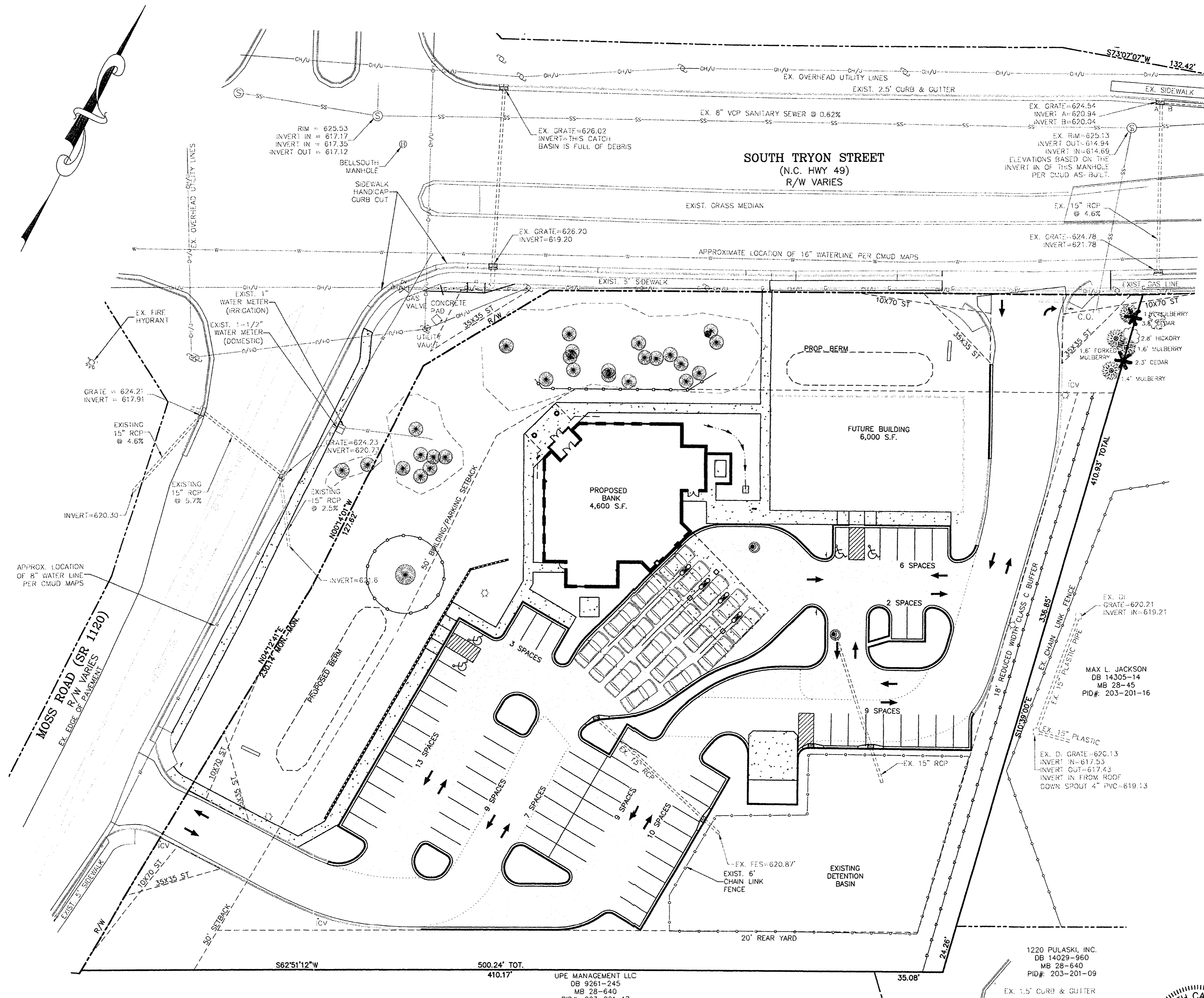
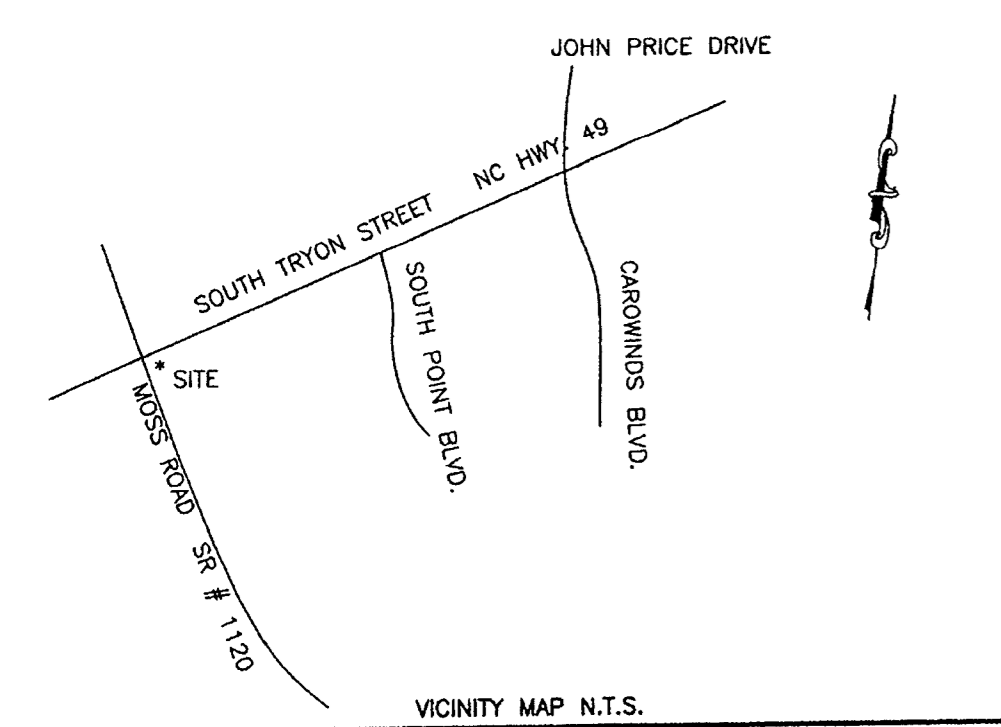


# FOUNDERS CREDIT UNION

ATTACHED TO ADMINISTRATIVE APPROVAL

DEC 3 2013

BY: DEBRA CAMPBELL



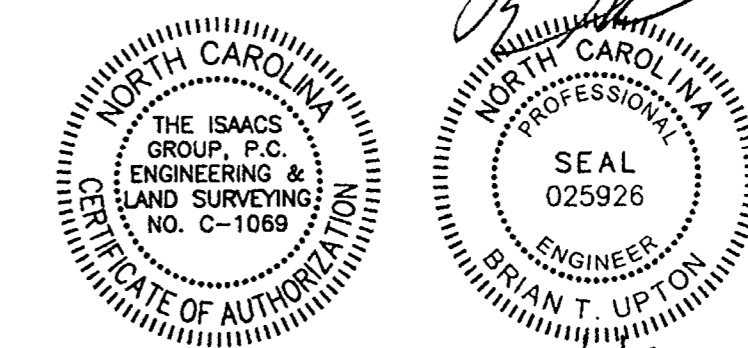
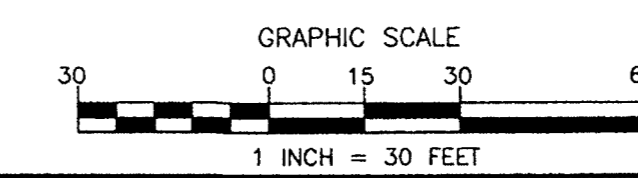
PCCO SUMMARY	
Original Parcel ID Number(s)	20320101
Development Type	Commercial
Subject to PCCO? Y/N	No
If No, why?	
Reasoning	Central Catawba
Disturbed Area (ac)	1.74
Site Area (ac)	5.13
DIST	DA#2
Total on-site Drainage Area (ac)	1.74
Existing Built-up-area (SF)	25,183
Existing BUA to be removed (SF)	8,759
Existing BUA to remain (SF)	16,424
Proposed New BUA (SF)	56,949
Proposed % BUA	78
Density (High/Low)	High
Total Post-Project BUA for site	78,373
Development or Redevelopment?	Development
Natural Area Required (ac)	0
Natural Area provided, total (ac)	0
Undisturbed/Treed Natural Area Preserved (ac)	0
Total stream buffer protected on-site (ac)	No
Transit Station Area? Y/N	Yes
Distressed Business District? Y/N	No
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	No
Buffer Mitigation? Y/N	No
Total Phosphorous Mitigation? Y/N	No

PAVEMENT NOTE:  
ASPHALT PAVEMENT AND CONCRETE PAVEMENT SHALL BE DESIGNED TO HANDLE 80,000 POUNDS.

