



Charlotte-Mecklenburg Planning Department

DATE: December 5, 2016

TO: Donald Moore
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

SUBJECT: Administrative Approval for Petition No. 2005-084 Lat Purser & Assoc. and First Colony Corp.

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

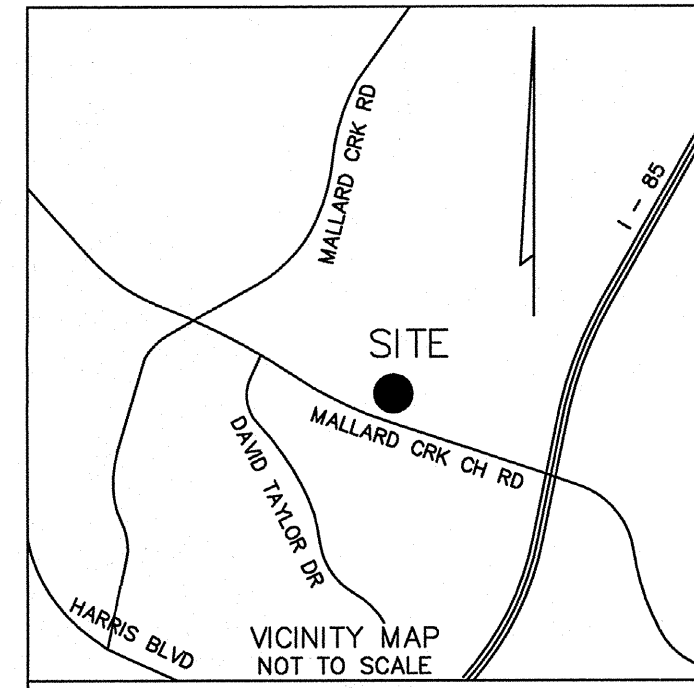
- Site layout
- Landscaping Plan
- Screen wall detail

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances, Building Codes, and conditional requirements still apply.

Signage was not reviewed as part of this request.



THE ARBORS PARKING ADDITION

DEVELOPMENT STANDARDS (FROM PETITION #2002-142)

GENERAL PROVISIONS
THESE DEVELOPMENT STANDARDS FORM A PART OF THE TECHNICAL DATA SHEET ASSOCIATED WITH THE ZONING PETITION FILED BY LAT PURSER AND ASSOCIATES, INC & FIRST COLONY CORPORATION TO ACCOMMODATE DEVELOPMENT OF A MIXED USE, PEDESTRIAN-FRIENDLY COMMUNITY ON APPROXIMATELY 24.0 ACRES SITE LOCATED ON MALLARD CREEK CHURCH ROAD (THE "SITE"). DEVELOPMENT OF THE SITE WILL BE COVERED BY THE TECHNICAL DATA SHEET, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE") UNLESS THE TECHNICAL DATA SHEET OR THESE STANDARDS ESTABLISH MORE STRINGENT STANDARDS. THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MIXED USE DEVELOPMENT DISTRICT (MUD) SUBJECT TO THE OPTIONAL PROVISIONS PROVIDED BELOW, SHALL GOVERN ALL DEVELOPMENT TAKING PLACE ON THESE PARCELS, REFERRED HERETO AS TRACTS A. THE TECHNICAL DATA SHEET IS ACCOMPANIED BY A SCHEMATIC SITE PLAN AND THREE ALTERNATE DEVELOPMENT SCHEMATIC SITE PLANS, WHICH TOGETHER DEPICT SIX SEPARATE POTENTIAL DEVELOPMENT SCENARIOS FOR TRACT A OF THE SITE.

1. PERMITTED USES
A. TRACT A OF THE SITE MAY BE DEVOTED TO RETAIL, OFFICE, DAY CARE, BANK, HOTEL, COMMERCIAL AND RESTAURANT USES (INCLUDING ANY ACCESSORY USES) AS PERMITTED IN THE MUD ZONING CLASSIFICATION AND SUBJECT TO THE MAXIMUM DEVELOPMENT PROVISIONS SET FORTH BELOW UNDER PARAGRAPH A OF SECTION 2 AND THE MIDD-OPTIONAL PROVISIONS SET FORTH BELOW UNDER PARAGRAPH C OF SECTION 3. HOWEVER, IN NO EVENT SHALL ANY RESTAURANTS WITH DRIVE THROUGH FACILITIES BE PERMITTED ON THE SITE.

2. MAXIMUM DEVELOPMENT
A. TRACT A MAY BE DEVELOPED WITH UP TO 200,000 SQUARE FEET OF OFFICE USES AND UP TO 78,700 SQUARE FEET OF COMMERCIAL/RETAIL USES, SUBJECT TO THE FOLLOWING PROVISIONS:
--- AREAS DEVOTED TO OUTDOOR DINING, COURTYARDS AND PLAZAS ARE NOT INCLUDED IN THE SQUARE FOOTAGE NOTED ABOVE.
--- ANY FLOOR AREA ASSOCIATED WITH A HOTEL, BANK, DAY CARE CENTER OR OTHER USES ALLOWED UNDER AN OFFICE ZONING CLASSIFICATION WILL BE COUNTED AS A PART OF THE OFFICE USES NOTED IN SECTION 2.A ABOVE.
--- UP TO 40,000 SQUARE FEET OF THE 78,700 SQUARE FEET PERMITTED IN SECTION 2.A ABOVE FOR COMMERCIAL/RETAIL USES MAY BE CONVERTED TO ADDITIONAL OFFICE SQUARE FOOTAGE AT A CONVERSION RATE OF ONE SQUARE FOOT OF OFFICE SPACE FOR EVERY ONE SQUARE FOOT OF COMMERCIAL/RETAIL SPACE SUBJECT TO A MAXIMUM OF 240,000 SQUARE FEET OF OFFICE USES AND
--- IN THE EVENT TRACT A IS DEVELOPED WITH A HOTEL, USE (GENERALLY DEPICTED BY SCHEMATIC SITE PLAN ALTERNATE B), NO MORE THAN 53,700 SQUARE FEET OF PRINCIPAL COMMERCIAL/RETAIL USES WILL BE PERMITTED.

