera Roads shall be limited to a right-in, right-out (RIR/O) driveway and shall not be located in the bay taper or turn bay of the right turn lane from eastbound Alexandera Road to southbound Northlake Centre Parkway.

3. Petitioner recognizes that the alignment of the internal public street through the Site may need to change in order to align with one of the proposed median openings on Northlake Centre Parkway.

4. The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the City of Charlotte Engineering Department and the North Carolina Department of Transportation.

5. A 5-foot sidewalk and an 8-foot planting strip will be provided along the Site's frontage along Mount Holly - Huntersville Road.

6. A 5 foot sidewalk and a 6 foot planting strip will be provided on both sides of any public or private street installed on the Site and a 6-foot sidewalk and an 8-foot planting strip will be provided on all internal public streets that have on-street parallel parking.

7. Petitioner commits to providing connectivity to all portions of the Site through the use of sidewalks.

8. A right of way for a possible future connection to the adjoining property will be provided as depicted on the Technical Data Sheet. A stub street will be constructed within this right-of-way along with the construction of utility in the area surrounding the right-of-way.

RIGHT-OF-WAY DEDICATION
 Petitioner agrees to dedicate and convey (by quitclaim deed and subject to a reservation for any necessary utility easements) that portion of the Site that may be required to provide right of way as follows if such right-of-way does not exist already prior to the issuance of any building permits for the Site:

1-485
 175 feet from centerline

Northlake Centre Parkway
 Right-of-way as necessary to incorporate ground-lee-in-points for slopes or the foundations of any retaining walls in public right-of-way, whichever is greater

Mount Holly - Huntersville Road
 65 feet from centerline for 500 feet from the intersection with Northlake Centre Parkway then tapering down to 50 feet from centerline at a 20:1 taper.

TRANSPORTATION COMMITMENTS
 1. Petitioner shall construct at its expense a southbound right turn lane 150 feet in length on Mt. Holly-Huntersville Road at its future 4 leg intersection with Alexandera Road and Northlake Centre Parkway (the "Turn Lane"). The engineering, design and construction of the Turn Lane will be the responsibility of Petitioner, and it will be designed in accordance with the specifications of CDOT or NCDOT, whichever is applicable. Petitioner shall be responsible for all costs associated with any necessary traffic signal modifications/relocations that are required as a result of the construction and installation of the Turn Lane. Petitioner shall also be responsible for all costs relating to or associated with acquiring any right of way necessary to accommodate the Turn Lane, including legal fees, court costs and staff, appraisal and recordation costs, should any right of way be acquired through condemnation proceedings. Petitioner shall complete the construction of the Turn Lane prior to the issuance of the first certificate of occupancy for a building constructed on the Site.

2. Notwithstanding the terms of paragraph 1 above, if Petitioner is unable to acquire any right of way necessary to accommodate the Turn Lane from the relevant property owners after having exerted reasonable and good faith efforts to do so and NCDOT is unwilling or unable to acquire any necessary right of way by way of condemnation proceedings after having been requested to do so by Petitioner, Petitioner will not be required to construct the Turn Lane. However, prior to the issuance of the first certificate of occupancy for a building constructed on the Site, Petitioner shall pay to CDOT, in lieu of constructing the Turn Lane, a sum equal to the cost of constructing the Turn Lane. The cost of the Turn Lane shall include all costs relating to the engineering, design and construction of the Turn Lane, all costs associated with necessary traffic signal modifications/relocations that would be required as a result of the construction of the Turn Lane, as well as the cost of acquiring the right of way necessary to accommodate the Turn Lane. Funds paid by Petitioner pursuant to this paragraph are to be used specifically for future improvements to the Alexandera/Mt. Holly-Huntersville/Northlake Centre Parkway intersection.

3. Notwithstanding the terms of paragraphs 1 and 2 above, if the collector road depicted on the Schematic Site Plan is extended from the Site's eastern boundary line to Northlake Centre Parkway and the collector road is open to vehicular traffic prior to the issuance of the first certificate of occupancy for a building constructed on the Site, then Petitioner will be relieved of its obligations under paragraphs 1 and 2 above, such that Petitioner will not be required to construct the Turn Lane or to pay the cost of the Turn Lane in lieu of constructing the same.

4. Petitioner shall construct a westbound left turn lane on Mt. Holly-Huntersville Road at the westernmost and primary access point into the Site prior to the issuance of the first certificate of occupancy for a building constructed on the Site. This left turn lane shall have 150 feet of storage and shall otherwise meet the applicable minimum requirements of NCDOT or CDOT, whichever are applicable. Petitioner shall be responsible for all costs and expenses relating to the design and construction of this left turn lane.

5. Petitioner shall construct an eastbound right turn lane on Mt. Holly-Huntersville Road at the westernmost and primary access point into the Site prior to the issuance of the first certificate of occupancy for a building constructed on the Site. This right turn lane shall have 100 feet of storage and shall otherwise meet the applicable minimum requirements of NCDOT or CDOT, whichever are applicable. Petitioner shall be responsible for all costs and expenses relating to the design and construction of this right turn lane.

6. If not constructed by a third party, Petitioner shall construct a 6 foot wide raised concrete median in the middle of Mt. Holly-Huntersville Road prior to the issuance of the first certificate of occupancy for a building constructed on the Site to ensure the right in, right out operation of the Site's eastbound and secondary entrance into the Site. Petitioner shall be responsible for all costs and expenses relating to the design and construction of this raised concrete median.

FIRE PROTECTION
 Adequate fire protection in the form of fire hydrants will be provided to the City of Charlotte Fire Code's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences.

STORM WATER MANAGEMENT
 1. Storm water runoff from the Site will be managed through proven techniques which satisfy the standards, if any, imposed by the City of Charlotte Engineering Department.

2. Storm water detention shall not be located within required setbacks or buffers.

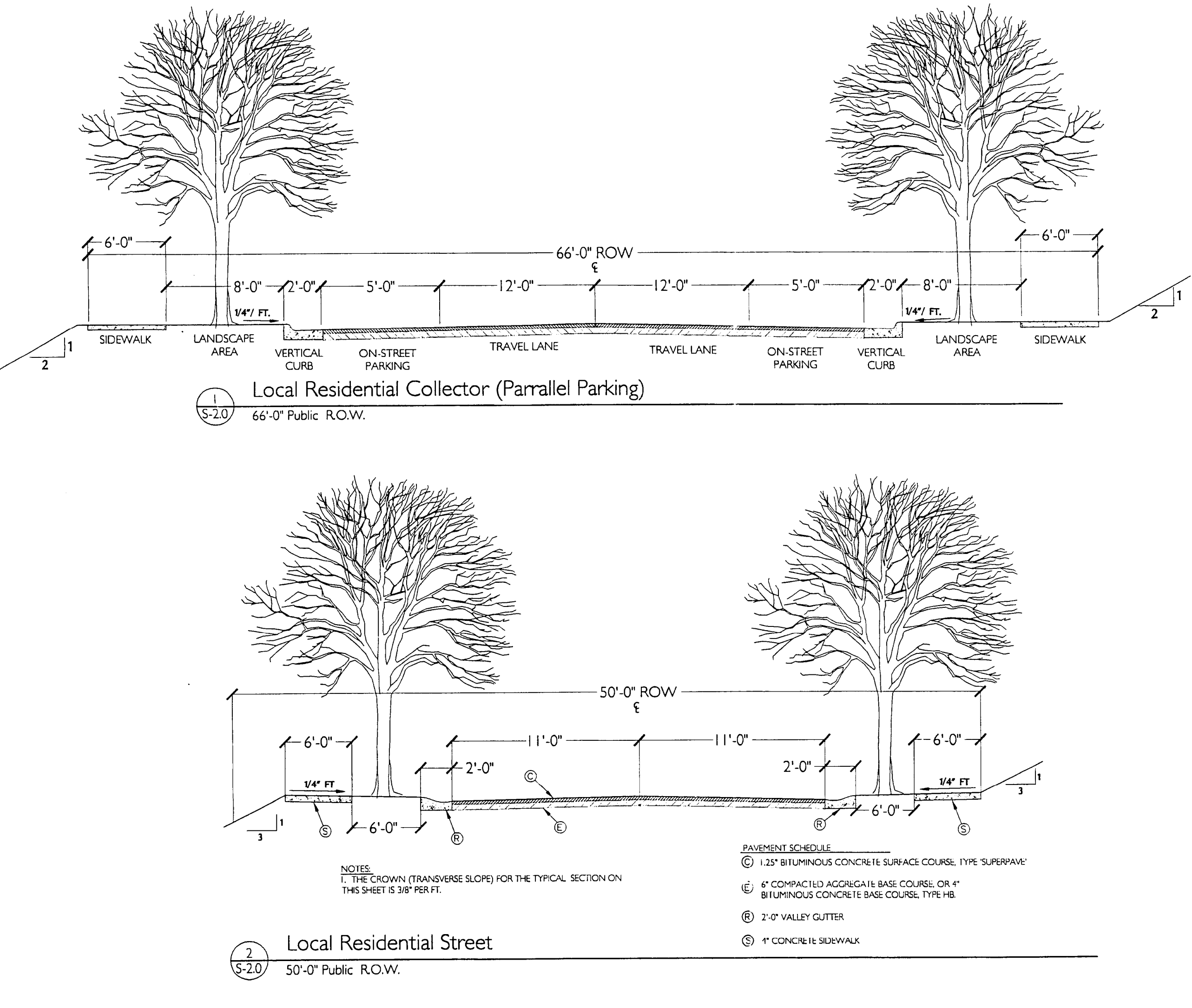
3. The detention shall tie-in to the existing abutting storm water system(s). During the permitting stage of the development, Petitioner shall have the receiving drainage system analyzed to insure that it will not be taken out of standard due to the development contemplated by this Rezoning Petition. If it is found that the development contemplated by this Rezoning Petition will cause such receiving drainage system to be taken out of standard, Petitioner shall provide adequate detention on Site or otherwise take such reasonable steps as may be needed to prevent this from occurring. Should the existing receiving drainage system be deemed to be out of standard prior to the development of this Site, then Petitioner agrees to provide adequate detention to insure that such drainage system will not be additionally over burdened. In no event, however, shall Petitioner be required to correct any current problems with the existing receiving drainage system.