CONDITIONAL NOTES (PER PETITION # 2005-073):

- ALL DEVELOPMENT STANDARDS ESTABLISHED BY THE CITY'S ZONING ORDINANCE FOR THE O-1 DISTRICT SHALL BE MET.
- ALL USES ALLOWED BY RIGHT, UNDER PRESCRIBED CONDITIONS, INCLUDING ALL ACCESSORY USES AND STRUCTURES, IN THE O-1 ZONING DISTRICT SHALL BE PERMITTED ON THIS SITE, WITH THE FOLLOWING EXCEPTIONS:
  - A. HOTEL/MOTEL,
  - B. JAILS AND PRISON,
  - C. RESIDENTIAL DWELLINGS (SINGLE FAMILY AND MULTI-FAMILY),
  - D. OFF-STREET PARKING,
  - E. OUTDOOR RECREATION,
  - F. RADIO TELEPHONE CELL AND TELEVISION MASTS, TOWERS, ANTENNAE AND SIMILAR STRUCTURES.
- PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE CHARLOTTE TREE ORDINANCE. ALL REQUIRED SCREENING AND BUFFERS SHALL ALSO BE PROVIDED.
- STORM WATER DETENTION SHALL BE PROVIDED AS REQUIRED BY CODE.
- PARKING SHALL BE PROVIDED AS REQUIRED BY CODE.
- NO WETLAND AREAS SHALL BE DISTURBED WITHOUT PRIOR NOTIFICATION TO AND PERMITTING FROM NOENR AND THE US ARMY CORPS OF ENGINEERS.
- VEHICULAR ACCESS SHALL BE LIMITED TO AN ENTRANCE ALONG MOSS ROAD AND SOUTH TRYON STREET, IN THE APPROXIMATE LOCATIONS SHOWN ON PLAN. PETITIONER RESERVES THE RIGHT TO DELETE ONE OF THE ACCESS POINTS, IF HE SO DESIRES. VEHICULAR ACCESS POINTS ARE SUBJECT TO APPROVAL FROM CDOT AND NCDOT. ALL REQUIRED IMPROVEMENTS ASSOCIATED WITH THE DRIVEWAY(S) SHALL BE CONSTRUCTED BY THE PETITIONER. VEHICULAR ACCESS ALONG SOUTH TRYON STREET SHALL BE RIGHT-IN, RIGHT-OUT ONLY.
- SIDEWALK EXISTS ALONG SOUTH TRYON STREET. FIVE FOOT WIDE SIDEWALK WITH MINIMUM EIGHT FOOT WIDE PLANTING STRIP WILL BE INSTALLED ALONG MOSS ROAD BY THE PETITIONER.
- NO BUILDINGS OR PARKING SHALL BE ALLOWED IN THE 50 FOOT LANDSCAPED SETBACK ALONG SOUTH TRYON STREET AND MOSS ROAD.
- BUILDINGS SHALL BE LOCATED ALONG SOUTH TRYON STREET AND MOSS ROAD. PARKING SHALL BE LOCATED IN THE INTERIOR OF THE SITE. ADDITIONAL BUILDINGS MAY BE CONSTRUCTED ALONG THE SOUTHERN PROPERTY LINE.
- BOUNDARY SURVEY BY SPRATT & BROOKS, DATED FEBRUARY 22, 2005.
- STORM WATER DETENTION FACILITIES WILL NOT BE INSTALLED ON SOUTH TRYON STREET AND MOSS ROAD SETBACKS.
- RIGHT-OF-WAY EQUAL TO 50 FEET FROM THE CENTERLINE OF SOUTH TRYON SHALL BE DEDICATED TO THE CDOT.
- EXISTING HEALTHY TREES 5" CALIPER OR GREATER WITHIN THE SOUTH TRYON STREET AND THE FIRST 40 FEET OF THE MOSS ROAD SETBACKS SHALL BE PRESERVED. OTHER HEALTHY TREES WITHIN THE SITE MAY BE PRESERVED AS THE SITE LAYOUT AND CONSTRUCTION ALLOWES.
- ALL BUILDINGS WILL BE CONNECTED BY A SIDEWALK TO SIDEWALKS ALONG ROADWAYS.
- MOSS ROAD IS A RESIDENTIAL COLLECTOR STREET. 2.5 FOOT CURB AND GUTTER SHALL BE INSTALLED ALONG MOSS ROAD IN FRONT OF THE SUBJECT PROPERTY BY THE PETITIONER.

SHEET SCHEDULE	
C0.0	COVER SHEET
C1.0	SITE PLAN
C1.1	LANDSCAPE PLAN
C2.0	UTILITY PLAN
C3.0	GRADING PLAN
C4.0	EROSION CONTROL PLAN
C5.0	DEMOLITION PLAN
C6.0	DETAILS AND SPECIFICATIONS REZONING PLAN



PETITION # 2005-073

Project:		FOUNDERS CREDIT UNION	
11115 S. TRYON ST. - CHARLOTTE, NORTH CAROLINA		Title:	
COVER SHEET		Project Egr: BTU	
File #:	13100-PB-DWG	Date:	5/1/13
Design By:	WSP	Drawn By:	WSP/CBH
Scale:	1"=30'	Project No.:	2005-073
8720 RED OAK BOULEVARD, SUITE 420 CHARLOTTE, N.C. 28217 PHONE (704) 527-3440 FAX (704) 527-8335		C0.0	



## Charlotte-Mecklenburg Planning Department

DATE: December 3, 2013

TO: Mark Fowler  
Zoning Supervisor

FROM: Debra Campbell  
Planning Director

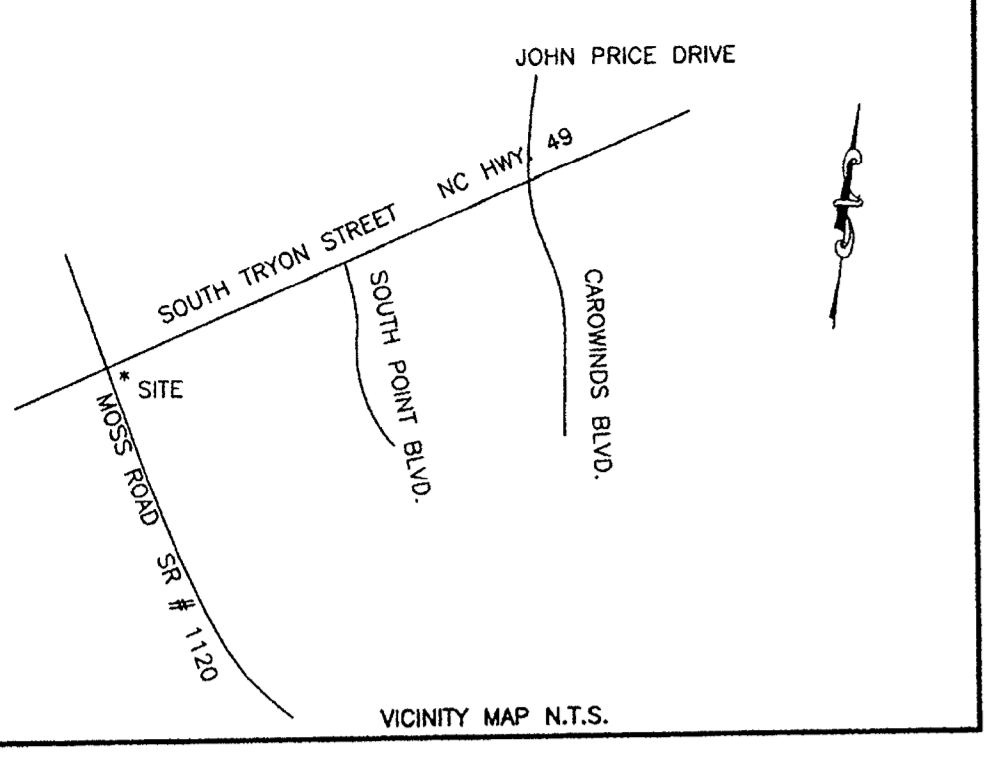
SUBJECT: Administrative Approval for Petition No. 2005-073 Clayton Properties

Attached is the site plan showing the modification of the building and parking layout for a new bank. Since these changes do not alter the intent of the development and meet the requirements of the conditional site plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note: All other Zoning, Subdivision, Tree Ordinance and conditional requirements still apply.

Signage was not reviewed as part of this request.

Pages with approval stamp were only reviewed.