3. MIDD-OPTIONAL PROVISIONS
THIS PETITION PROPOSES UTILIZATION OF THE MIDD-O PROVISIONS TO ACCOMMODATE THE FOLLOWING VARIATIONS:
A. THE MIDD-OPTIONAL SIGNAGE PLAN INCLUDES AN ENTRY MONUMENT SIGN ON MALLARD CREEK CHURCH ROAD AT THE TWO ENTRANCES TO THE DEVELOPMENT AS GENERALLY INDICATED ON THE TECHNICAL DATA SHEET. THE TWO MONUMENT SIGNS SHALL BE IDENTICAL IN SIZE AND ARCHITECTURE TO THE SIGNAGE PLAN FOR THE BUILDINGS AND NOT EXCEED 6 FEET IN HEIGHT AND 45 SQUARE FEET PER SIDE OF EACH SIGN IN SIZE. THE SIGNAGE PLAN ALSO INCLUDES SIGNAGE ON BUILDINGS DEVOTED TO OFFICE AND/OR COMMERCIAL/RETAIL USE(S) ONLY UP TO 10% OF BUILDING WALL AREA TO WHICH THE SIGN IS ATTACHED UP TO A MAXIMUM OF 150 SQUARE FEET PER SIGN.
B. THE MIDD-OPTIONAL PLAN ALLOWS PARKING IN FRONT OF BUILDINGS GENERALLY IN THE MANNER INDICATED ON THE SCHEMATIC SITE PLANS.
C. THE MIDD-OPTIONAL PLAN INCLUDES LIMITED DRIVE-THRU FACILITY PROVISIONS. IN THE EVENT BANKS OR OTHER TYPES OF FINANCIAL INSTITUTIONS ARE DEVELOPED ON THE SITE, THEY MAY INCLUDE ACCESSORY DRIVE THROUGH FACILITIES.

4. SETBACKS, SIDE YARDS AND REAR YARDS
A. ALL BUILDINGS CONSTRUCTED WITHIN TRACT A OF THE SITE SHALL SATISFY OR EXCEED THE SETBACK, REAR YARD AND SIDE YARD REQUIREMENTS ESTABLISHED UNDER THE ORDINANCE FOR THE MUD DISTRICT BUILDINGS AND PARKING AREAS LOCATED WITHIN THE DEVELOPMENT AREA BOUNDARIES.