4. Petitioner shall coordinate water quality efforts (BMPs, wet detention, level spreaders, etc.) with the City of Charlotte Storm Water Services (CWS) in order to offset or minimize potential impacts to water quality.

5. Petitioner shall abide by the S.W.I.M. Stream Buffer regulations, where applicable.

AMENDMENTS TO REZONING PLAN
 Future amendments to this Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

BINDING EFFECT OF THE REZONING APPLICATION
 If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and this Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.





Charlotte-Mecklenburg Planning Department

DATE: June 29, 2012

TO: Mark Fowler
Zoning Supervisor

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 2004-071 State street Companies

Attached are revised elevations for the above referenced rezoning petition. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other Zoning Ordinance and conditional requirements still apply.

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charmeck.org

600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123

KEYNOTES

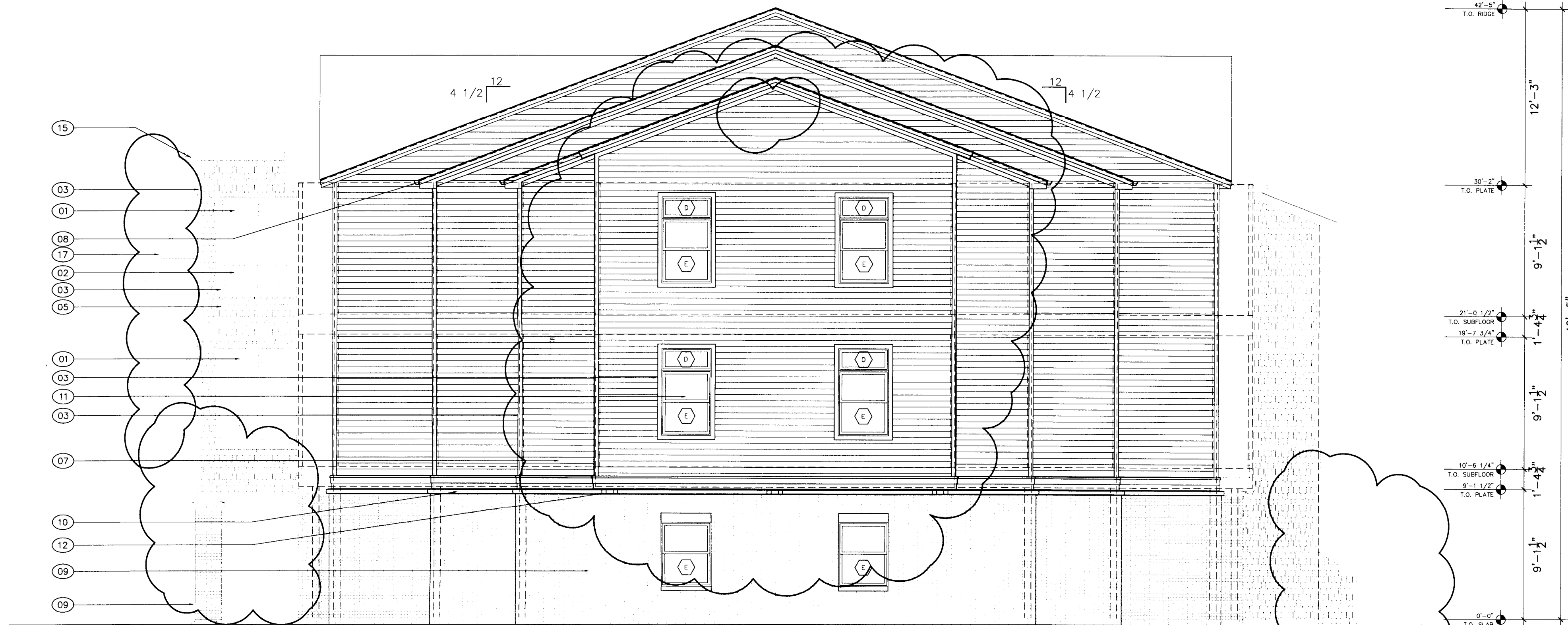
- 01 1X PT WOOD LOUVERS
- 02 VINYL RAIL & PICKET SYSTEM
- 03 2X FIBER CEMENT TRIM (PAINTED)
- 04 20 YR. ASPHALT SHINGLES
- 05 FIBER CEMENT CEDAR SHINGLE (5" EXPOSURE)
- 06 WOOD ARBOR (PT)
- 07 FIBER CEMENT SIDING W/ 5" EXPOSURE
- 08 5"x4" ALUMINUM CUTTER
- 09 BRICK VENEER (SILAS LUCAS)
- 10 BRICK ROWLOCK WATERTABLE (SILAS LUCAS)
- 11 VINYL CLAD SINGLE HUNG WINDOW
- 12 4X PT WOOD BRACKET (PAINTED)
- 13 STAIRS BEYOND
- 14 WOOD BRACKET (PT)
- 15 1X FIBER CEMENT TRIM (PAINTED)
- 16 3/4"x6" PT DECK BOARD
- 17 OPTIONAL BIMINI SHUTTER SYSTEM(PAINTED)
- 18 PT "X" TRIM (PAINTED)
- 19 GABLE VENT

GENERAL NOTE:

ALL EXTERIOR TRIM TO BE PRE-PRIMED, INCLUDING BACK PRIMING, PRIOR TO INSTALLATION.

ATTACHED TO ADMINISTRATIVE APPROVAL

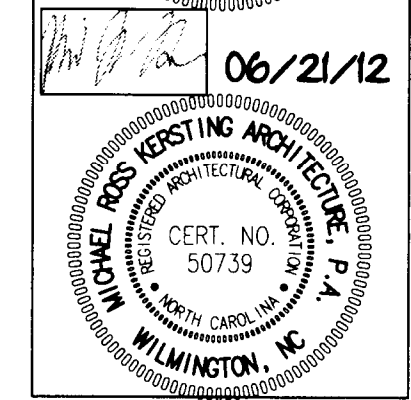
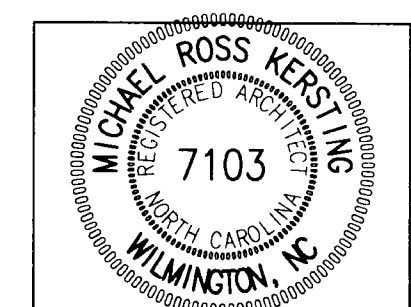
DATED: 20-2012
BY: DEBRA D. CAMPBELL



02 SIDE ELEVATION BLDGS 1,2,3,4,5 (A,A+,B+,C)
SCALE: 3/16"=1'-0"



01 FRONT ELEVATION BLDGS 1,2,3,4,5 (A,A+,B+,C)
SCALE: 3/16"=1'-0"



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NO.	REVISION DATE	DESCRIPTION
1	PERMIT RESUBMITTAL	PERMIT RESUBMITTAL
2	23 MARCH 2008	PERMIT RESUBMITTAL
3	19 MAY 2008	PERMIT RESUBMITTAL
4	19 MAY 2008	PERMIT RESUBMITTAL
5	19 MAY 2008	PERMIT RESUBMITTAL
6	19 MAY 2008	PERMIT RESUBMITTAL
7	19 MAY 2008	PERMIT RESUBMITTAL
8	19 MAY 2008	PERMIT RESUBMITTAL
9	19 MAY 2008	PERMIT RESUBMITTAL
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16	19 MAY 2008	PERMIT RESUBMITTAL
17	19 MAY 2008	PERMIT RESUBMITTAL
18	19 MAY 2008	PERMIT RESUBMITTAL
19	19 MAY 2008	PERMIT RESUBMITTAL

PROJECT: ASHTON RESERVE AT NORTHLAKE
10244 and 10430 MOUNT HOLLY-HUNTERSVILLE ROAD
CITY OF CHARLOTTE ETJ AREA
MECKLENBURG COUNTY, NORTH CAROLINA

SHEET TITLE: ELEVATIONS - BLDG. TYPES 'A', 'B' & 'C'