**FLOOD PLAIN NOTE:**  
SITE IS NOT WITHIN A REGULATED FLOOD PLAIN

**ZONING CODE SUMMARY**

PROJECT NAME: FOUNDERS CREDIT UNION  
 OWNER/AGENT: FOUNDERS CREDIT UNION  
 PLANS PREPARED BY: THE ISAACS GROUP, P.C. PHONE #: 704-527-3440  
 ZONING: O-1(CD) JURISDICTION: CITY OF CHARLOTTE  
 TAX PARCEL #: 203-201-01 PETITION #: 2005-073  
 PROPOSED USE: BANK STORIES: 1 GROSS FLOOR AREA: 4,600 SQ. FEET  
 LOT SIZE: 136,165/3.13 SQ. FEET/ACRES NUMBER OF UNITS/SUITES:  
 EXISTING BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 25,183/0.98 SQ. FT./ACRES  
 PROPOSED BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 59,949/1.38 SQ. FT./ACRES  
 FUTURE BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 6,700/0.15 SQ. FT./ACRES  
 YARD REQUIREMENTS:  
 BUILD TO LINE (FRONT): 50' FT. REAR YARD: 20'  
 SIDE YARD (L): 5' FT. SIDE YARD (R): 0'  
 REQUIRED SCREENING:  
 FRONT: NO (YES) REAR: NO (YES) NO (YES)  
 SIDE (L): NO (YES) SIDE (R): NO (YES)  
 PARKING DATA: CITY OF CHARLOTTE ZONING ORDINANCE  
 REQUIRED: ONE SPACE PER 300 SQUARE FEET OF FLOOR AREA  
 REQUIRED: 10,600 SF / 300 = 35 SPACES  
 PROVIDED: 68 HANDICAP: 4  
 ALL SIGNAGE WILL BE PERMITTED SEPARATELY.  
 SHORT-TERM BICYCLE PARKING REQUIRED = 5% OF AUTO PARKING = 0.05\*59 = 2.95  
 2 LONG TERM SPACES REQUIRED  
 2 LONG TERM AND 4 SHORT TERM PROVIDED  
 ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SF OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.  
 AN ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS MUST BE POSTED ON BUILDING

**PAVING SPECIFICATIONS**  
 \*VERIFY WITH GEOTECHNICAL REPORT\*

**ASPHALT PAVEMENT:**  
 6" COMPACTED AGGREGATE BASE COURSE (CABC)  
 7" BINDER COURSE, 119.08  
 1" SURFACE COURSE, 59.58

**CONCRETE DUMPSTER AND PAVEMENT:**  
 5" COMPACTED STONE BASE COURSE (NCDOT TYPE 57M)  
 7" 3600 PSI CONCRETE WITH 6" X 6" WIRE MESH REINFORCEMENT (10 GAUGE)

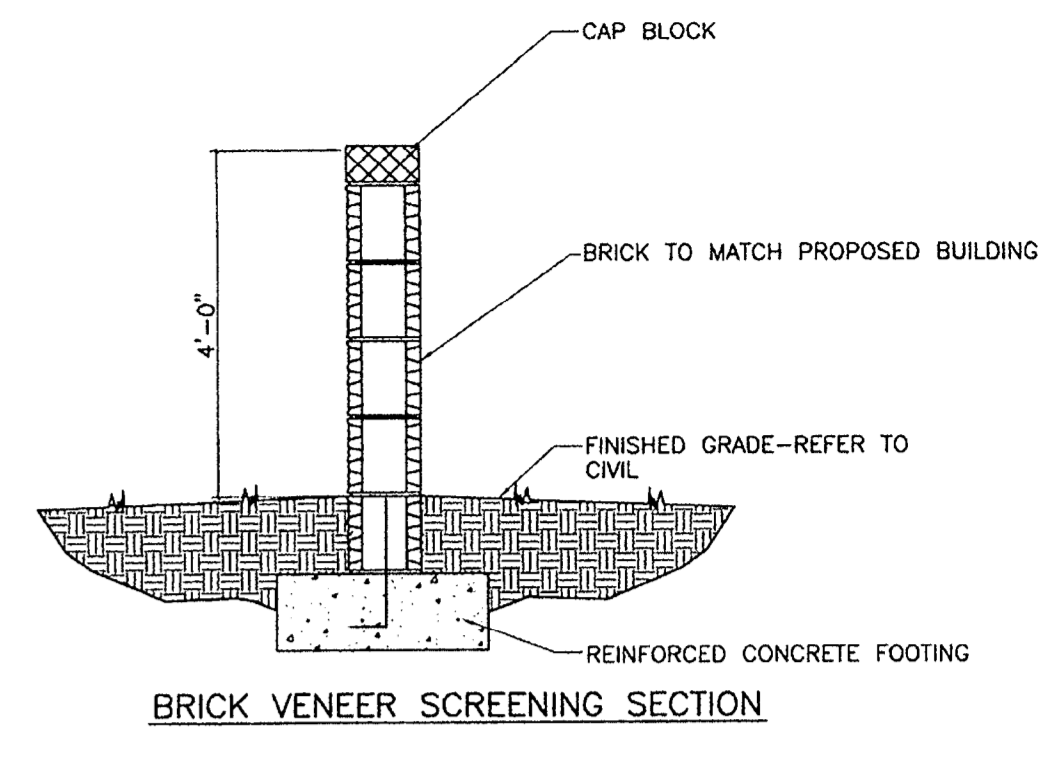
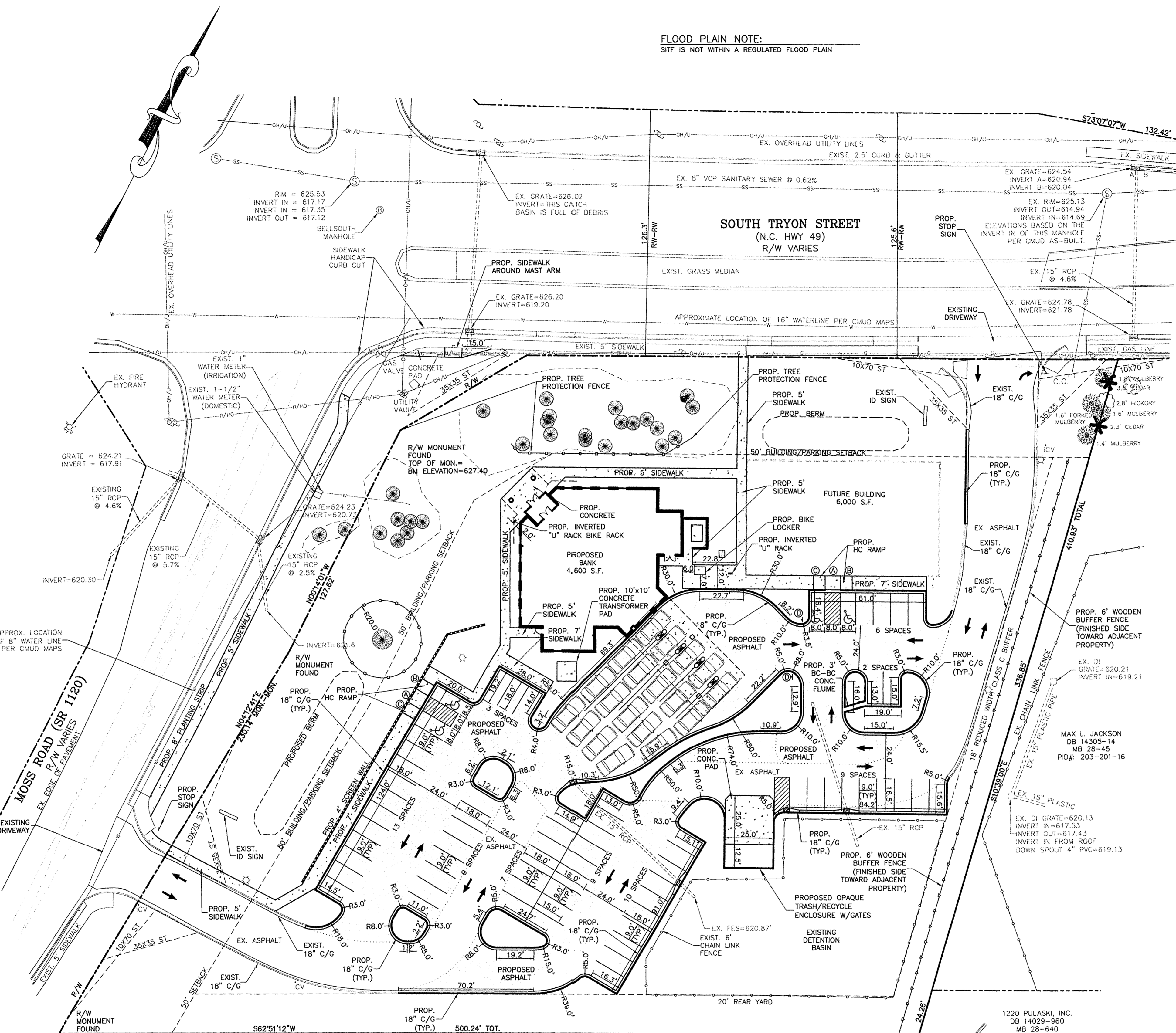
**CONCRETE SIDEWALK PAVEMENT:**  
 4" 3600 PSI CONCRETE  
 SUBGRADE SHALL BE COMPACTED TO 95% MAX. DENSITY

**NOTES:**

- ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL, BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 98 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTATION SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
- PAVEMENT SPECIFICATIONS LISTED ABOVE ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT. PRIOR TO COMMENCEMENT OF PAVING, THE OWNER OR CONTRACTOR SHOULD HIRE A GEOTECHNICAL ENGINEER TO PROVIDE A PAVEMENT DESIGN BASED UPON ANTICIPATED VEHICULAR TRAFFIC AND PROJECT SOIL CONDITIONS. THE ISAACS GROUP ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE PAVEMENT SPECIFICATION PROVIDED ABOVE.
- CONCRETE JOINTS SHALL BE DESIGNED PER ACI 224.3R AND/OR ACI 330. CONTRACTOR SHALL DESIGN JOINTS AND SUBMIT TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

**NOTES:**

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP, P.C., THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE UTILITY OWNER. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)-336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)-336-6692 FOR REQUIRED PERMITS.
- BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. "IT'S THE LAW."
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- ALL WORK DONE WITHIN THE CITY RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHARLOTTE W.A.T.C.H. HANDBOOK 2006 EDITION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.