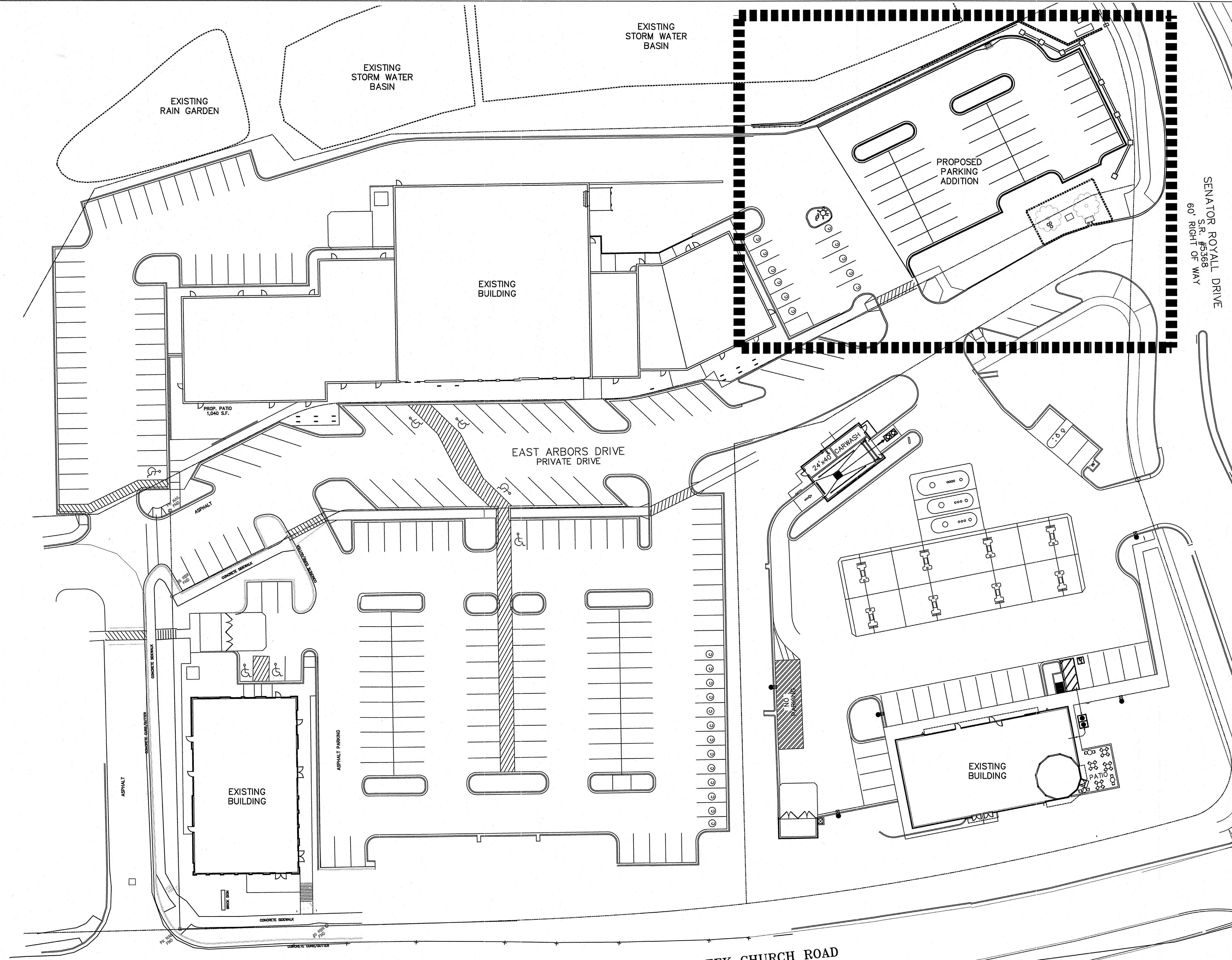
5. TRACT A DESIGN AND PERFORMANCE STANDARDS
A. ARCHITECTURAL CONTROLS
1. SURFACE LEVEL PARKING SHALL NOT BE LOCATED BETWEEN THE BUILDINGS AND MALLARD CREEK CHURCH ROAD, EXCEPT AS PROVIDED FOR IN SECTION 3(D) ABOVE.
2. BUILDINGS CONSTRUCTED ALONG MALLARD CREEK CHURCH ROAD SHALL FACE THIS STREET AND LARGE EXPANSIONS OF SOLID WALLS FOR THESE BUILDINGS SHALL BE AVOIDED THROUGH THE INTRODUCTION OF ARTICULATED FACADES AND OTHER SPECIALLY DESIGNED ARCHITECTURAL ELEMENTS IN CONFORMANCE WITH SECTION 9.8.508 OF THE ORDINANCE AND AS GENERALLY DEPICTED ON THE PERSPECTIVE ON SHEET 3.
3. DUMPSTER AREAS WILL BE ENCLOSED ON ALL FOUR SIDES BY AN OPAQUE WALL WITH ONE SIDE BEING A HINGED OPAQUE GATE. IF ONE OR MORE SIDES OF A DUMPSTER AREA ADJOIN A SIDE OR REAR WALL OF A BUILDING, THEN THE SIDE OR REAR WALL MAY BE SUBSTITUTED FOR A SIDE.
4. THE DESIGN TREATMENT SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING AMENITIES AS GENERALLY INDICATED ON THE PERSPECTIVE ON SHEET 3:
A. A COURTYARD/PLAZA AREA.
B. SEATING AREAS(S).
C. IN THE EVENT TRACT A IS DEVELOPED IN THE MANNER DEPICTED BY THE SCHEMATIC SITE PLAN AND WITH LOADING AREAS OR SERVICE DOCKS LOCATED TO THE REAR OF BUILDINGS FACING NORTH, A BRICK SCREEN WALL WILL BE PROVIDED ALONG THE LOADING AREA AND/OR SERVICE DOCK AREA, WHICHEVER IS APPLICABLE. OF TRACT A, THE BRICK SCREEN WALL SHALL BE A MINIMUM OF 10 FEET IN HEIGHT. THE SCREEN WALL WILL NOT BE REQUIRED IN THE EVENT TRACT A IS DEVELOPED IN THE MANNER DEPICTED BY ALTERNATE DEVELOPMENT SCHEMATIC SITE PLAN A OR B.
B. LANDSCAPING AND SCREENING
1. INTERNAL AREAS OF THE SITE SHALL BE LANDSCAPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY CODE.
2. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEWING PUBLIC RIGHT-OF-WAY AND ADJUTING PROPERTIES AS VIEWED FROM GRADE.
3. ALL OTHER SCREENING SHALL CONFORM TO THE STANDARDS OF THE ORDINANCE.
C. STREETScape TREATMENT
1. THE STREETScape TREATMENT ALONG MALLARD CREEK CHURCH ROAD WILL CONFORM TO THE ORDINANCE AND INCLUDE LARGE MATURING TREES, SUPPLEMENTAL SHRUBBERY, SIDEWALKS OF AT LEAST SIX FEET IN WIDTH AND PLANTING BEDS AT LEAST 6 FEET IN WIDTH IN THE EVENT THERE IS SURFACE LEVEL PARKING LOCATED IN BETWEEN BUILDINGS) AND ANY PORTION OF MALLARD CREEK CHURCH ROAD (SEE SCHEMATIC SITE PLANS). THE STREETScape TREATMENT ALONG THOSE PORTIONS OF MALLARD CREEK CHURCH ROAD SHALL ALSO INCLUDE A TWO AND ONE-HALF TO THREE FEET IN HEIGHT SOLID MASONRY WALL IN FRONT OF THE BUILDINGS TO SHIELD THE BUILDINGS FROM VIEWING PUBLIC RIGHT-OF-WAY AND ADJUTING PROPERTIES AS VIEWED FROM GRADE.
2. OUTDOOR DINING AND COURTYARD AREAS MAY BE LOCATED WITHIN THE ESTABLISHED, BUT OUTSIDE OF THE REQUIRED, SETBACK ALONG MALLARD CREEK CHURCH ROAD AS GENERALLY INDICATED ON THE PERSPECTIVE ON SHEET 3.
D. LIGHTING
1. ALL PARKING LOT LIGHTING SHALL BE DESIGNED SUCH THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY EXTERIOR PROJECT EDGE PROPERTY LINE.
2. THE PARKING LOT LIGHTING SHALL NOT EXCEED 30 FEET IN HEIGHT.
3. ANY LIGHTING ATTACHED TO A REAR EXTERIOR BUILDING WALL FACING THE RESIDENTIAL AREA TO THE NORTH SHALL BE CAPPED AND DOWNWARDLY DIRECTED.
E. PARKING
OFF STREET PARKING AND LOADING WILL MEET THE STANDARDS ESTABLISHED UNDER THE ORDINANCE. AT LEAST ONE BICYCLE RACK SHALL BE PROVIDED AT EACH BUILDING, EXCEPT AS SHOWN ON THIS PLAN. BUILDINGS MAY NOT BE FURTHER SEPERATED FOR THE PURPOSE OF ADDING PARKING (E.G. 2 BUILDINGS SEPERATED ONLY BY LANDSCAPING MAY NOT BE MOVED APART TO INSERT PARKING IN BETWEEN).
F. ANY BUILDING(S) USED PRINCIPALLY FOR HOTEL OR OFFICE USES WILL NOT EXCEED 60 FEET IN HEIGHT. OTHER BUILDING(S) WILL NOT EXCEED 40 FEET IN HEIGHT.