DATE: 17 JULY 2012

PROJECT NO.: 07.16

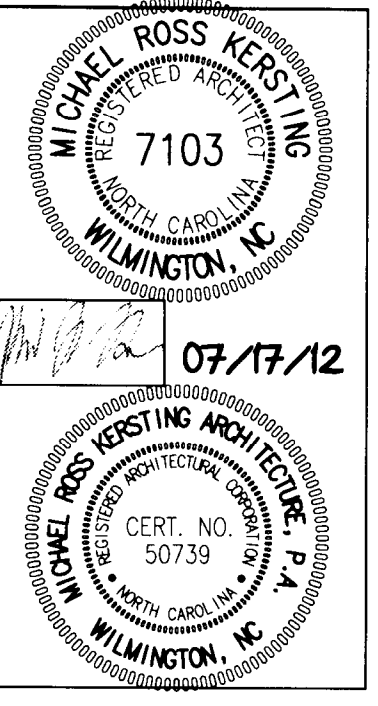
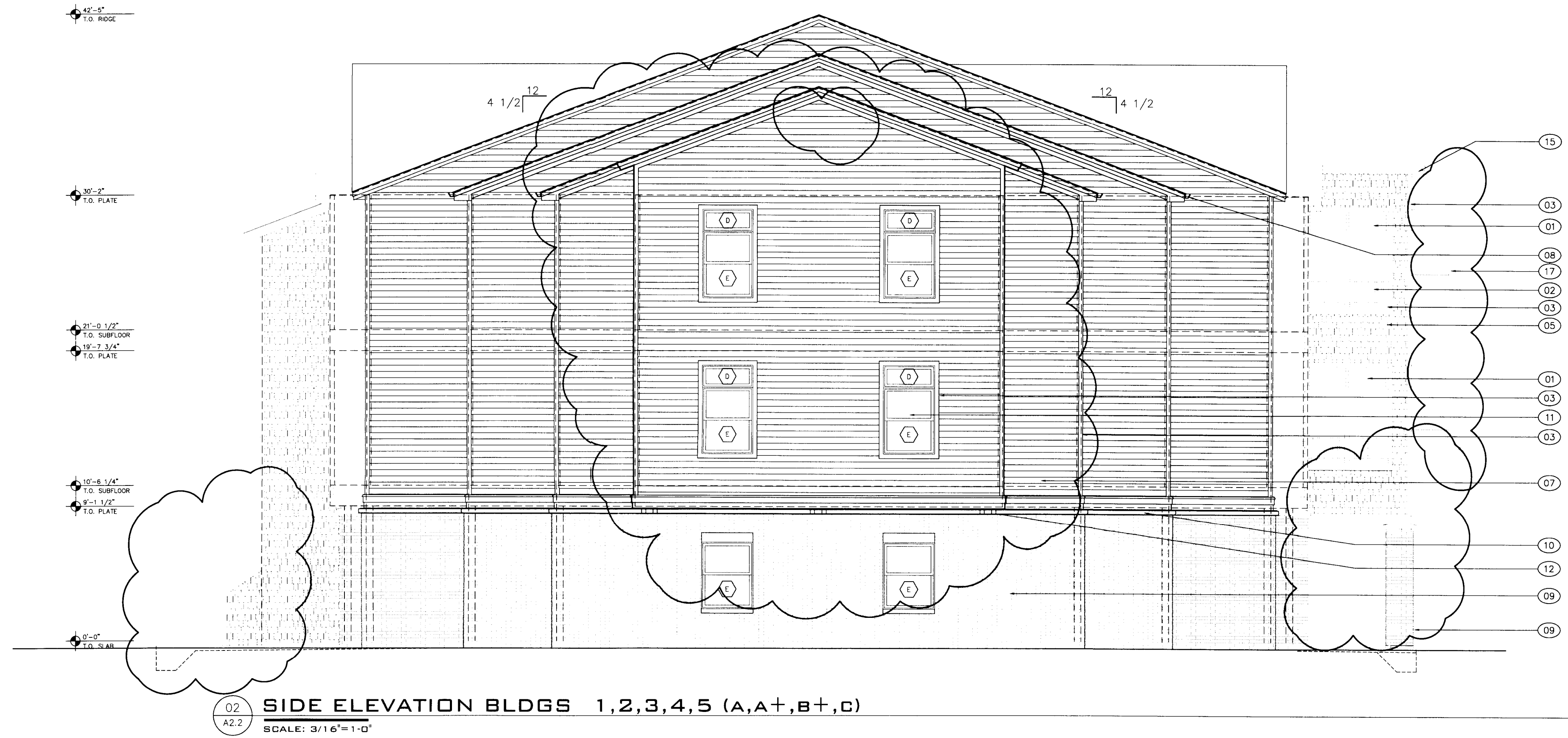
MICHAEL ROSS KERSTING
ARCHITECTURE
P.A.
910-794-7930
330 Military Cutoff Road • Suite A-1 • Wilmington, NC 28405

SHEET: A2.01

- KEYNOTES**
- 01 1X PT WOOD LOUVERS
 - 02 VINYL RAIL & PICKET SYSTEM
 - 03 2X FIBER CEMENT TRIM (PAINTED)
 - 04 20 YR. ASPHALT SHINGLES
 - 05 FIBER CEMENT CEDAR SHINGLE (5" EXPOSURE)
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 - 09 BRICK VENEER (SILAS LUCAS)
 - 10 BRICK ROWLOCK WATERTABLE (SILAS LUCAS)
 - 11 VINYL CLAD SINGLE HUNG WINDOW
 - 12 4X PT WOOD BRACKET (PAINTED)
 - 13 STAIRS BEYOND
 - 14 WOOD BRACKET (PT)
 - 15 1X FIBER CEMENT TRIM (PAINTED)
 - 16 3/4"x6" PT DECK BOARD
 - 17 OPTIONAL BIMINI SHUTTER SYSTEM (PAINTED)
 - 18 PT "X" TRIM (PAINTED)
 - 19 GABLE VENT

GENERAL NOTE:
 ALL EXTERIOR TRIM TO BE PRE-PRIMED, INCLUDING BACK PRIMING, PRIOR TO INSTALLATION.

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: 7.20.2012 *bc*
BY: DEBRA D. CAMPBELL



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NO.	REVISION	DATE
1	ISSUE FOR PERMIT	16 OCTOBER 2008
2	PERMIT RESUBMITTAL	16 OCTOBER 2008
3	PERMIT RESUBMITTAL	15 MAY 2009
4	PERMIT RESUBMITTAL	24 JULY 2009
5	STAMP CHANGE	24 JULY 2009
6	ADA UNIT CLARIFICATION	17 JULY 2012
7	PERMIT RESUBMITTAL	17 JULY 2012

PROJECT: ASHTON RESERVE AT NORTHLAKE
 10244 and 10430 MOUNT HOLLY-HUNTERSVILLE ROAD
 CITY OF CHARLOTTE ETJ AREA
 MECKLENBURG COUNTY - NORTH CAROLINA

SHEET TITLE: ELEVATIONS - BLDG. TYPES 'A', 'B' & 'C'

DATE: 17 JULY 2012
PROJECT NO.: 07.16

MICHAEL ROSS KERSTING
ARCHITECTURE
 910 P.A. 794-7930
 330 Military Cutoff Road • Suite A-1 • Wilmington, NC 28405

A2.02

KEYNOTES

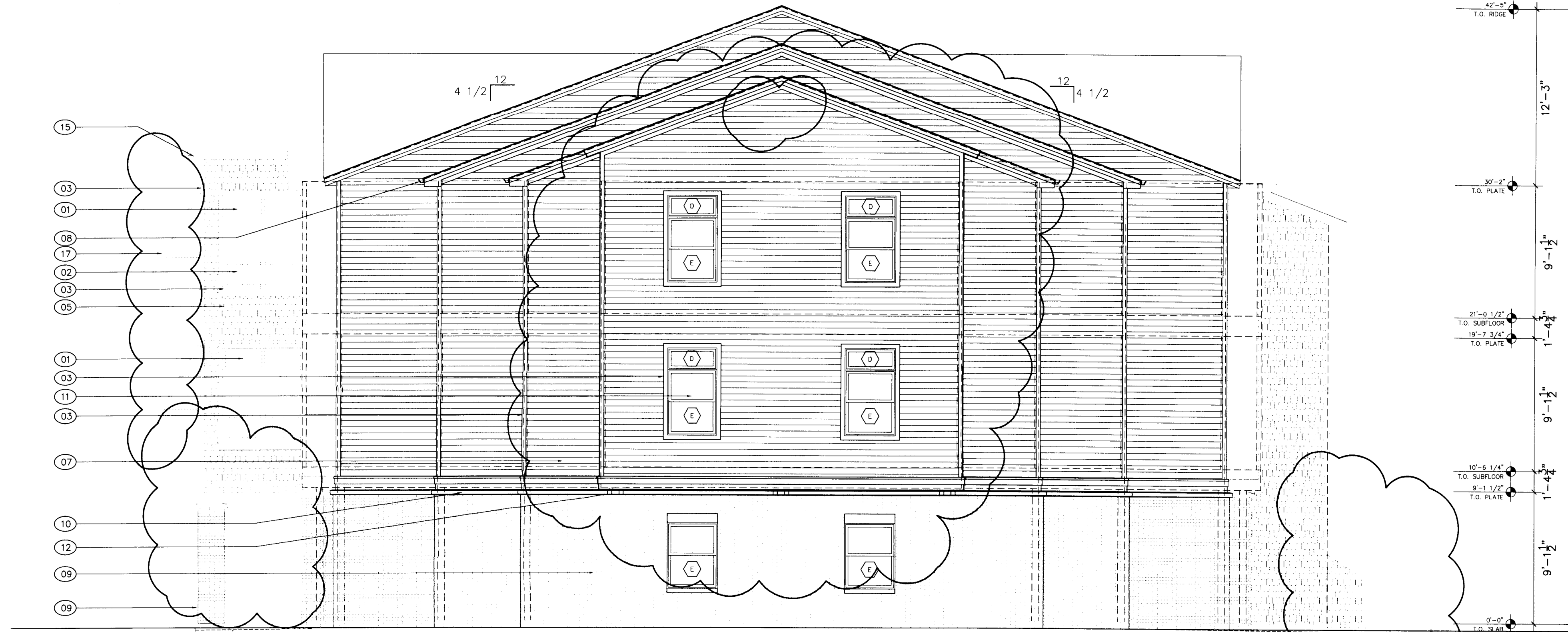
- 01 1X PT WOOD LOUVERS
- 02 VINYL RAIL & PICKET SYSTEM
- 03 2X FIBER CEMENT TRIM (PAINTED)
- 04 20 YR. ASPHALT SHINGLES
- 05 FIBER CEMENT CEDAR SHINGLE (5" EXPOSURE)
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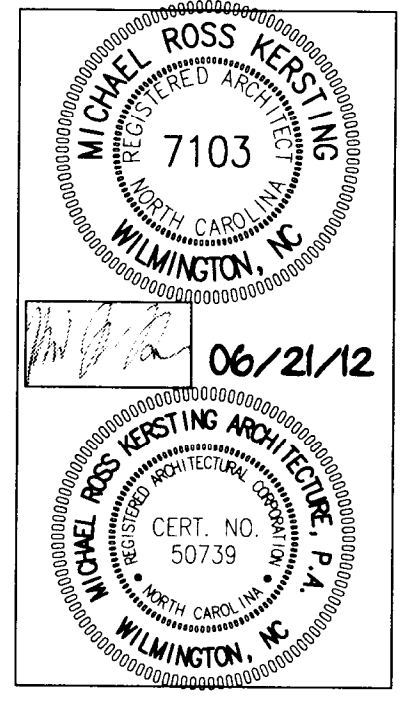
DATED: 7/20/2012
BY: DEBRA D. CAMPBELL