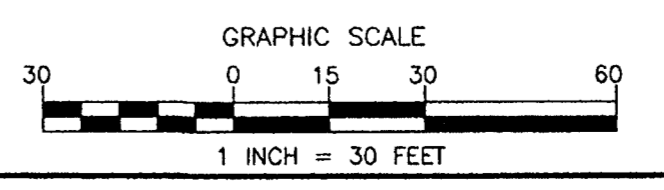


**PAVEMENT NOTE:**  
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 B. JAILS AND PRISON  
 C. RESIDENTIAL DWELLINGS (SINGLE FAMILY AND MULTI-FAMILY),  
 D. OFF-STREET PARKING,  
 E. OUTDOOR RECREATION,  
 F. RADIO TELEPHONE CELL AND TELEVISION MASTS, TOWERS, ANTENNAE AND SIMILAR STRUCTURES.
  - PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE CHARLOTTE TREE ORDINANCE. ALL REQUIRED SCREENING AND BUFFERS SHALL ALSO BE PROVIDED.
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  - PARKING SHALL BE PROVIDED AS REQUIRED BY CODE.
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  - BOUNDARY SURVEY BY SPRATT & BROOKS, DATED FEBRUARY 22, 2005.
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  - RIGHT-OF-WAY EQUAL TO 50 FEET FROM THE CENTERLINE OF SOUTH TRYON SHALL BE DEDICATED TO THE CDOT.
  - EXISTING HEALTHY TREES 5" CALIPER OR GREATER WITHIN THE SOUTH TRYON STREET AND THE FIRST 40 FEET OF THE MOSS ROAD SETBACKS SHALL BE PRESERVED. OTHER HEALTHY TREES WITHIN THE SITE MAY BE PRESERVED AS THE SITE LAYOUT AND CONSTRUCTION ALLOWS.
  - ALL BUILDINGS WILL BE CONNECTED BY A SIDEWALK TO SIDEWALKS ALONG ROADWAYS.
  - MOSS ROAD IS A RESIDENTIAL COLLECTOR STREET. 2.5 FOOT CURB AND GUTTER SHALL BE INSTALLED ALONG MOSS ROAD IN FRONT OF THE SUBJECT PROPERTY BY THE PETITIONER.

- SIGN SCHEDULE**
- (A) RESERVED PARKING - MAX PENALTY \$250 (MUTCD R7-8 & R7-8D)
  - (C) VAN ACCESSIBLE HANDICAPPED PARKING SIGN (MUTCD R7-8, R7-8A, & R7-8D)
  - (D) DO NOT ENTER SIGN (18"x18") (MUTCD R1-1-30)

- LEGEND**
- PROPOSED ASPHALT
  - PROPOSED CONCRETE
  - PROPOSED SCREENING WALL
  - PROPOSED BUFFER FENCE
  - PROPOSED LIGHT POLE
  - EXISTING LIGHT POLE



ATTACHED TO ADMINISTRATIVE APPROVAL

DEC 3 2013

BY: DEBRA CAMPBELL

PETITION # 2005-073

**FOUNDERS CREDIT UNION**  
 11115 S. TRYON ST. - CHARLOTTE, NORTH CAROLINA

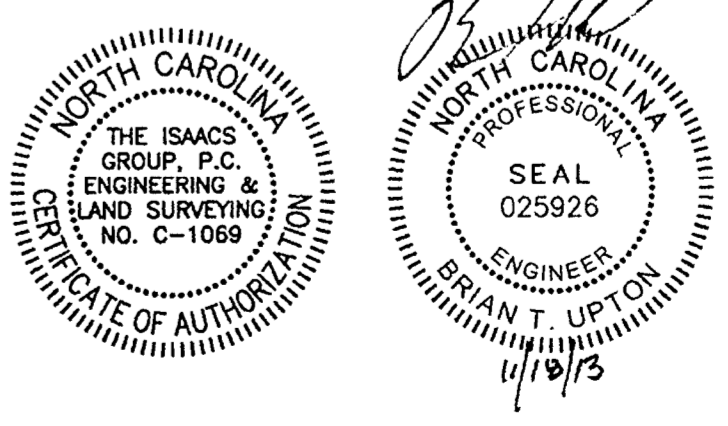
**SITE PLAN**

Project: 13100-PB.DWG Date: 5/14/13  
 Design By: WDP  
 Drawn By: WDP/CBH  
 Scale: 1"=30'

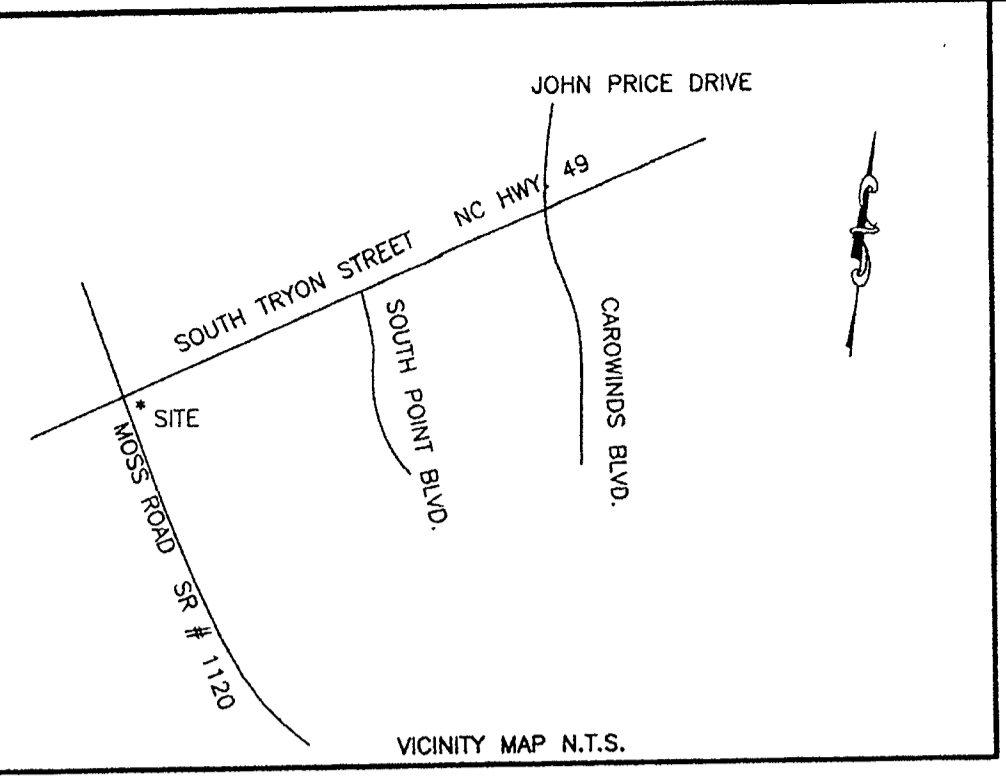
8720 RED OAK BOULEVARD, SUITE 420  
 CHARLOTTE, N.C. 28217  
 PHONE (704) 527-3440 FAX (704) 527-8355

**ISAACS**  
 CIVIL ENGINEERING DESIGN AND LAND SURVEYING  
 NO. C-1069

SEAL 025926  
 BRANT T. UPTON  
 ENGINEER  
 11/19/13



NO.	BY	DATE	REVISION
1	WDP	7/17/13	PER REVIEW COMMENTS
2	CBH	10/08/13	REVISED SITE CONFIGURATION
3	WDP	11/18/13	PER REVIEW COMMENTS



**LANDSCAPING REQUIREMENTS:**

**INTERNAL PLANTING:**  
 REQ'D PLANTING AREA = 10% OF TOTAL IMPERVIOUS SURFACE  
 INTERNAL LANDSCAPING = 1 LMT REQ'D PER 10,000 S.F. IMPERVIOUS AREA  
 IMPERVIOUS AREA = 78,373 SF  
 = 78,373/10,000  
 = 8 LMT REQUIRED  
 = 11 LMT PROVIDED + BUFFER TREES  
 TOTAL SITE AREA = 136,165 SF

**PERIMETER PLANTING (URBAN ZONE):**  
 ONE LMT REQ'D PER 40' OF STREET FRONTAGE  
 S. TRYON ROAD FRONTAGE = 381 L.F.  
 REQUIRED STREET TREES = 381 L.F./40' = 10 LMT  
 PROVIDED STREET TREES = 3 PROP. LMT + 19 EXIST. LMT  
 MOSS ROAD FRONTAGE = 358 L.F.  
 REQUIRED STREET TREES = 358 L.F./40' = 9 LMT  
 PROVIDED STREET TREES = 6 PROP. LMT + 8 EXIST. LMT  
 EACH PARKING SPACE MUST BE WITHIN 40 FEET OF A TREE

NOTE: L.M.T. TO HAVE A MINIMUM TREE CALIPER OR 2.0 INCHES MEASURED 6 INCHES ABOVE GROUND ON ALL TREES AND THE MINIMUM HEIGHT SHALL BE 8 FEET. ALL MULTI-STEM PLANTS MUST BE TREE FORM (MAXIMUM 3 TRUNKS) AND MINIMUM 8' TALL. MULCH IS REQUIRED, STAKING/GUYING IS OPTIONAL.