6. NOT USED
7. NOT USED

8. VEHICULAR ACCESS
A. VEHICULAR ACCESS TO MALLARD CREEK CHURCH ROAD SHALL BE AS GENERALLY DEPICTED ON THE TECHNICAL DATA SHEET.
B. THE PLACEMENT AND DEDICATION OF THESE ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND ARCHITECTURAL CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.
C. PETITIONER AGREES TO DEDICATE AND CONVEY BY GATEWAY DEED AND SUBJECT TO A RESERVATION FOR ANY NECESSARY UTILITY EASEMENTS AND A REVERSIONARY INTEREST IN ANY PROPERTY NOT USED FOR RIGHT-OF-WAY PURPOSES IN THE FUTURE) RIGHT-OF-WAY ALONG MALLARD CREEK CHURCH ROAD REQUIRED TO PROVIDE FOR A MINIMUM OF 50 FEET OF RIGHT-OF-WAY FROM THE CENTERLINE. IF SUCH RIGHT-OF-WAY DOES NOT EXIST ALREADY, PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR TRACT A OR B.
D. AS OTHERWISE PROVIDED UNDER PARAGRAPH E, NO CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR DEVELOPMENT TAKING PLACE IN EXCESS OF 18,000 SQUARE FEET WITHIN TRACT A UNTIL THE COMPLETION OF THE FOLLOWING ROAD IMPROVEMENTS ONLY IF THE ROAD IMPROVEMENTS ARE SUBSTANTIALLY UNDER CONSTRUCTION (SYSTEM DRAINAGE WORK IS COMPLETED), PETITIONER AGREES THAT SUCH STATED IMPROVEMENTS BELOW SHALL BE COMPLETED NO LATER THAN OCTOBER 30, 2005:
INTERSECTION OF MALLARD CREEK CHURCH ROAD AND SENATOR ROYALL DRIVE:
* CONSTRUCTION OF A WESTBOUND RIGHT TURN LANE WITH 150 FEET OF STORAGE AND A 20:1 BAY TAPER, AND
* CONSTRUCTION OF A SOUTHWESTBOUND APPROACH TO INCLUDE DUAL LEFT TURN LANES WITH 150 FEET OF STORAGE IN EACH LANE AND A THROUGH-AND-RIGHT TURN COMBINATION LANE.
INTERSECTION OF MALLARD CREEK CHURCH ROAD AND CLAUDE FREEMAN DRIVE:
* CONSTRUCTION OF A WESTBOUND RIGHT TURN LANE WITH 150 FEET OF STORAGE AND A 20:1 BAY TAPER, AND
* CONSTRUCTION OF A NORTHBOUND LEFT TURN LANE WITH 200 FEET OF STORAGE AND A 15:1 BAY TAPER, AND
* CONSTRUCTION OF THE SOUTHWESTBOUND APPROACH TO INCLUDE DUAL LEFT TURN LANES WITH 150 FEET OF STORAGE IN EACH LANE AND A THROUGH-AND-RIGHT TURN COMBINATION LANE.
SCOPE OF INTERSECTION IMPROVEMENTS:
THE DEVELOPER WILL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH THE DESIGN AND CONSTRUCTION OF THESE IMPROVEMENTS AND ALL OTHER ASSOCIATED INTERSECTION AND ROADWAY MODIFICATIONS NECESSARY AS A RESULT OF THESE IMPROVEMENTS AS DETERMINED BY CDDT AND NCDOT. TO INCLUDE BUT NOT BE LIMITED TO: LANE REALIGNMENTS, MEDIAN MODIFICATIONS, UTILITY RELOCATIONS, TRAFFIC SIGNAL MODIFICATIONS, PAVEMENT MARKINGS, AND RIGHT-OF-WAY ACQUISITION DEDICATION. THE DESIGN OF THE SOUTHWESTBOUND APPROACHES TO THESE INTERSECTIONS ILLUSTRATED ON THE SITE PLAN ARE CONCEPTUAL AND PRELIMINARY. LANE, MEDIAN DESIGN AND ASSOCIATED ELEMENTS WILL BE FINALIZED IN CONJUNCTION WITH THE INTERSECTION DESIGN PROCESS.
E. NOTWITHSTANDING ANYTHING TO THE CONTRARY PROVIDED UNDER PARAGRAPH D ABOVE, THE DEVELOPER OF TRACT A MAY APPLY FOR BUILDING /DRIVEWAY PERMITS FOR UP TO 25,000 SQUARE FEET OF SPACE TO BE DEVELOPED WITHIN PARCELS A AND B, AND/OR C-3 OF TRACT A AT ANY TIME AFTER THE DESIGN/CONSTRUCTION PLANS FOR THE FOLLOWING ROADWAY/INTERSECTION IMPROVEMENTS HAVE BEEN APPROVED BY CDDT AND NCDOT AND MAY APPLY FOR CERTIFICATES OF OCCUPANCY FOR SUCH DEVELOPMENT AFTER THE FOLLOWING ROADWAY IMPROVEMENTS HAVE BEEN COMPLETED:
INTERSECTION OF MALLARD CREEK CHURCH ROAD AND SENATOR ROYALL DRIVE:
* CONSTRUCTION OF A WESTBOUND RIGHT TURN LANE WITH 150 FEET OF STORAGE AND A 20:1 BAY TAPER, AND
* CONSTRUCTION OF THE SOUTHWESTBOUND APPROACH TO INCLUDE DUAL LEFT TURN LANES WITH 150 FEET OF STORAGE IN EACH LANE AND A THROUGH-AND-RIGHT TURN COMBINATION LANE.
SCOPE OF INTERSECTION IMPROVEMENTS:
THE DEVELOPER WILL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH THE DESIGN AND CONSTRUCTION OF THESE IMPROVEMENTS AND ALL OTHER ASSOCIATED INTERSECTION AND ROADWAY MODIFICATIONS NECESSARY AS A RESULT OF THESE IMPROVEMENTS AS DETERMINED BY CDDT AND NCDOT. TO INCLUDE BUT NOT BE LIMITED TO: TONE REALIGNMENTS, MEDIAN MODIFICATIONS, UTILITY RELOCATIONS, TRAFFIC SIGNAL MODIFICATIONS, PAVEMENT MARKINGS, AND RIGHT-OF-WAY ACQUISITION DEDICATION. THE DESIGN OF THE SOUTHWESTBOUND APPROACH TO THIS INTERSECTION ILLUSTRATED ON THE SITE PLAN ARE CONCEPTUAL AND PRELIMINARY. LANE, MEDIAN DESIGN AND ASSOCIATED ELEMENTS WILL BE FINALIZED IN CONJUNCTION WITH THE INTERSECTION DESIGN PROCESS.
9. CONNECTIVITY
PEDESTRIAN AND VEHICULAR CONNECTIONS TO ADJOINING PARCELS WILL BE PROVIDED GENERALLY AS SHOWN ON THE TECHNICAL DATA SHEET. THE ESTABLISHMENT OF THE PEDESTRIAN CONNECTIONS TO THE ADJOINING OFFICE PARK(S) TO THE WEST AND TO THE ADJOINING CHURCH TO THE EAST IS CONTINGENT UPON THE APPROVAL OF THE OWNERS OF THOSE RESPECTIVE ADJOINING PROPERTIES TO WHICH THE CONNECTIONS WOULD BE MADE.
10. FIRE PROTECTION
ADEQUATE FIRE PROTECTION IN THE FORM OF FIRE HYDRANTS WILL BE PROVIDED TO THE CHARLOTTE FIRE MARSHAL'S SPECIFICATIONS. PLANS FOR EACH BUILDING WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR APPROVAL BEFORE THE CONSTRUCTION OF THAT BUILDING COMMENCES.