02 SIDE ELEVATION BLDGS 12, 13 (A EXP, B)
SCALE: 3/16"=1'-0"



01 FRONT ELEVATION BLDGS 12, 13 (A EXP, B)
SCALE: 3/16"=1'-0"



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NO.	REVISION DATE	DESCRIPTION
1	16 OCTOBER 2008	PERMIT SUBMITTAL
2	23 MARCH 2009	PERMIT SUBMITTAL
3	24 JULY 2009	PERMIT SUBMITTAL
4	11 OCT 2010	PERMIT SUBMITTAL
5	17 OCT 2010	PERMIT SUBMITTAL
6	17 OCT 2010	PERMIT SUBMITTAL
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19	17 OCT 2010	PERMIT SUBMITTAL

PROJECT: ASHTON RESERVE AT NORTHLAKE
10244 and 10430 MOUNT HOLLY-HUNTERSVILLE ROAD
CITY OF CHARLOTTE ETJ AREA
MECKLENBURG COUNTY, NORTH CAROLINA

SHEET TITLE: ELEVATIONS - BLDG. TYPES 'A', 'B' & 'C'

DATE: 17 JULY 2012
PROJECT NO: 07.16
DRAWN BY: [Name]
CHECKED BY: [Name]

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ARCHITECTURE
910 P.A. 794.7930
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SHEET: A2.03
OF: [Number]

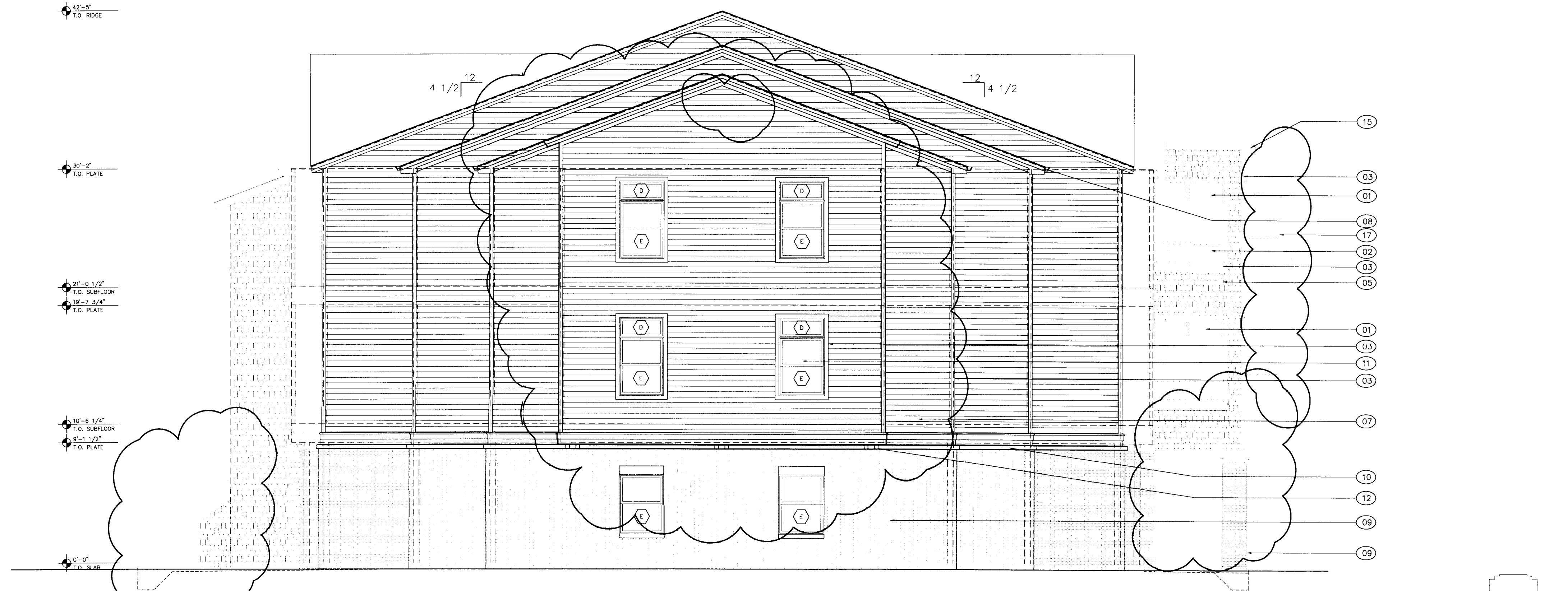
KEYNOTES

- 01 1X PT WOOD LOUVERS
- 02 VINYL RAIL & PICKET SYSTEM
- 03 2X FIBER CEMENT TRIM (PAINTED)
- 04 20 YR. ASPHALT SHINGLES
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- 08 5"x4 1/4" ALUMINUM GUTTER
- 09 BRICK VENEER (SILAS LUCAS)
- 10 BRICK ROWLOCK WATERTABLE (SILAS LUCAS)
- 11 VINYL CLAD SINGLE HUNG WINDOW
- 12 4X PT WOOD BRACKET (PAINTED)
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- 14 WOOD BRACKET (PT)
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- 18 PT "X" TRIM (PAINTED)
- 19 GABLE VENT

GENERAL NOTE:

ALL EXTERIOR TRIM TO BE PRE-PRIMED, INCLUDING BACK PRIMING, PRIOR TO INSTALLATION.

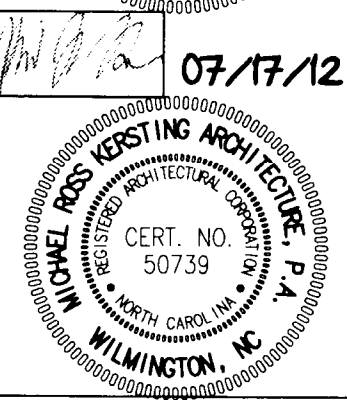
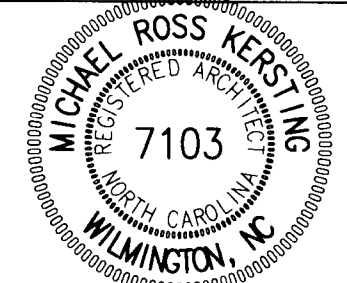
ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: 7-20-2012 SF
BY: DEBRA D. CAMPBELL



02 SIDE ELEVATION BLDGS 12, 13 (A EXP, B)
 SCALE: 3/16"=1'-0"



01 REAR ELEVATION BLDGS 12, 13 (A EXP, B)
 SCALE: 3/16"=1'-0"



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NO.	REVISION DATE	DESCRIPTION
1	16 OCTOBER 2008	PERMIT RESUBMITTAL
2	25 NOVEMBER 2008	PERMIT RESUBMITTAL
3	25 NOVEMBER 2008	PERMIT RESUBMITTAL
4	24 JULY 2009	PERMIT RESUBMITTAL
5	11 OCTOBER 2009	PERMIT RESUBMITTAL
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PROJECT: ASHTON RESERVE AT NORTHLAKE
 10244 and 10430 MOUNT HOLLY-HUNTERSVILLE ROAD
 CITY OF CHARLOTTE ETJ AREA
 MECKLENBURG COUNTY, NORTH CAROLINA

SHEET TITLE: ELEVATIONS - BLDG. TYPES 'A', 'B' & 'C'

DATE: 17 JULY 2012

PROJECT NO: 07.16

MICHAEL ROSS KERSTING
 ARCHITECTURE
 9100 F.A. 4-7930
 330 Military Cutoff Road • Suite A-1 • Wilmington, NC 28405

A2.04

KEYNOTES

- 01 1X PT WOOD LOUVERS
- 02 VINYL RAIL & PICKET SYSTEM
- 03 2X FIBER CEMENT TRIM (PAINTED)
- 04 20 YR. ASPHALT SHINGLES
- 05 FIBER CEMENT CEDAR SHINGLE (5" EXPOSURE)
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- 12 4X PT WOOD BRACKET (PAINTED)
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- 16 3/4"x6" PT DECK BOARD
- 17 OPTIONAL BIMINI SHUTTER SYSTEM (PAINTED)
- 18 PT "X" TRIM (PAINTED)
- 19 GABLE VENT

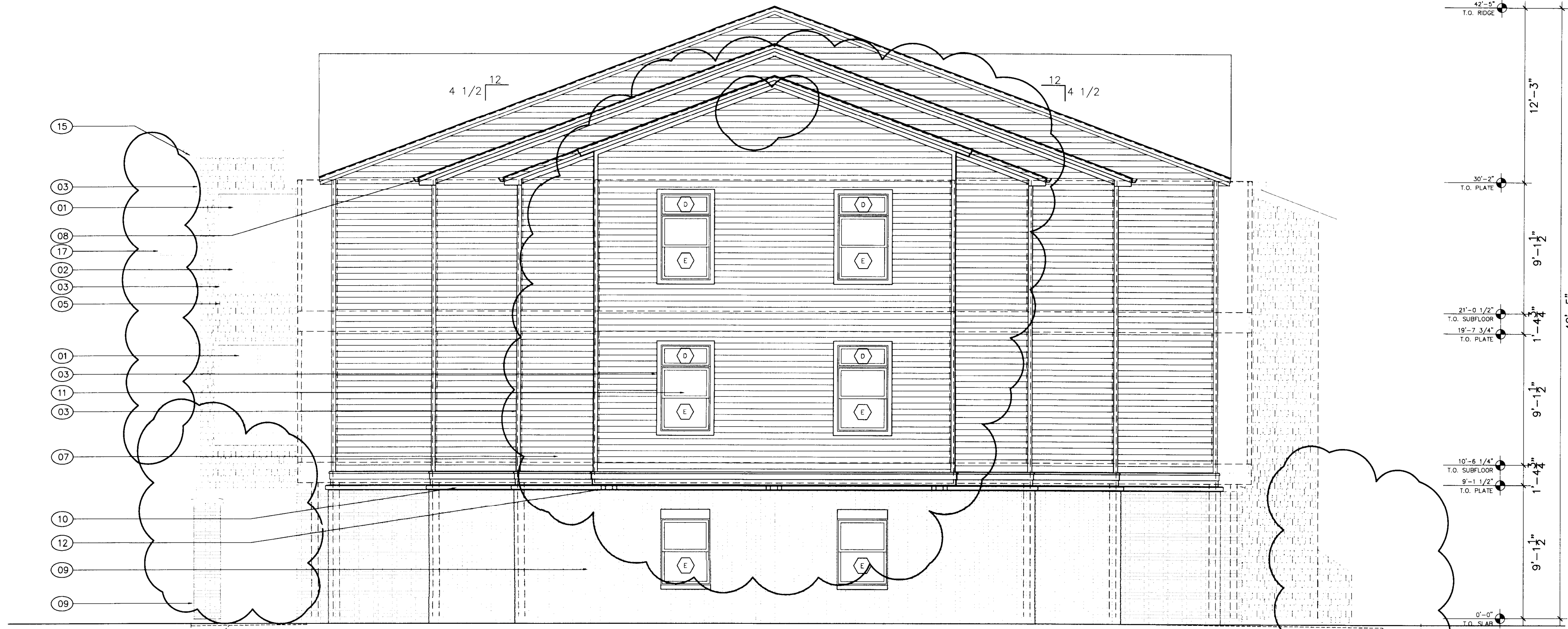
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DATED: 7-20-2012