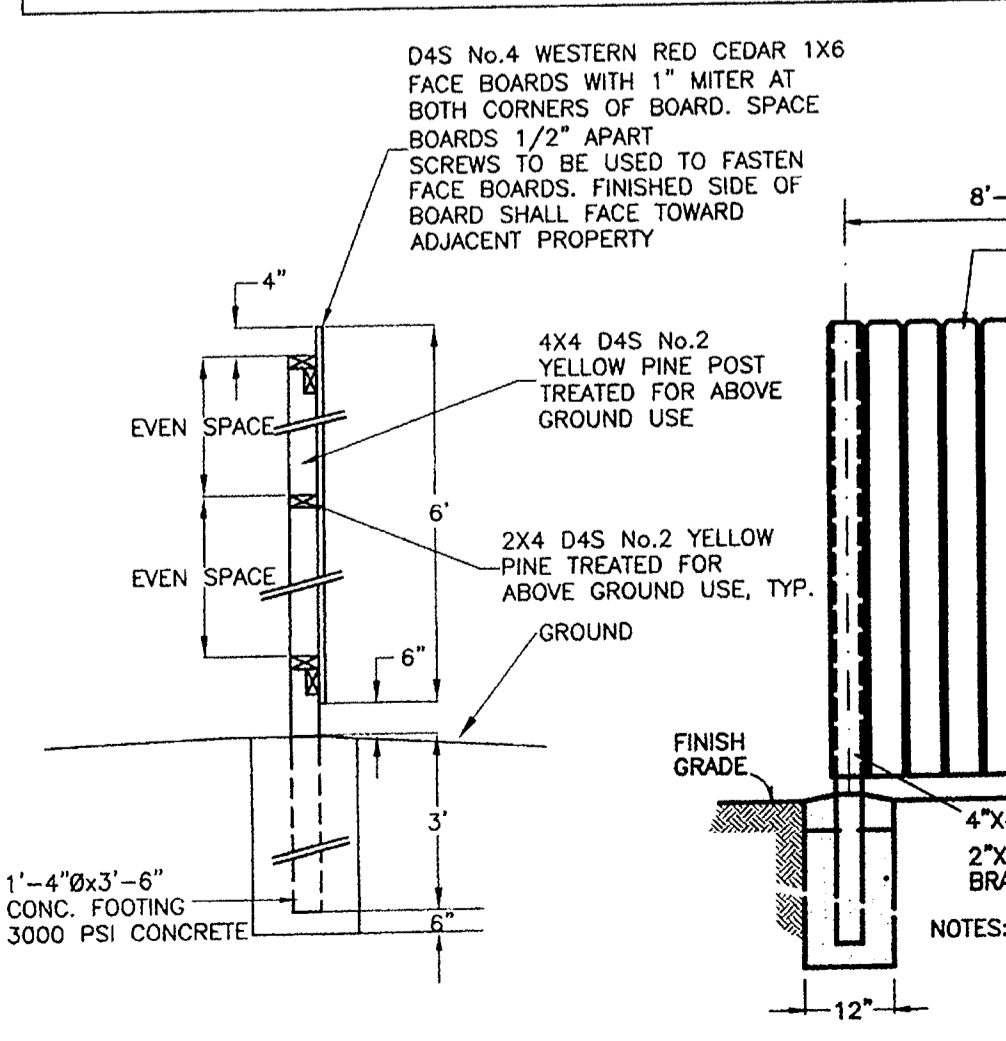
NOTE: SHRUBS USED FOR SCREENING TO BE EVERGREEN FROM THE APPROVED LIST IN APPENDIX 1 OF THE CHARLOTTE ZONING ORDINANCE. SHRUBS TO BE AT LEAST 2.0' TALL AND MIN 2.0' SPREAD WHEN PLANTED AND NO FURTHER APART THAN 5'. THEY MUST BE OF A VARIETY AND ADEQUATELY MAINTAINED SO THAT AN AVERAGE OF 5 TO 6 FEET COULD BE EXPECTED AS NORMAL GROWTH WITHIN 4 YEARS OF PLANTING.

**BUFFER REQUIREMENTS:**  
 PER CHARLOTTE ORDINANCE PART 3, SECTION 12.302, TABLES 12.302(A) & 12.302(B) PROPOSED OFFICE & CLINICS, UP TO 50,000 SQ. FT., ABUTTING EXISTING I-(CD) ZONING PROPOSED 24' CLASS C BUFFER REDUCED BY 25% (VIA 6' FENCE)=18' CLASS C BUFFER  
 4 TREES REQUIRED PER 100'=4(309'/100) =13 TREES REQUIRED  
 =13 TREES PROVIDED (3 LMT + 4 MMT+ EXIST. TREES)

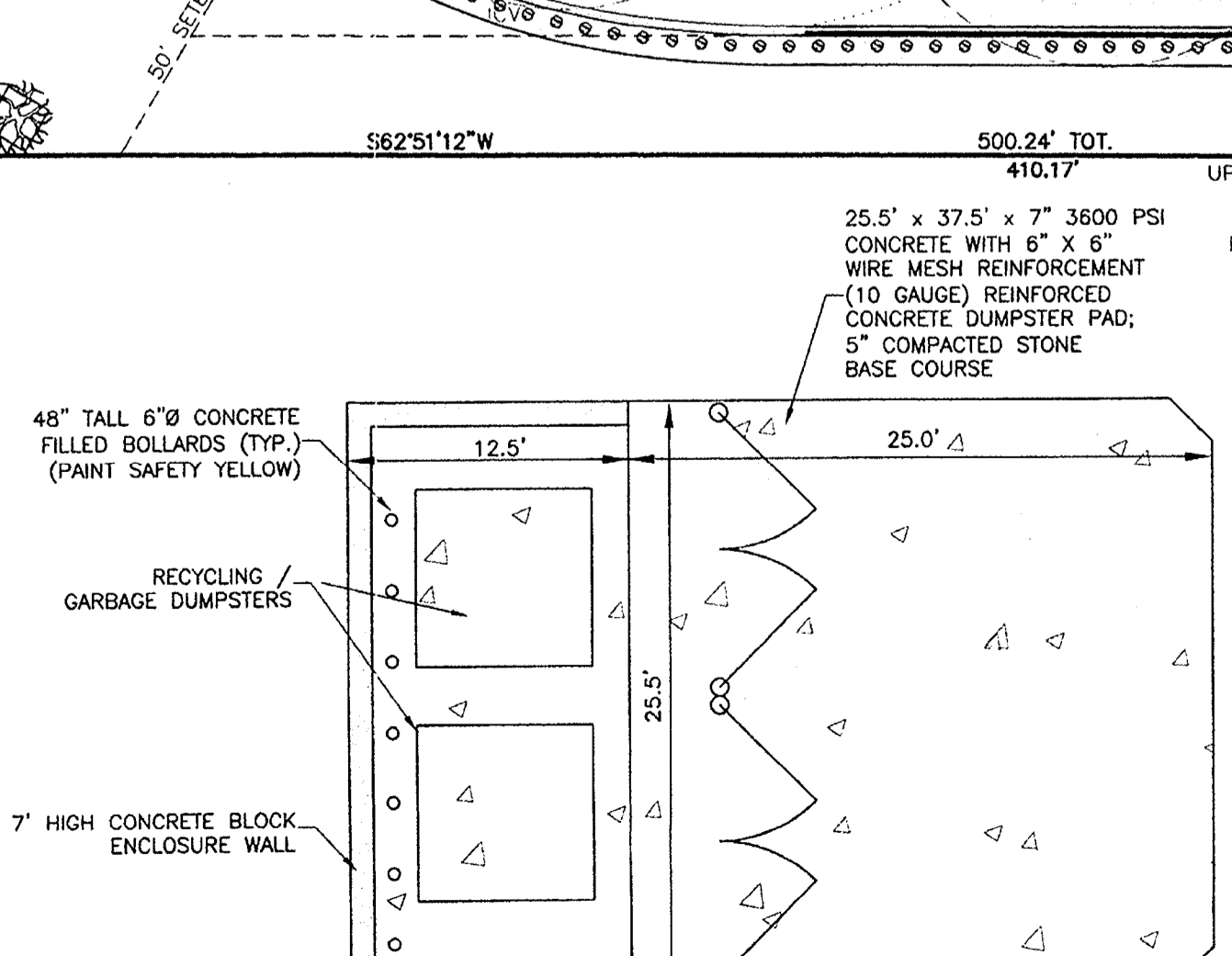
NOTE: L.M.T. & S.M.T. REPRESENTS LARGE MATURING & SMALL MATURING TREES FROM APPROVED LIST IN APPENDIX OF THE CITY OF CHARLOTTE ZONING ORDINANCE FOR SCREENING AND BUFFER TREES, AND FROM THE URBAN FORESTRY APPROVED LIST FOR STREET TREES AND INTERNAL PLANTINGS REQUIRED BY THE TREE ORDINANCE. MINIMUM TREE CALIPER MEASURED 6 INCHES ABOVE GROUND ON ALL TREES SHALL BE 2.0 INCHES AND THE MINIMUM HEIGHT SHALL BE 8 FEET. ALL MULTI-STEM PLANTS MUST BE TREE FORM (MAXIMUM 3 TO 5 TRUNKS) AND MINIMUM 8' TALL.