11. WATER QUALITY PROTECTION MEASURES
A. SWIM BUFFERS SHALL BE PROVIDED AS REQUIRED BY THE ORDINANCE.
B. WITHIN TRACT A, THE PETITIONER WILL PROVIDE BIOTRETENTION AREA(S) OR RAINGARDEN(S) TO PROVIDE ADDITIONAL TREATMENT OF STORMWATER RUNOFF FROM PARKING AND DRIVEWAY AREAS, TO THE EXTENT THAT APPROVAL CAN BE OBTAINED FROM THE URBAN FORESTRY STAFF (AND OTHER CITY OR COUNTY STAFF AS APPLICABLE) TO RELOCATE, ELIMINATE, OR COMBINE TREE PLANTING ISLANDS THEREBY RESULTING IN NO NET LOSS OF PARKING SPACES ASSOCIATED WITH THE CREATION OF BIO-RETENTION AREAS OR RAIN.
C. WITHIN TRACT A STORM WATER RUNOFF WILL BE MANAGED THROUGH PROVEN TECHNIQUES WHICH SATISFY THE STANDARDS IMPOSED BY THE CITY OF CHARLOTTE ORDINANCES AND THE CHARLOTTE MCGLEMBURG STORM WATER DESIGN MANUAL. THE DEVELOPER WILL INSTALL WATER QUALITY STRUCTURAL BMP'S WITHIN TRACT A, SUCH BMP'S ARE TO BE LOCATED OUTSIDE THE SWIM BUFFER. SURFACE LEVEL STORM WATER DETENTION MAY BE LOCATED IN COMMON OPEN SPACE AREAS WITHIN SETBACK OR SWIM BUFFER AREAS. THE DETENTION SHALL TIE-IN TO THE EXISTING STORM WATER SYSTEM(S). THE DEVELOPER SHALL HAVE THE RECEIVING DRAINAGE SYSTEM ADJUTING THE SITE ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THIS DEVELOPMENT. IF IT IS FOUND THAT THE DEVELOPMENT WILL CAUSE THE RECEIVING STORM DRAINAGE SYSTEM TO BE TAKEN OUT OF STANDARD, THE DEVELOPER OF TRACT A SHALL PROVIDE AN ALTERNATE DETENTION TO PREVENT THIS FROM OCCURRING, SHOWING THE EXISTING RECEIVING DRAINAGE SYSTEM BE DEEMED TO BE OUT OF STANDARD PRIOR TO DEVELOPMENT OF ITS SITE. THE DEVELOPER SHALL PROVIDE ADEQUATE DETENTION TO ENSURE THAT THE SYSTEM WILL NOT BE ADDITIONALLY OVERBURDENED.
D. EXCEPTION: PARCEL # 029018, LOCATED EAST OF SENATOR ROYALL DRIVE, SHALL COMPLY WITH 11(B) ABOVE AND THE STORM WATER DETENTION REQUIREMENTS OF 11(C), BUT SHALL BE EXEMPT FROM R OUTING STORM WATER RUNOFF THROUGH A WATER QUALITY STRUCTURAL BMP, AS DESCRIBED IN 11(C).