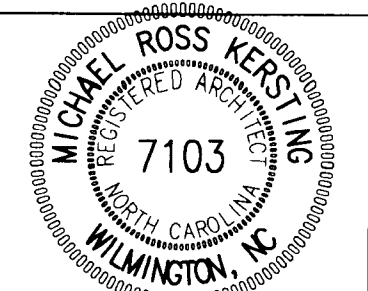
BY: DEBRA D. CAMPBELL



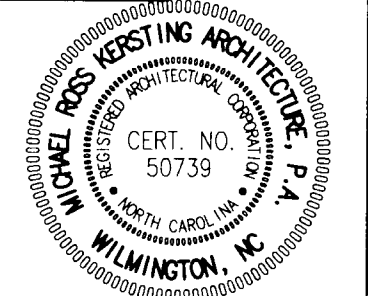
02 SIDE ELEVATION BLDGS 8,9 (D, D+)
A2.4A SCALE: 3/16"=1'-0"



01 FRONT ELEVATION BLDGS 8,9 (D, D+)
A2.4A SCALE: 3/16"=1'-0"



06/21/12



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NO.	REVISION / DATE
1	PERMIT SUBMITTAL 16 OCTOBER 2008
2	PERMIT SUBMITTAL 16 OCTOBER 2008
3	PERMIT SUBMITTAL 16 OCTOBER 2008
4	PERMIT SUBMITTAL 16 OCTOBER 2008
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18	PERMIT SUBMITTAL 16 OCTOBER 2008
19	PERMIT SUBMITTAL 16 OCTOBER 2008

PROJECT:	ASHTON RESERVE AT NORTHLAKE 10244 and 10430 MOUNT HOLLY-HUNTERSVILLE ROAD CITY OF CHARLOTTE, ETJ AREA MECKLENBURG COUNTY, NORTH CAROLINA
SHEET TITLE:	ELEVATIONS - BLDG. TYPES 'D'
DATE:	17 JULY 2012
PROJECT NO.:	07.16

MICHAEL ROSS KERSTING
ARCHITECTURE
910-794-7930
350 Military Cutoff Road • Suite A-1 • Wilmington, NC 28405

SHEET: A2.4A

KEYNOTES

- 01 1X PT WOOD LOUVERS
- 02 VINYL RAIL & PICKET SYSTEM
- 03 2X FIBER CEMENT TRIM (PAINTED)
- 04 20 YR. ASPHALT SHINGLES
- 05 FIBER CEMENT CEDAR SHINGLE (5" EXPOSURE)
- 06 WOOD ARBOR (PT)
- 07 FIBER CEMENT SIDING W/ 5" EXPOSURE
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- 16 3/4"x6" PT DECK BOARD
- 17 OPTIONAL BIMINI SHUTTER SYSTEM(PAINTED)
- 18 PT "X" TRIM (PAINTED)
- 19 GABLE VENT

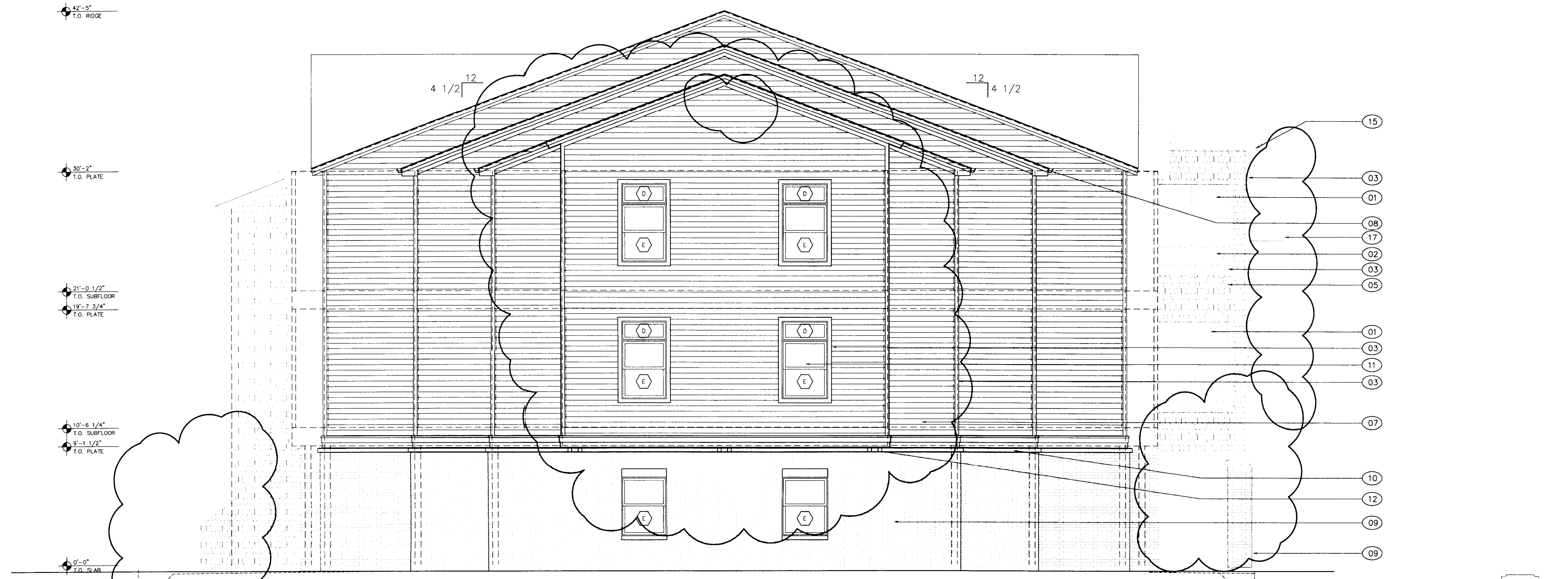
GENERAL NOTE:

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ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 7-26-2012

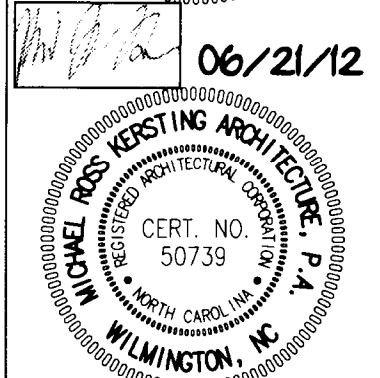
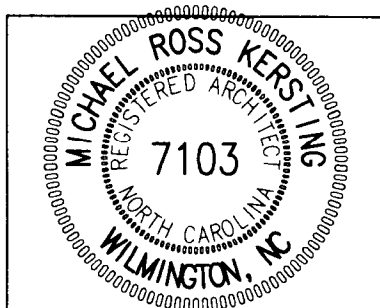
BY: DEBRA D. CAMPBELL



02 SIDE ELEVATION BLDGS 8,9 (D, D+)
SCALE: 3/16"=1'-0"



01 REAR ELEVATION BLDGS 8,9 (D, D+)
SCALE: 3/16"=1'-0"



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NO.	REVISION DATE
A	PERMIT RESUBMITTAL
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PROJECT: ASHTON RESERVE AT NORTHLAKE
10244 and 10430 MOUNT HOLLY-HUNTERSVILLE ROAD
CITY OF CHARLOTTE ETJ AREA
MECKLENBURG COUNTY, NORTH CAROLINA

SHEET TITLE: ELEVATIONS - BLDG. TYPES 'D'

DATE: 17 JULY 2012

PROJECT NO.: 07.16

MICHAEL ROSS KERSTING
ARCHITECTURE
P.A.
910.794.7930
330 Military Cut-off Road • Suite A-1 • Wilmington, NC 28405

SHEET: **A2.4B**

KEYNOTES

- 01 1X PT WOOD LOUVERS
- 02 VINYL RAIL & PICKET SYSTEM
- 03 2X FIBER CEMENT TRIM (PAINTED)
- 04 20 YR. ASPHALT SHINGLES
- 05 FIBER CEMENT CEDAR SHINGLE (5" EXPOSURE)
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- 11 VINYL CLAD SINGLE HUNG WINDOW
- 12 4X PT WOOD BRACKET (PAINTED)
- 13 STAIRS BEYOND
- 14 WOOD BRACKET (PT)
- 15 1X FIBER CEMENT TRIM (PAINTED)
- 16 5/8"x6" PT DECK BOARD
- 17 OPTIONAL BIMINI SHUTTER SYSTEM (PAINTED)
- 18 PT "X" TRIM (PAINTED)
- 19 GABLE VENT