NOTE: SHRUBS USED FOR SCREENING TO BE EVERGREEN FROM THE APPROVED LIST IN APPENDIX 1 OF THE CHARLOTTE ZONING ORDINANCE. SHRUBS TO BE AT LEAST 2.0' TALL AND MIN 2.0' SPREAD WHEN PLANTED AND NO FURTHER APART THAN 5'. THEY MUST BE OF A VARIETY AND ADEQUATELY MAINTAINED SO THAT AN AVERAGE OF 5 TO 6 FEET COULD BE EXPECTED AS NORMAL GROWTH WITHIN 4 YEARS OF PLANTING.

FOR LATE WINTER AND EARLY SPRING	FOR SUMMER	FOR FALL
<p>REQUIREMENTS: 1. PLANTING DATE: NOVEMBER 15 - FEBRUARY 15. 2. PLANTING METHOD: 3. PLANTING MATERIALS: 4. PLANTING DENSITY: 5. PLANTING SPECIES: 6. PLANTING SIZE: 7. PLANTING LOCATION: 8. PLANTING MAINTENANCE: 9. PLANTING COST: 10. PLANTING NOTES:</p>	<p>REQUIREMENTS: 1. PLANTING DATE: MARCH 15 - MAY 15. 2. PLANTING METHOD: 3. PLANTING MATERIALS: 4. PLANTING DENSITY: 5. PLANTING SPECIES: 6. PLANTING SIZE: 7. PLANTING LOCATION: 8. PLANTING MAINTENANCE: 9. PLANTING COST: 10. PLANTING NOTES:</p>	<p>REQUIREMENTS: 1. PLANTING DATE: JUNE 15 - SEPTEMBER 15. 2. PLANTING METHOD: 3. PLANTING MATERIALS: 4. PLANTING DENSITY: 5. PLANTING SPECIES: 6. PLANTING SIZE: 7. PLANTING LOCATION: 8. PLANTING MAINTENANCE: 9. PLANTING COST: 10. PLANTING NOTES:</p>