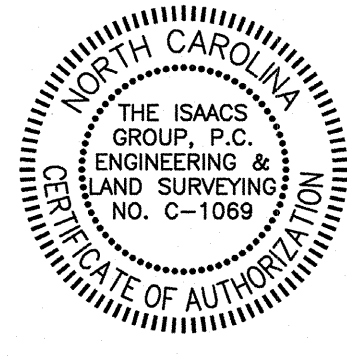
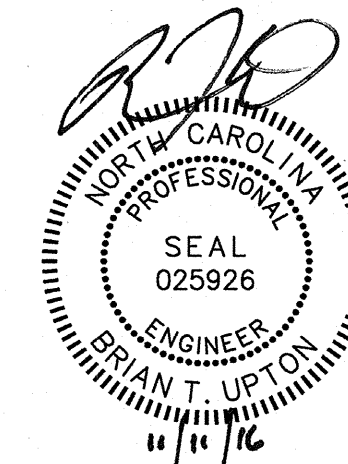
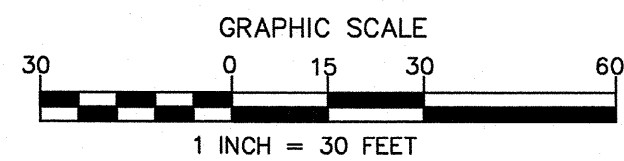
THE FOLLOWING AGENCIES MUST BE CONTACTED PRIOR TO CONSTRUCTION REGARDING WETLAND AND WATER QUALITY PERMITS:
SECTION 401 PERMIT NDEMBER—BALSHEG OFFICE
SECTION 404 PERMIT US ARMY CORPS OF ENGINEERS
12. BUFFERS
ZONING ORDINANCE BUFFERS ARE NOT REQUIRED BETWEEN DISSIMILAR LAND USES WITHIN THE SITE.
13. AMENDMENTS TO ZONING PLAN
FUTURE AMENDMENTS TO THE TECHNICAL DATA SHEET, THE SCHEMATIC PLAN AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE TRACT OR TRACTS WITHIN THE SITE INVOLVED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.
14. BINDING EFFECT OF THE ZONING DOCUMENTS AND DEFINITIONS
A. IF THIS ZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE IMPOSED UNDER THIS TECHNICAL DATA SHEET WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN THE INTEREST AND ASSIONS.
B. THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERMS "PETITIONER" AND "OWNER" OR "OWNERS" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIONS OF THE PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.
C. THE DEVELOPMENT DEPICTED ON THE SCHEMATIC SITE PLANS IS SCHEMATIC IN NATURE AND INTENDED TO DESCRIBE THE GENERAL ARRANGEMENT OF USES ON THE SITE. REPRESENTATIVELY, THE CONFIGURATION, PLACEMENT, AND SIZE OF THE BUILDING FOOTPRINTS OUTLINED ON THE SCHEMATIC SITE PLANS ARE SCHEMATIC IN NATURE, AND SUBJECT TO THE PROVISIONS SET FORTH ABOVE UNDER ARCHITECTURAL CONTROLS. THE CONFIGURATION, PLACEMENT AND SIZE OF THE BUILDING FOOTPRINTS AND CONSTRUCTION PHASES WITHIN THE MAXIMUM DEVELOPMENT AREA BOUNDARIES ESTABLISHED ON THE TECHNICAL DATA SHEET, STREET AND PARKING LAYOUTS MAY ALSO BE MODIFIED TO ACCOMMODATE FINAL BUILDING LOCATIONS AND PARKING SPACES MAY BE LOCATED INSIDE OR OUTSIDE DEVELOPMENT AREA BOUNDARIES TO THE EXTENT PERMITTED BY THE ORDINANCE.



Attached to Administrative
Approval

Solomon A. Fortune
Solomon A. Fortune

MALLARD CREEK CHURCH ROAD
PUBLIC R/W VARIES



NO.	BY	DATE	REVISION
1	NPF	11/11/2016	PER REVIEW COMMENTS

Project: **THE ARBORS PARKING ADDITION**
1823 EAST ARBORS, CHARLOTTE, NORTH CAROLINA

Title: **COVER SHEET**

File #: 15252-PB.DWG Date: 9/22/2016 Project Egr: BTU
 Design By: FBL
 Drawn By: NPF
 Scale: 1"=30'

ISAACS GROUP
CIVIL ENGINEERING-GEO-TECHNICAL SURVEYING

8720 RED OAK BOULEVARD, SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8335

CO.0

Attached to Administrative
Approval

John A. Fort **SE**
Solomon A. Fortune



VICINITY MAP
NOT TO SCALE

PROJECT NAME: THE ARBORS SHOPS PARKING ADDITION
TAX PARCEL #: 029-011-74 ADDRESS: 1823 EAST ARBORS DRIVE
OWNER/AGENT: LAT PURSER & ASSOCIATES PHONE #: 704-544-1492
PLANS PREPARED BY: THE ISAACS GROUP, P.C. PHONE #: 704-527-3440
ZONING: MUDD-O JURISDICTION: CITY OF CHARLOTTE
EXISTING USE: COMMERCIAL
PROPOSED USE: COMMERCIAL PARKING LOT
LOT SIZE: 89,124/2.05 SQ. FEET/ACRES NUMBER OF UNITS/SUITES: 8 EXIST.
EXISTING IMPERVIOUS AREA: 70,539 SQ. FEET PROPOSED IMPERVIOUS AREA: 11,667 SQ. FEET
YARD REQUIREMENTS:
SETBACK (FRONT): 14 FT. FROM B.C. REAR YARD: N/A FT.
SIDE YARD: N/A FT.
REQUIRED BUFFERS:
FRONT: NO YES REAR: NO YES
SIDE (L): NO YES SIDE (R): NO YES
REQUIRED SCREENING:
FRONT: NO YES REAR: NO YES
SIDE (L): NO YES SIDE (R): NO YES
PARKING ONLY: NO YES SHRUBS @ 5' O.C.
PARKING DATA:
REQUIRED: 1 SPACE / 600 S.F.
25,400 S.F. * (1 SPACE / 600 S.F.) = 43 SPACES
EXISTING: 206 HANDICAP: 7 COMPACT: 24 PROPOSED: 33