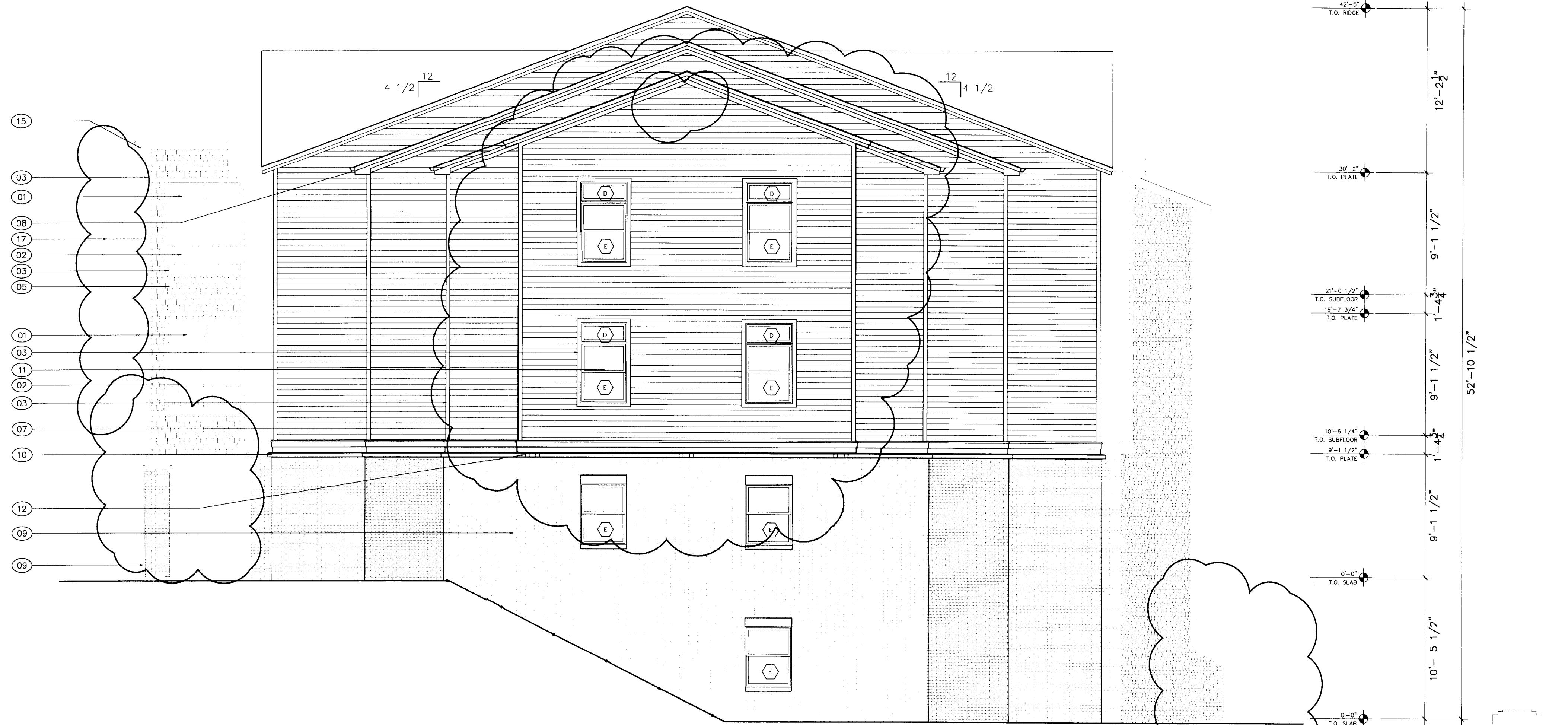
GENERAL NOTE:

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ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 7.10.2012 *bc*

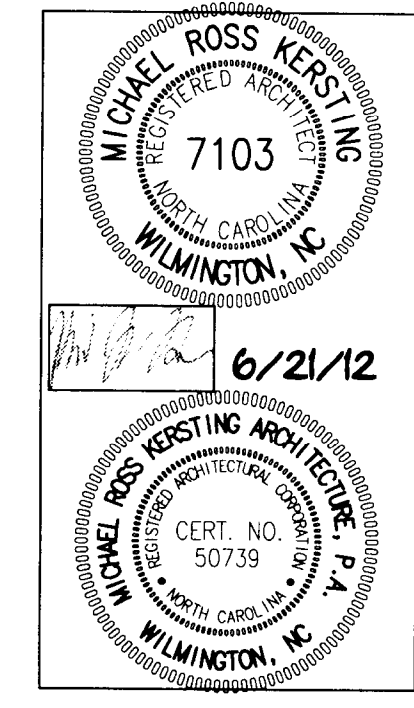
BY: DEBRA D. CAMPBELL



02 SIDE ELEVATION BLDGS 10,11 (E, E+)
SCALE: 3/16"=1'-0"



01 FRONT ELEVATION BLDGS 10,11 (E, E+)
SCALE: 3/16"=1'-0"



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NO.	REVISION DATE
1	PERMIT SUBMITTAL
2	PERMIT SUBMITTAL
3	29 MARCH 2009
4	19 MAY 2009 (APPROVED)
5	PERMIT SUBMITTAL
6	STATE CHANGE
7	15 JUN 2011
8	15 JUN 2011
9	PERMIT SUBMITTAL
10	17 JUL 2012

PROJECT: **ASHTON RESERVE AT NORTHLAKE**
10244 and 10430 MOUNT HOLLY-HUNTERSVILLE ROAD
CITY OF CHARLOTTE ETJ AREA
MECKLENBURG COUNTY, NORTH CAROLINA

SHEET TITLE: **ELEVATIONS - BLDG. TYPES E & E+**

DATE: 17 JUL 2012

PROJECT NO: 07.16

MICHAEL ROSS KERSTING
ARCHITECTURE

P.A.
910.794.7930
330 Military Cutoff Road • Suite A-1 • Wilmington, NC 28405

SHEET: **A2.05**

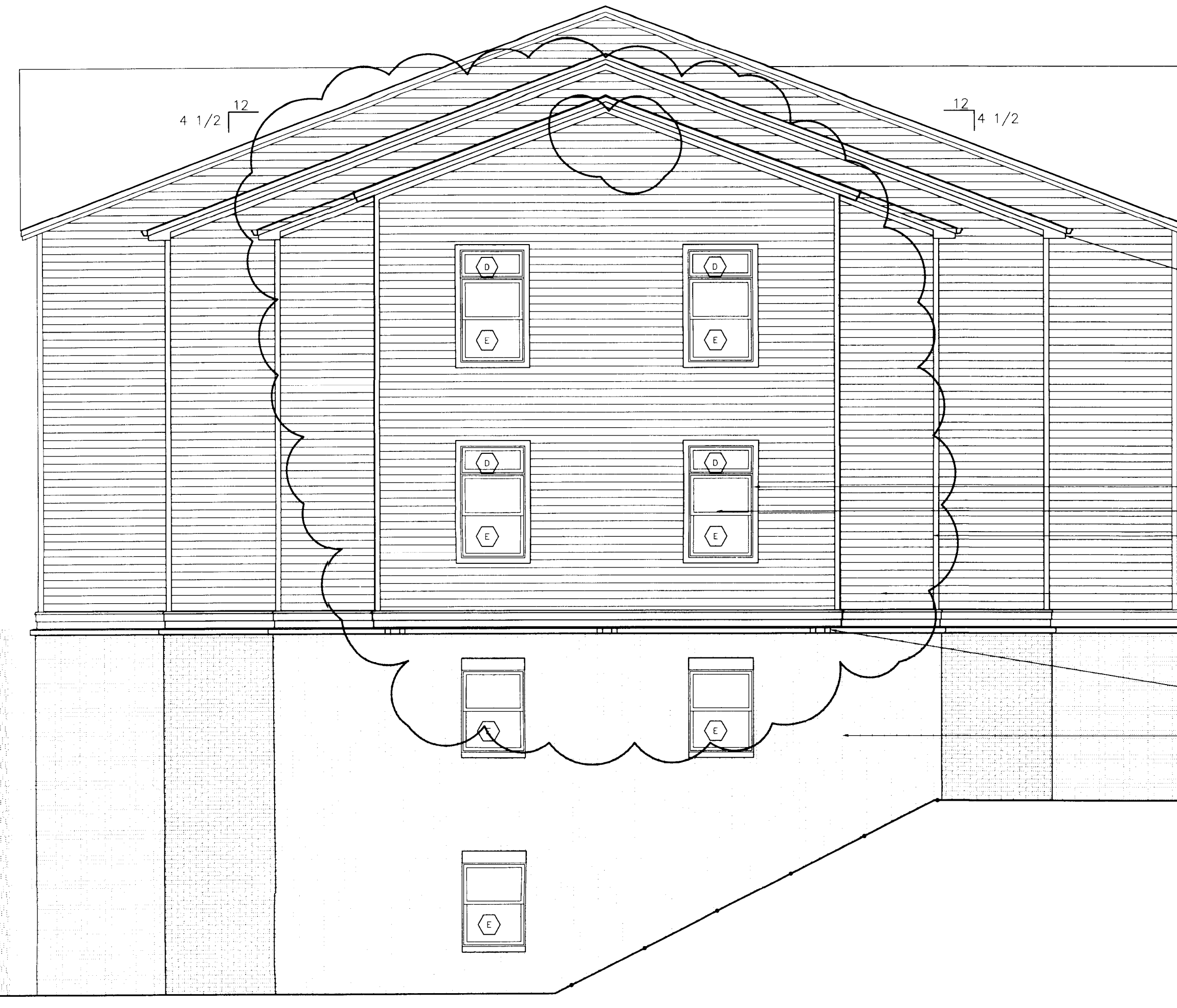
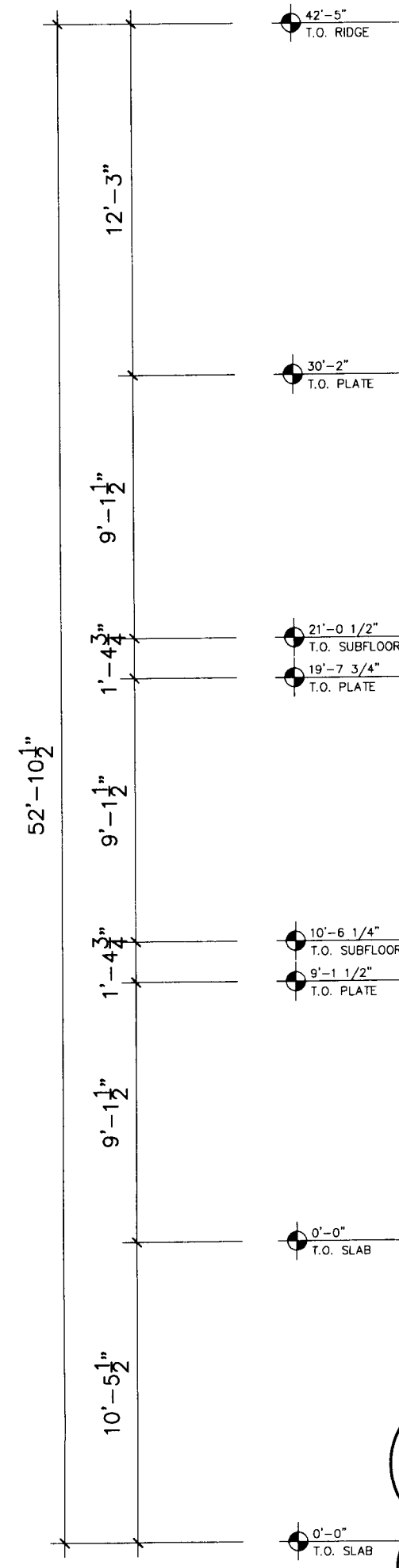
SUPPLEMENT