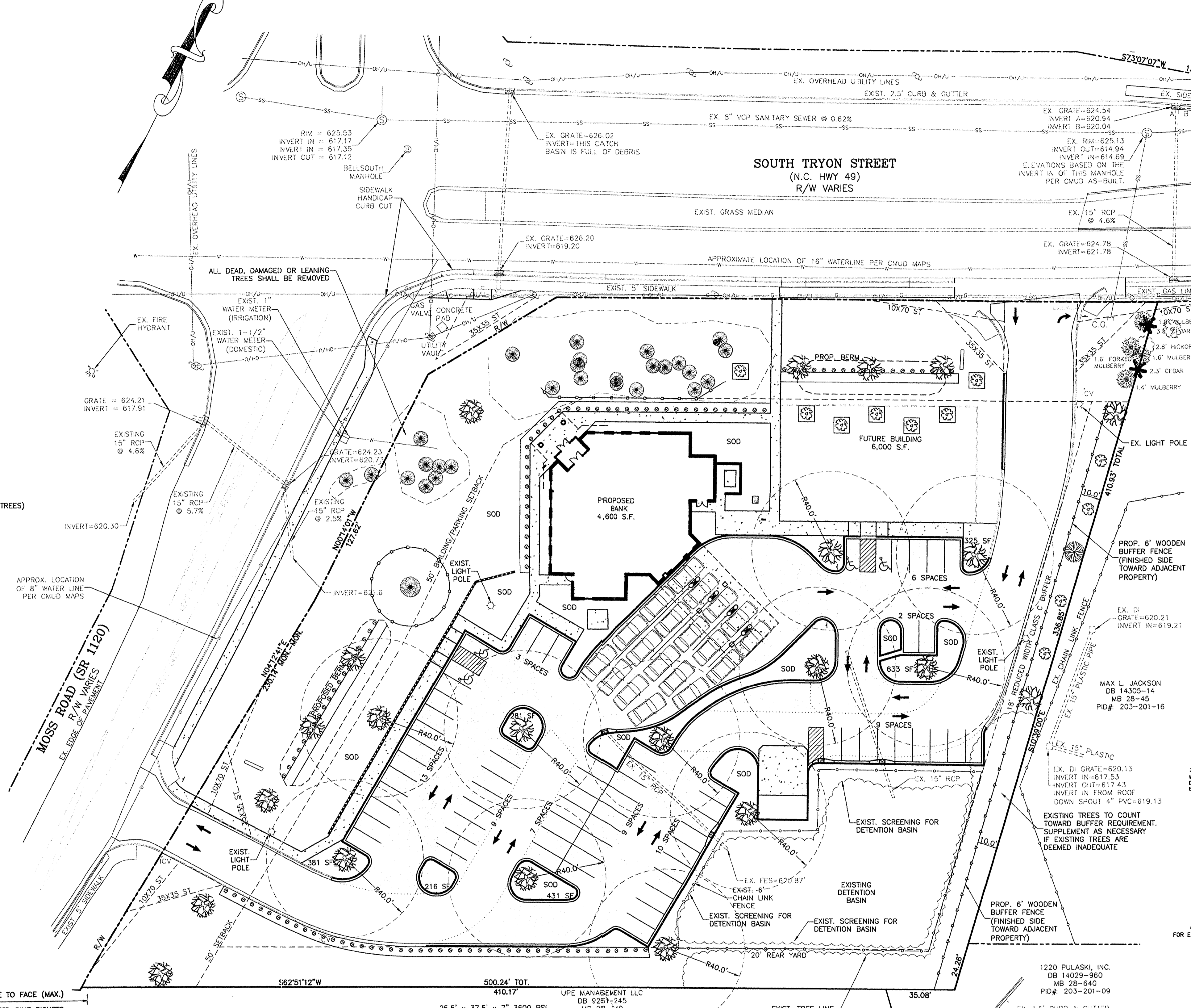


**PROPOSED WOODEN STOCKADE FENCE DETAIL**



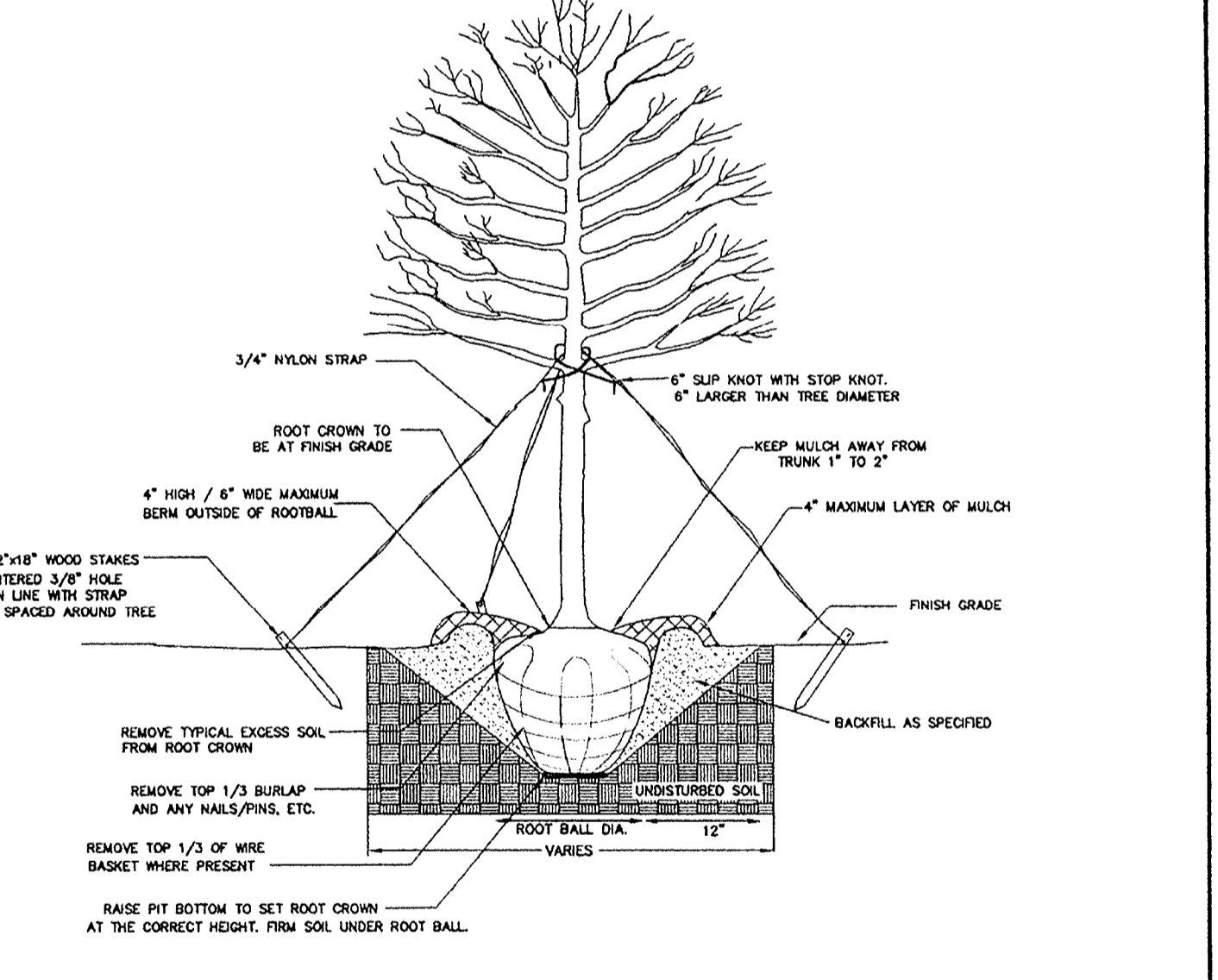
**DUMPSTER DETAIL**

**NOTE:**  
 NOTIFY LANDSCAPE MANAGEMENT AT 704-336-4262 OF RIGHT OF WAY PLANTING PRIOR TO INSTALLATION.



- LANDSCAPING NOTES:**
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED IN ACCORDANCE WITH THE PLAN BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS (IF APPLICABLE).
  - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, CONSTRUCTION DEBRIS AND COMPACTED SOIL PRIOR TO PLANTING.
  - REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOP SOIL STANDARDS FOR PLANTING TREES.
  - PLEASE CALL 336-4330 FOR INSPECTION OF TREES AND/OR TREE PLANTING AREAS, 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
  - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
  - ADJUST TREE PLANTING TO AVOID UNDERGROUND UTILITIES. 15.0' OFF WATER, ELECT. AND GAS - 15.0' OFF SANITARY SEWER AND STORM DRAINAGE.
  - REFERENCE CMLD STANDARDS 40.01, 40.02, 40.03, 40.04, AND 40.09 FOR TREE PLANTING AND PROTECTION DETAILS.
  - GEOGRID FOR RETAINING WALLS IS TO BE LEFT 24" MIN. BELOW GRADE IN TREE PLANTING AREAS.
  - ATTENTION LANDSCAPER NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
  - ORDINANCE REQUIRED TREES MUST BE MAINTAINED IN TREE FORM & ALLOWED TO GROW TO THEIR NATURAL HEIGHT/FORM, WITH A MAXIMUM OF THREE STEMS OR TRUNKS (NO TOPPING OR ROUNDING OVER).
  - ALL AUTOMOBILE PARKING SPACES MUST BE WITHIN SIXTY (60) FEET OF A TREE.
  - LARGE MATURING TREES MUST BE A MINIMUM OF 25 FEET FROM OVERHEAD DISTRIBUTION POWER LINES. IF TREES CONFLICT WITH POWER LINES, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
  - TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.
  - VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
  - SHRUBS SHALL BE 2' HIGH, 2' WIDE, AT TIME OF PLANTING AND SHALL BE LOCATED AT 5' O.C.
  - A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
  - 75% LARGE MATURING TREES ARE REQUIRED UNLESS THERE IS OVERHEAD POWER.
  - SITE LIGHTING MUST BE A MINIMUM OF THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THE LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY. NO LIGHT POLES ALLOWED IN TREE ISLANDS.
  - UNLESS APPROVED BY URBAN FORESTRY STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING SHALL BE CALLED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREE AGE AND NOT BE BROKEN, DISEASED, OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE OF ADNEITIOUS ROOT GROWTH.

- NOTES:**
- REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
  - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
  - STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
  - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
  - RESEED UNMULCHED, DISTURBED AREAS.



ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) FOR EXAMPLE:

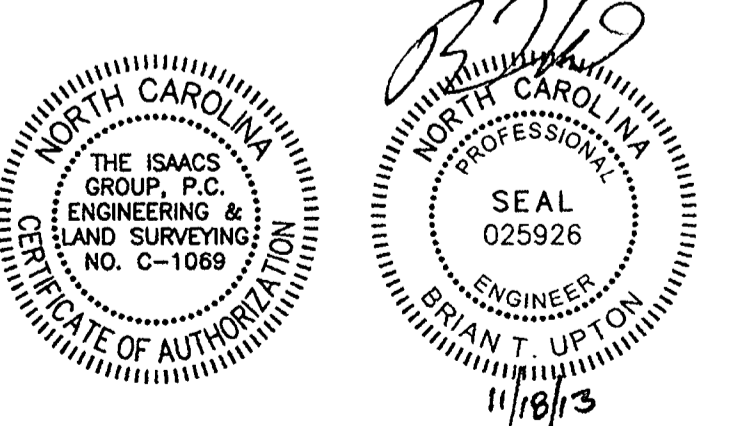
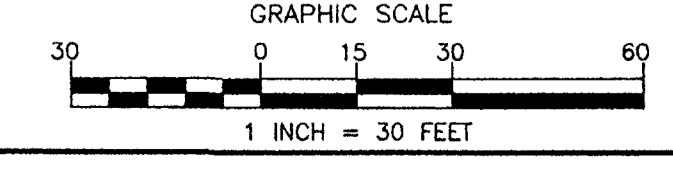
CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
2"	12-14'	16'	24"	16"
3"	14-16'	18'	32"	21"

**TREE PLANTING (FOR SINGLE & MULTI-STEM TREES)**  
 CLDS #40.01

**PLANT SCHEDULE**

KEY	QTY.	SCIENTIFIC NAME COMMON NAME	CAL.	HT.
<b>TREES</b>				
(Oak symbol)	12	SHUMARD OAK	2"	8'
(Cedar symbol)	8	DEODAR CEDAR	2"	8'
(Cherry symbol)	2	YOSHINO CHERRY	2"	8'
(Tree symbol)		EXISTING TREES		
(Mulch symbol)		3" DOUBLE HAMMERED HARDWOOD MULCH		
<b>SHRUBS</b>				
(Holly symbol)	59	DWARF BURFORD HOLLY		24"

SUBSTITUTION OF OTHER SPECIES FOR THE TREES AND SHRUBS LISTED ABOVE IS ALLOWED PROVIDED THAT THEY ARE SELECTED FROM THE CITY OF CHARLOTTE APPROVED PLANT LIST.



ATTACHED TO ADMINISTRATIVE APPROVAL

DEC 3 2013

BY: DEBRA CAMPBELL

PETITION # 2005-073

Project: **FOUNDERS CREDIT UNION**  
 11115 S. TRYON ST. - CHARLOTTE, NORTH CAROLINA

Title: **LANDSCAPE PLAN**

File #: 13100-PB.DWG Date: 5/14/13 Project Egr: BTU

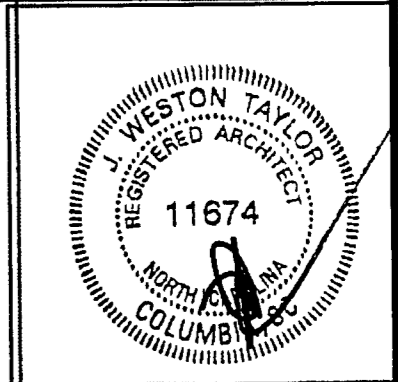
**ISAACS**  
 CIVIL ENGINEERING DESIGN AND LAND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
 CHARLOTTE, N.C. 28217  
 PHONE (704) 527-3440 FAX (704) 527-8335

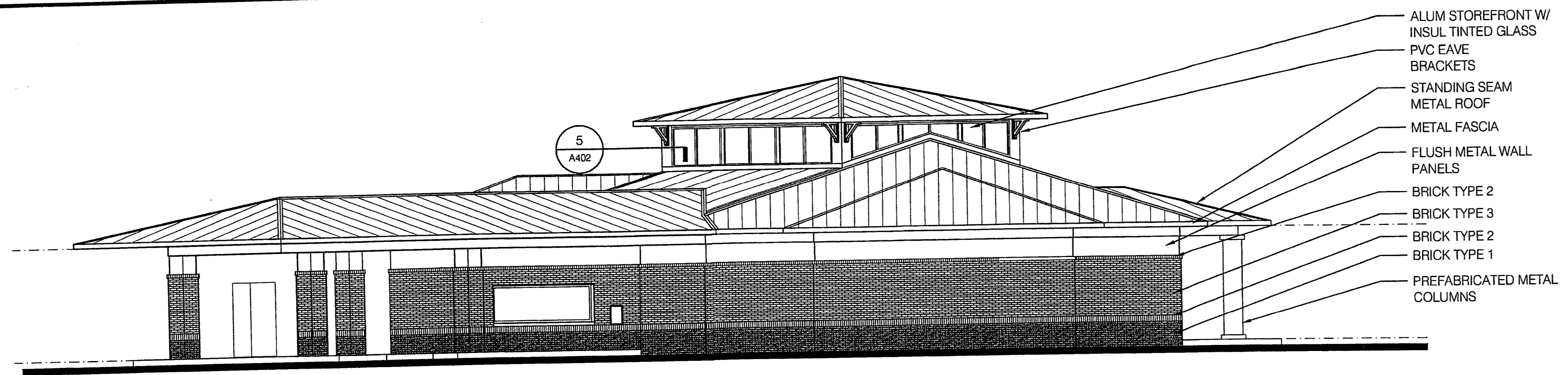
NO. BY DATE REVISION  
 1 WDP 7/17/13 PER REVIEW COMMENTS  
 2 CBH 10/08/13 REVISED SITE CONFIGURATION  
 3 WDP 11/18/13 PER REVIEW COMMENTS

Design By: WDP  
 Drawn By: WDP/CBH  
 Scale: 1"=30'