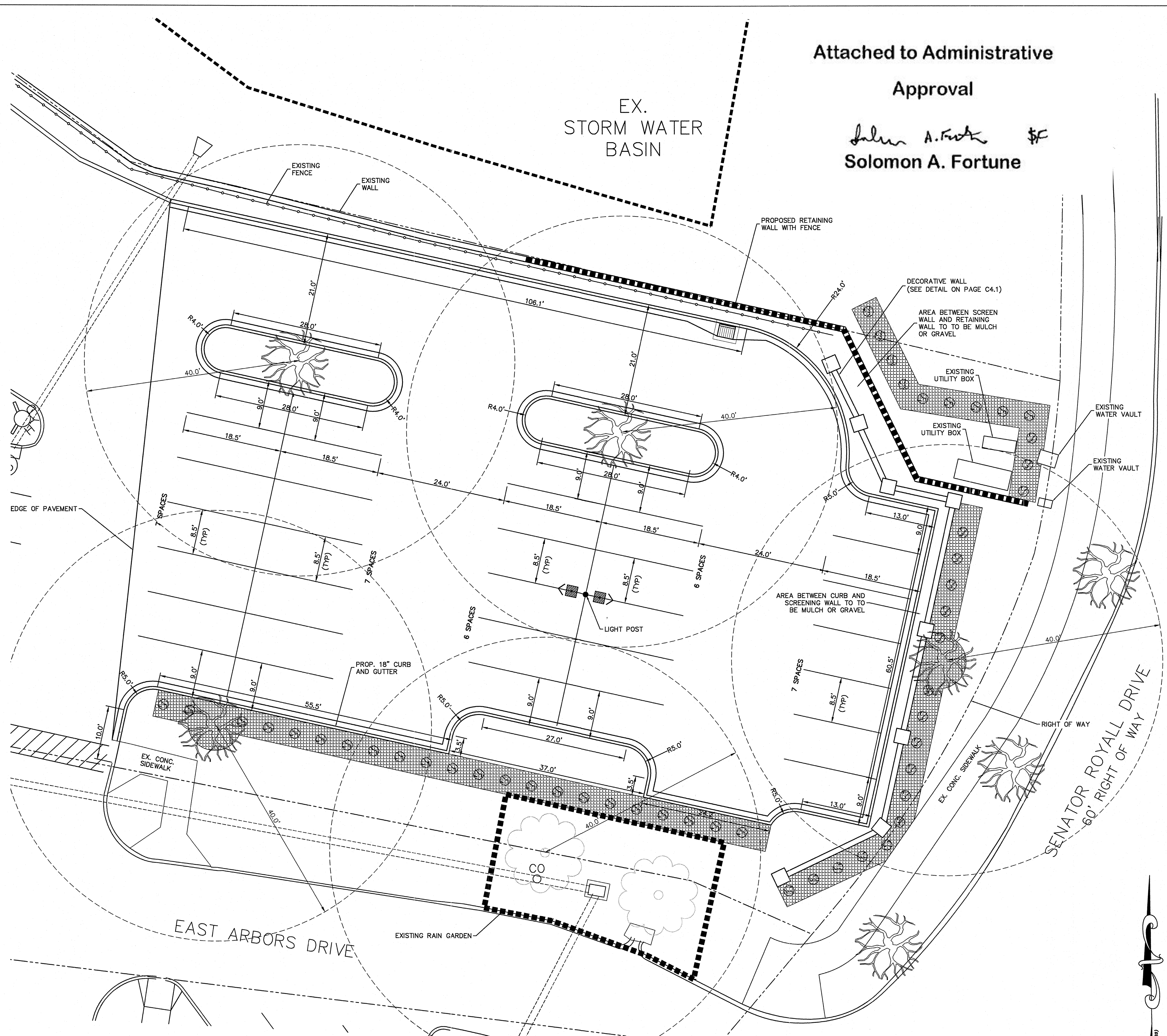
LANDSCAPE LEGEND

SYMBOL	SPECIES	QUANTITY
	SOUTHERN RED OAK 'QUERCUS FALCATA' MINIMUM SIZE = 3" CALIPER	7
	BURFORD HOLLY 'ILEX CORNUTA 'BURFORDII''	38
	PROPOSED 2"-3" MULCH BED	

CHARLOTTE URBAN FORESTRY - TREE PLANTING AND PRESERVATION REQUIREMENTS (UPDATED 10/10/16)

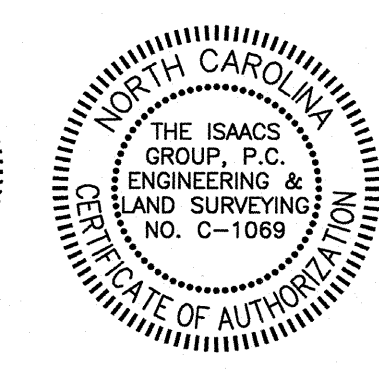
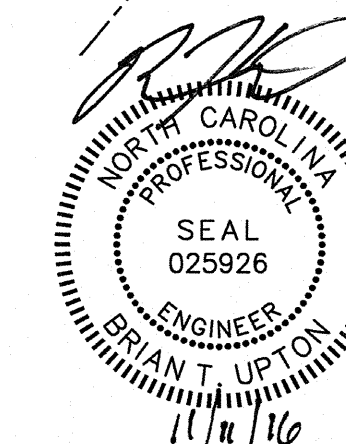
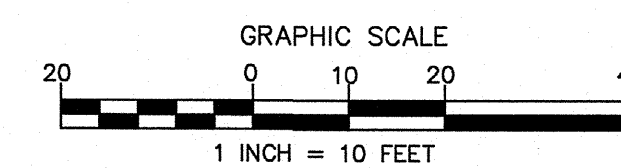
- CHARLOTTE URBAN FORESTRY - TREE PLANTING AND PRESERVATION REQUIREMENTS (UPDATED 10/10/16)
PLANT MATERIAL:
1. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL, IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL.
2. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GROUNDING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED (CLDS.40.09).
3. SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
4. ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
5. PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF ROOT CROWN (BALL).
6. A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
7. 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.
PLANTING REQUIREMENTS:
8. SEE CLDS 40.01 & 40.09 (ON PLAN) FOR DETAILED TREE PLANTING REQUIREMENTS.
9. PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDS 40.01 FOR APPROVED STAKING METHOD/MATERIALS.
10. ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
11. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET).
12. TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE CITY ARBORIST AND/OR NCDOT.
13. REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) THEN CLICK TREES.
UTILITY ISSUES:
14. IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTRY SPECIALIST TO RESOLVE PRIOR TO UTILITY INSTALLATION.
15. LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES.
16. IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
17. ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES.
18. NO LIGHT POLES, UTILITIES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
19. COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (< 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE. SHOW SITE LIGHTING ON LANDSCAPE PLAN.
TREE SAVE AND PRESERVATION:
20. TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
21. SHOW TREE PROTECTION AND TREES SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.
22. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAT WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAT.
23. TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL CO.
24. THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.
25. ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT.
26. NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY.
27. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST (704)336-4262.
28. CONTACT URBAN FORESTRY SPECIALIST PRIOR TO ANY CRANE SET-UP, MACHINERY OPERATION OR TEMPORARY BUILDING ERECTION THAT MAY IMPACT CHARLOTTE TREE ORDINANCE PROTECTED TREES OR TREE SAVE AREAS, INCLUDING TREES LOCATED IN STREET RIGHT OF WAY. IMPACTS MAY INCLUDE BUT ARE NOT LIMITED TO: ENCRoACHING WITHIN TREE DRIP-LINES, EXCAVATION, SOIL COMPACTON, TREE TRIMMING, ERECTING AND DISMANTLING OF CONSTRUCTION CRANES.
GENERAL:
29. SUBMIT REQUIRED CO/HOLD RELEASE FORM AT [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) FOR AN INSPECTION OF TREE PROTECTION/PLANTING AREAS, A MINIMUM OF 5 DAYS BEFORE THE CO/HOLD RELEASE IS NEEDED.
30. VISIT CITY OF CHARLOTTE'S LAND DEVELOPMENT WEBSITE FOR ADDITIONAL INFORMATION AND URBAN FORESTRY REQUIREMENTS: [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) THEN CLICK TREES.