KEYNOTES

- 01 1X PT WOOD LOUVERS
- 02 VINYL RAIL & PICKET SYSTEM
- 03 2X FIBER CEMENT TRIM (PAINTED)
- 04 20 YR. ASPHALT SHINGLES
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SIDE ELEVATION BLDGS 10,11 (E, E+)

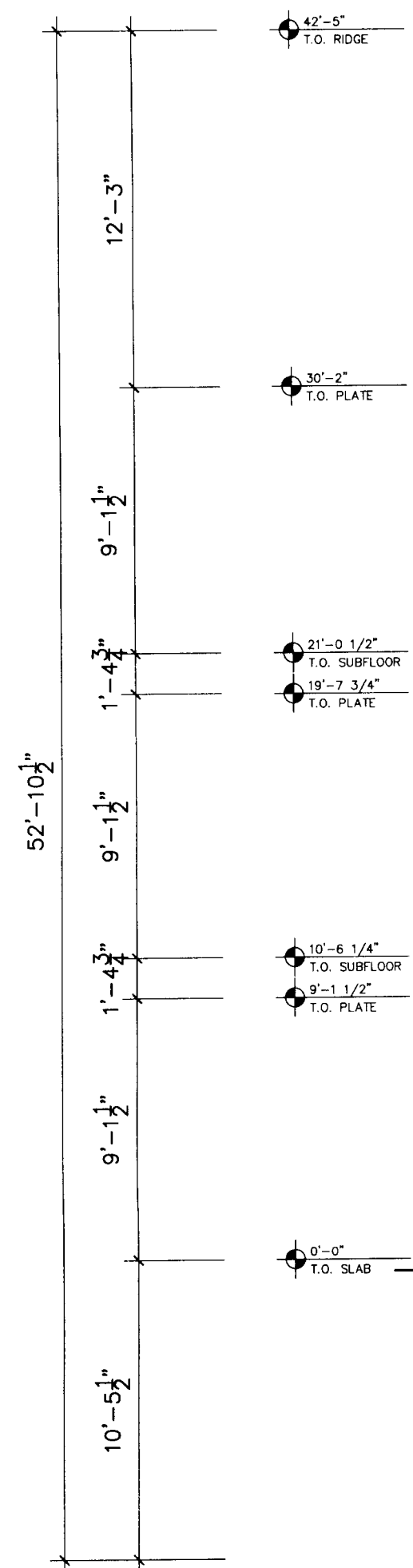
SCALE: 3/16"=1'-0"

MIRROR LINE

ATTACHED TO ADMINISTRATIVE APPROVAL

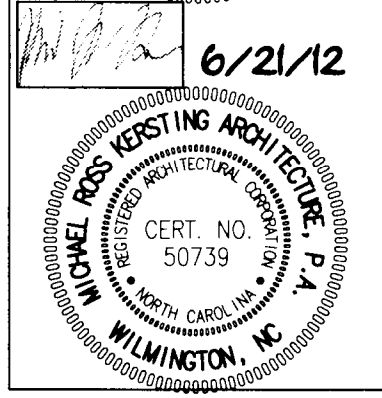
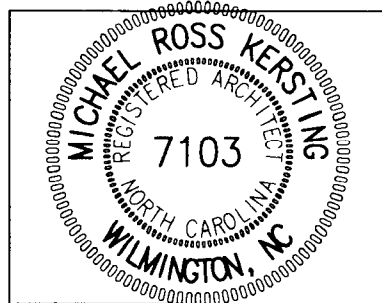
DATED: 7 28 2012

BY: DEBRA D. CAMPBELL



REAR ELEVATION BLDGS 10,11 (E, E+)

SCALE: 3/16"=1'-0"



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NO.	REVISION DATE	DESCRIPTION
1	10 OCT 2008	PERMIT SUBMITTAL
2	10 OCT 2008	PERMIT SUBMITTAL
3	29 MARCH 2009	PERMIT SUBMITTAL
4	19 MAY 2009	PERMIT SUBMITTAL
5	19 MAY 2009	PERMIT SUBMITTAL
6	11 OCT 2010	STAIR CHANGE
7	11 OCT 2010	STAIR CHANGE
8	19 JAN 2011	PERMIT SUBMITTAL
9	19 JAN 2011	PERMIT SUBMITTAL
10	19 JAN 2011	PERMIT SUBMITTAL

PROJECT:	ASHTON RESERVE AT NORTHLAKE 10244 and 10430 MOUNT HOLLY-HUNTERSVILLE ROAD CITY OF CHARLOTTE ETJ AREA MECKLENBURG COUNTY, NORTH CAROLINA
SHEET TITLE:	ELEVATIONS - BLDG. TYPES E & E+
DATE:	17 JUL 2012
PROJECT NO.:	07.16

MICHAEL ROSS KERSTING
ARCHITECTURE
P.A.
910-794-7930
330 Military Cutoff Road • Suite A-1 • Wilmington, NC 28405

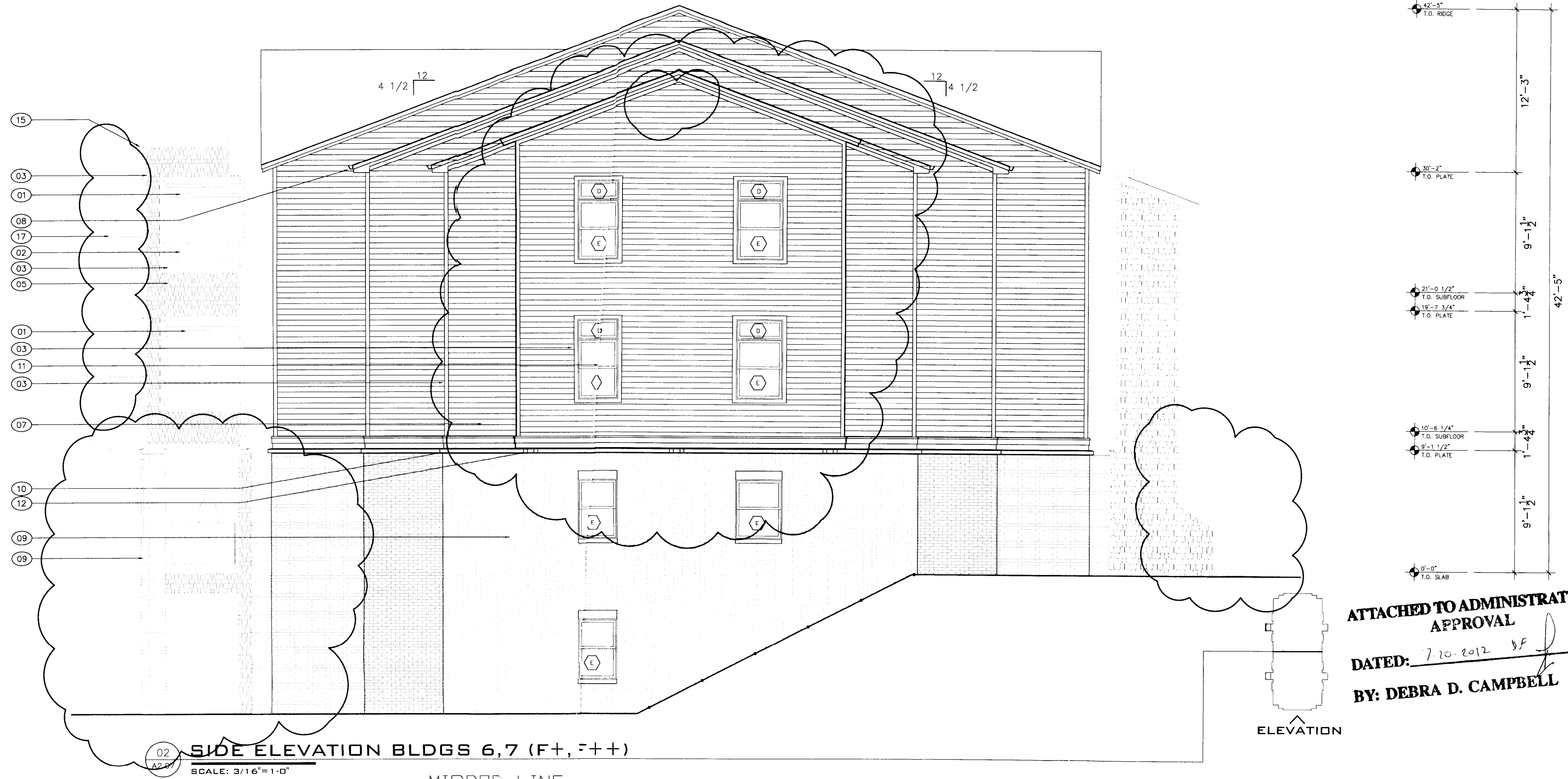
SHEET: **A2.06**
SUPPLEMENT

KEYNOTES

- 01 1X PT WOOD LOUVERS
- 02 VINYL RAIL & PICKET SYSTEM
- 03 2X FIBER CEMENT TRIM (PAINTED)
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- 10 BRICK ROWLOCK WATERTABLE (SILAS LUCAS)
- 11 VINYL CLAD SINGLE HUNG WINDOW
- 12 4X PT WOOD BRACKET (PAINTED)
- 13 STAIRS BEYOND
- 14 WOOD BRACKET (PT)
- 15 1X FIBER CEMENT TRIM (PAINTED)
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- 19 GABLE VENT