**C1.1**

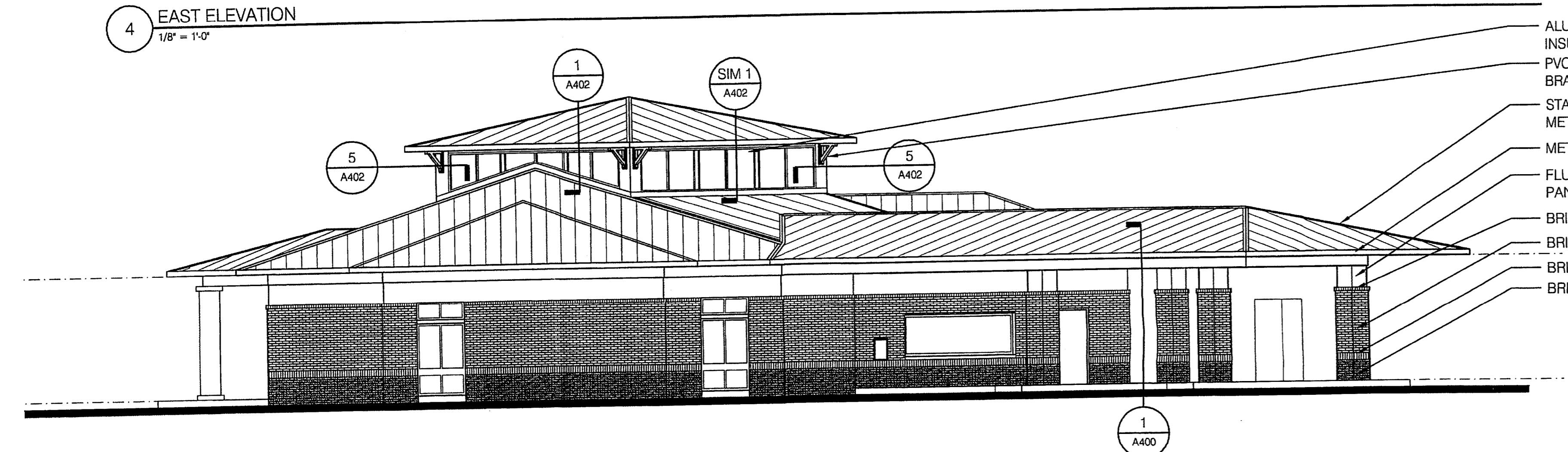


J. WESTON TAYLOR, A.I.A.  
ARCHITECT



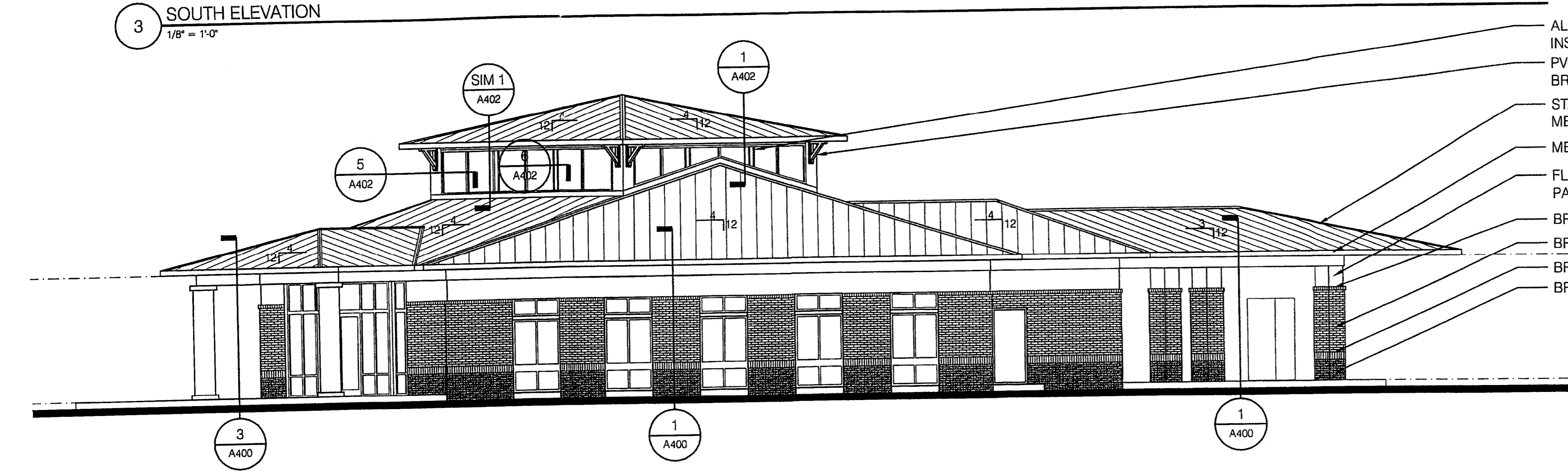
4 EAST ELEVATION  
1/8" = 1'-0"

- ALUM STOREFRONT W/  
INSUL TINTED GLASS
- PVC EAVE  
BRACKETS
- STANDING SEAM  
METAL ROOF
- METAL FASCIA
- FLUSH METAL WALL  
PANELS
- BRICK TYPE 2
- BRICK TYPE 3
- BRICK TYPE 2
- BRICK TYPE 1
- PREFABRICATED METAL  
COLUMNS



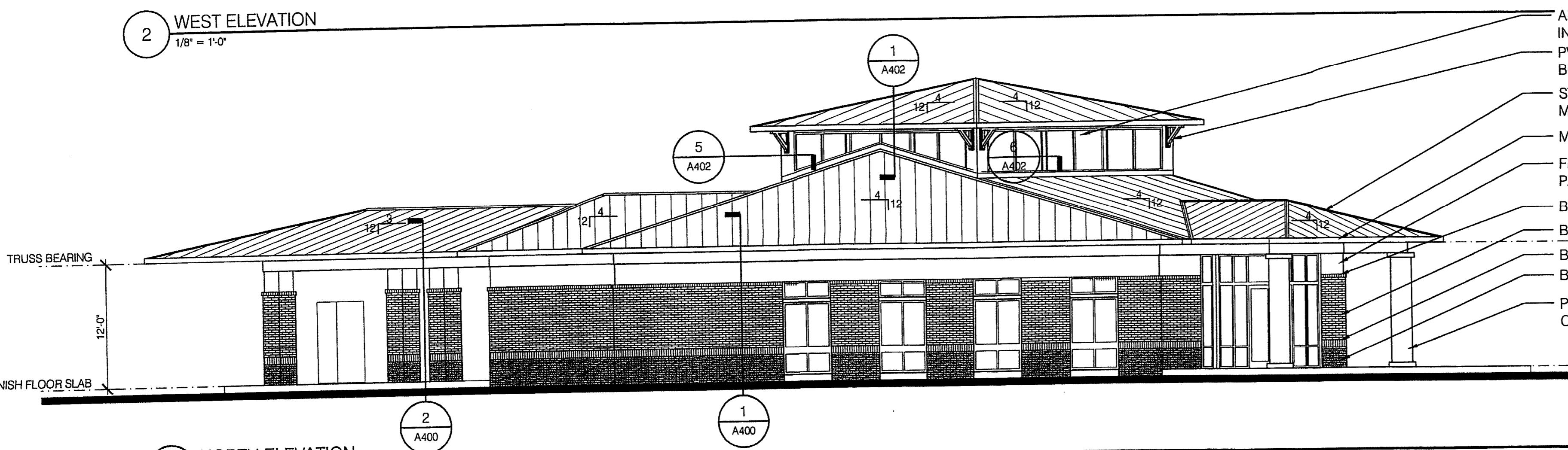
3 SOUTH ELEVATION  
1/8" = 1'-0"

- ALUM STOREFRONT W/  
INSUL TINTED GLASS
- PVC EAVE  
BRACKETS
- STANDING SEAM  
METAL ROOF
- METAL FASCIA
- FLUSH METAL WALL  
PANELS
- BRICK TYPE 2
- BRICK TYPE 3
- BRICK TYPE 2
- BRICK TYPE 1



2 WEST ELEVATION  
1/8" = 1'-0"

- ALUM STOREFRONT W/  
INSUL TINTED GLASS
- PVC EAVE  
BRACKETS
- STANDING SEAM  
METAL ROOF
- METAL FASCIA
- FLUSH METAL WALL  
PANELS
- BRICK TYPE 2
- BRICK TYPE 3
- BRICK TYPE 2
- BRICK TYPE 1



1 NORTH ELEVATION  
1/8" = 1'-0"

- ALUM STOREFRONT W/  
INSUL TINTED GLASS
- PVC EAVE  
BRACKETS
- STANDING SEAM  
METAL ROOF
- METAL FASCIA
- FLUSH METAL WALL  
PANELS
- BRICK TYPE 2
- BRICK TYPE 3
- BRICK TYPE 2
- BRICK TYPE 1
- PREFABRICATED METAL  
COLUMNS

ATTACHED TO ADMINISTRATIVE  
APPROVAL

DEC 3 2013

BY: DEBRA CAMPBELL

ATTACHED TO ADMINISTRATIVE  
APPROVAL

DEC 3 2013

BY: DEBRA CAMPBELL

**PERCEPTION**  
 BUILDERS LLC  
 GENERAL CONTRACTORS

**FOUNDERS**  
 FEDERAL CREDIT UNION

NEW FACILITY  
 FOUNDERS FEDERAL CREDIT UNION  
 CHARLOTTE, NORTH CAROLINA  
 ELEVATIONS

JOB # 13009

A200

DATE 2/15/13