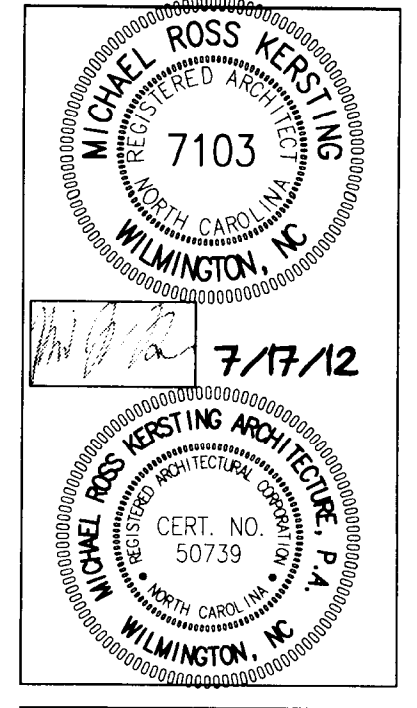
GENERAL NOTE:

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02 SIDE ELEVATION BLDGS 6,7 (F+, F++)
SCALE: 3/16"=1'-0"

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: 7.10.2012
BY: DEBRA D. CAMPBELL



NO.	REVISION DATE	DESCRIPTION
1	16 OCTOBER 2008	PERMIT SUBMITTAL
2	20 FEBRUARY 2009	PERMIT RESUBMITTAL
3	24 JULY 2009	PERMIT RESUBMITTAL
4	24 JULY 2009	PERMIT RESUBMITTAL
5	11 OCT 2009	ADJ. UN. CL. ARTIFICATION
6	21 JUN 2012	PERMIT RESUBMITTAL

PROJECT: ASHTON RESERVE AT NORTHLAKE
10244 and 10430 MOUNT HOLLY-HUNTERSVILLE ROAD
CITY OF CHARLOTTE, ETJ AREA
MECKLENBURG COUNTY, NORTH CAROLINA

SHEET TITLE: ELEVATIONS - BLDG. TYPE F+ & F++

DATE: 17 JUL 2012

PROJECT NO: 07.16

MICHAEL ROSS KERSTING
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SHEET: A2.07
SUPPLEMENT



01 FRONT ELEVATION BLDGS 6,7 (F+, F++)
SCALE: 3/16"=1'-0"

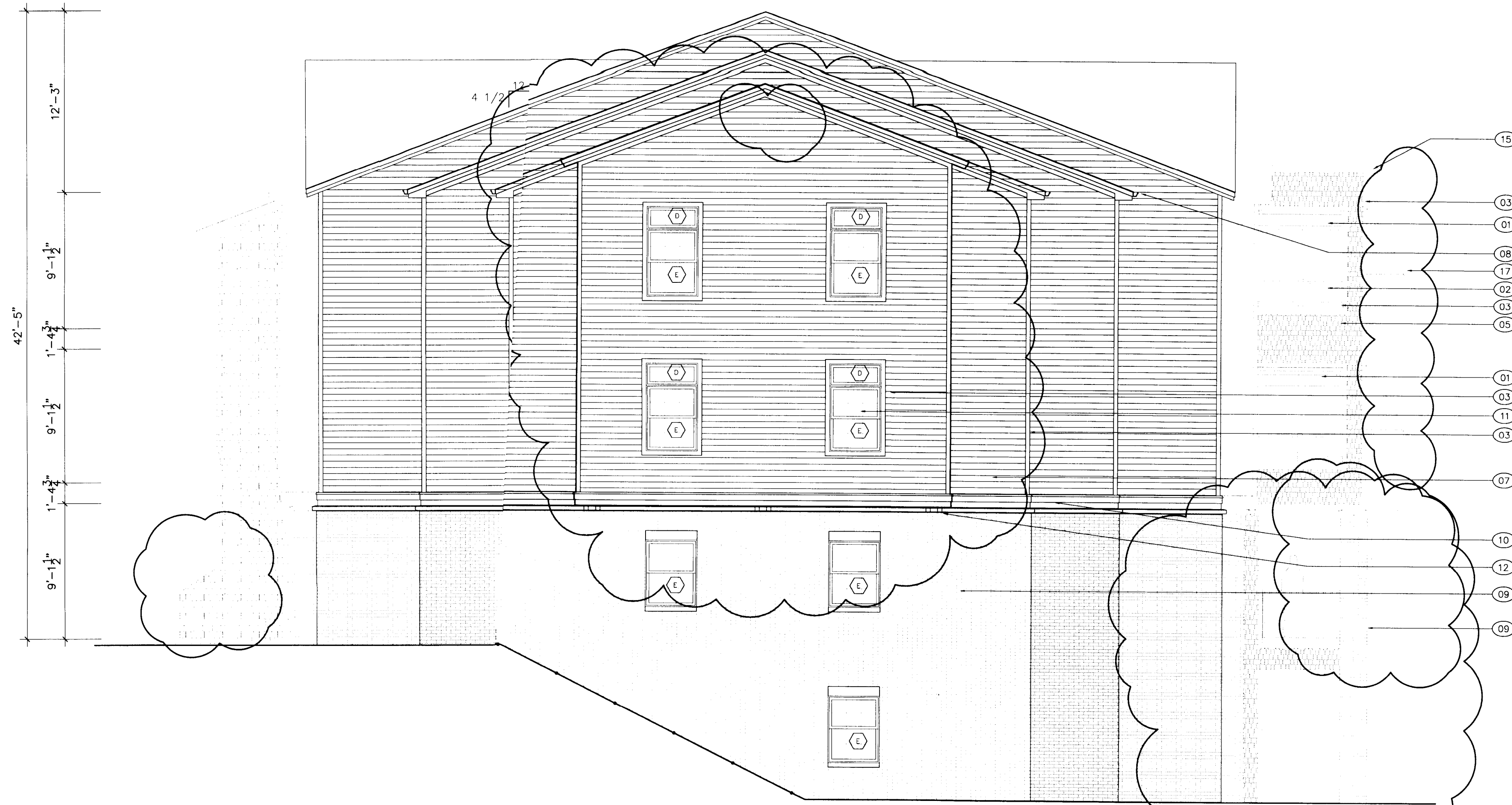
ELEVATION

KEYNOTES

- 01 1X PT WOOD LOUVERS
- 02 VINYL RAIL & PICKET SYSTEM
- 03 2X FIBER CEMENT TRIM (PAINTED)
- 04 20 YR. ASPHALT SHINGLES
- 05 FIBER CEMENT CEDAR SHINGLE (5" EXPOSURE)
- 06 WOOD ARBOR (PT)
- 07 FIBER CEMENT SIDING W/ 5" EXPOSURE
- 08 5"x4" ALUMINUM GUTTER
- 09 BRICK VENEER (SILAS LUCAS)
- 10 BRICK ROWLOCK WATERTABLE (SILAS LUCAS)
- 11 VINYL CLAD SINGLE HUNG WINDOW
- 12 4X PT WOOD BRACKET (PAINTED)
- 13 STAIRS BEYOND
- 14 WOOD BRACKET (PT)
- 15 1X FIBER CEMENT TRIM (PAINTED)
- 16 3/4"x6" PT DECK BOARD
- 17 OPTIONAL BIMINI SHUTTER SYSTEM(PAINTED)
- 18 PT "X" TRIM (PAINTED)
- 19 GABLE VENT

GENERAL NOTE:

ALL EXTERIOR TRIM TO BE PRE-PRIMED, INCLUDING BACK PRIMING, PRIOR TO INSTALLATION.



02 SIDE ELEVATION BLDGS 6,7 F+, F++)
SCALE: 3/16"=1'-0"

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 7.20.2012
BY: DEBRA D. CAMPBELL

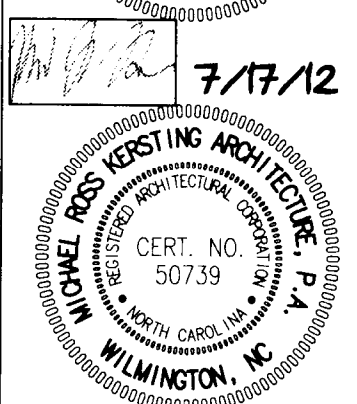
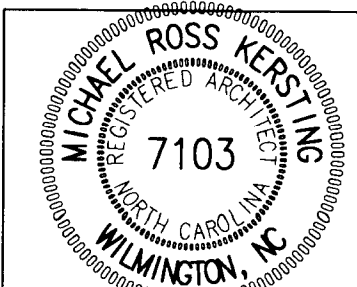
MIRROR LINE

ELEVATION



01 REAR ELEVATION BLDGS 6,7 (F+, F++)
SCALE: 3/16"=1'-0"

ELEVATION



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NO.	REVISION DATE	BY
1	15 OCTOBER 2008	AD
2	23 MARCH 2009	AD
3	24 JULY 2009	AD
4	11 OCT 2010	AD
5	ADA UNIFORM CLARIFICATION	AD
6	ADA UNIFORM CLARIFICATION	AD
7	ADA UNIFORM CLARIFICATION	AD

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SHEET A2.08
SUPPLEMENT