- NOTES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY SURVEY PREPARED BY THE ISAACS GROUP, P.C.
2. THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
3. PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE UTILITY OWNER. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
6. HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
7. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
9. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
10. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
11. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)-336-4262 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)-336-6992 FOR REQUIRED PERMITS.
12. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. "IT'S THE LAW."
13. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
14. NO LIGHT/UTILITY POLES TO BE PLACED IN TREE ISLANDS.



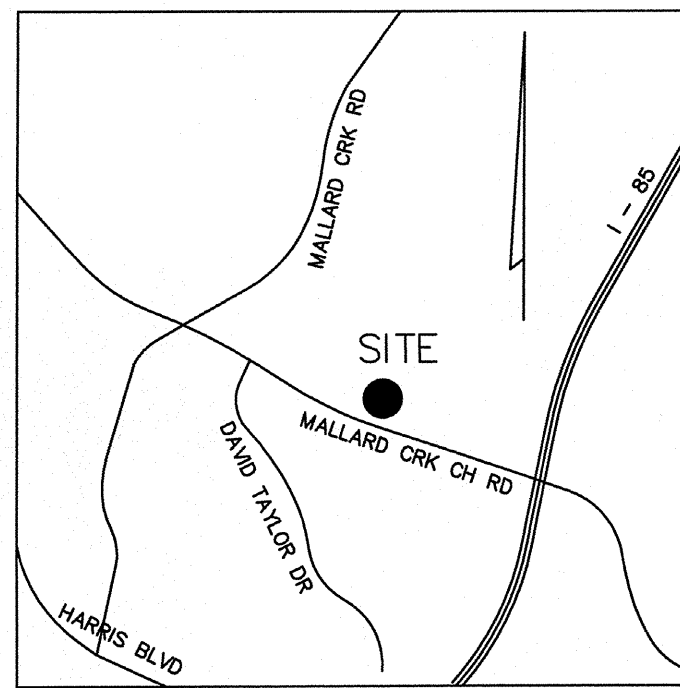
LANDSCAPING REQUIREMENTS:

- INTERNAL PLANTING:
REQ'D PLANTING AREA = 10% OF TOTAL IMPERVIOUS SURFACE
INTERNAL LANDSCAPING = 1 LMT REQ'D PER 10,000 S.F. IMPERVIOUS AREA
IMPERVIOUS AREA = 11,667 SF
= 11,667/10,000
= 2 TREES REQUIRED
4 TREES PROVIDED
PERIMETER PLANTING:
ONE LMT REQ'D PER 40' OF STREET FRONTAGE:
SENATOR ROYALL DRIVE = 115 L.F.
SENATOR ROYALL DRIVE REQUIRED STREET TREES = 115 L.F./40 = 3 LMT
SENATOR ROYALL DRIVE PROPOSED STREET TREES = 3 PROP. SMT
EACH PARKING URBAN MUST BE WITHIN 40 FEET OF A TREE
LANDSCAPE AREA:
5% OF TOTAL IMPERVIOUS AREA
REQUIRED LANDSCAPE AREA = 11,667 X 0.05 = 584 SF
PROVIDED LANDSCAPE AREA = 4,154 SF



NO.	BY	DATE	REVISION
1	NPF	11/11/2016	PER REVIEW COMMENTS

Project: THE ARBORS PARKING ADDITION
1823 EAST ARBORS, CHARLOTTE, NORTH CAROLINA
Title: SITE & LANDSCAPE PLAN
File #: 15252-PB.DWG Date: 9/22/2016 Project Egr: BTU
LU THE ISAACS GROUP, P.C. Design By: FBL
CIVIL ENGINEERING & LAND SURVEYING Drawn By: NPF
Scale: 1"=10'
8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335
C1.0



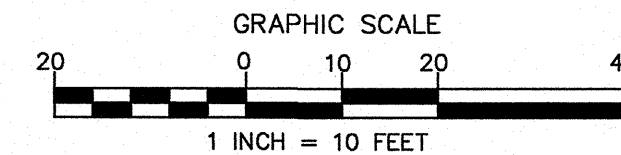
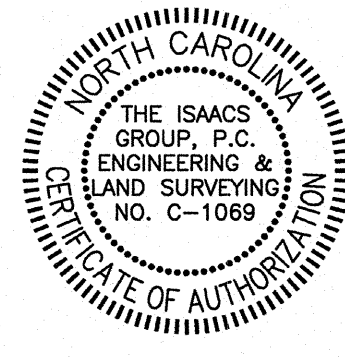
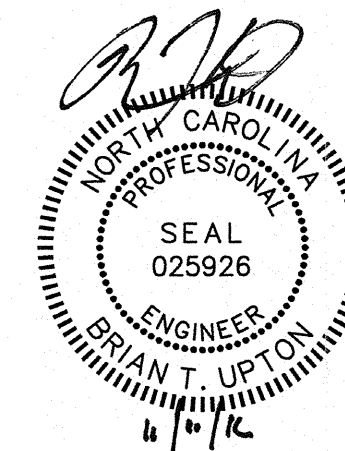
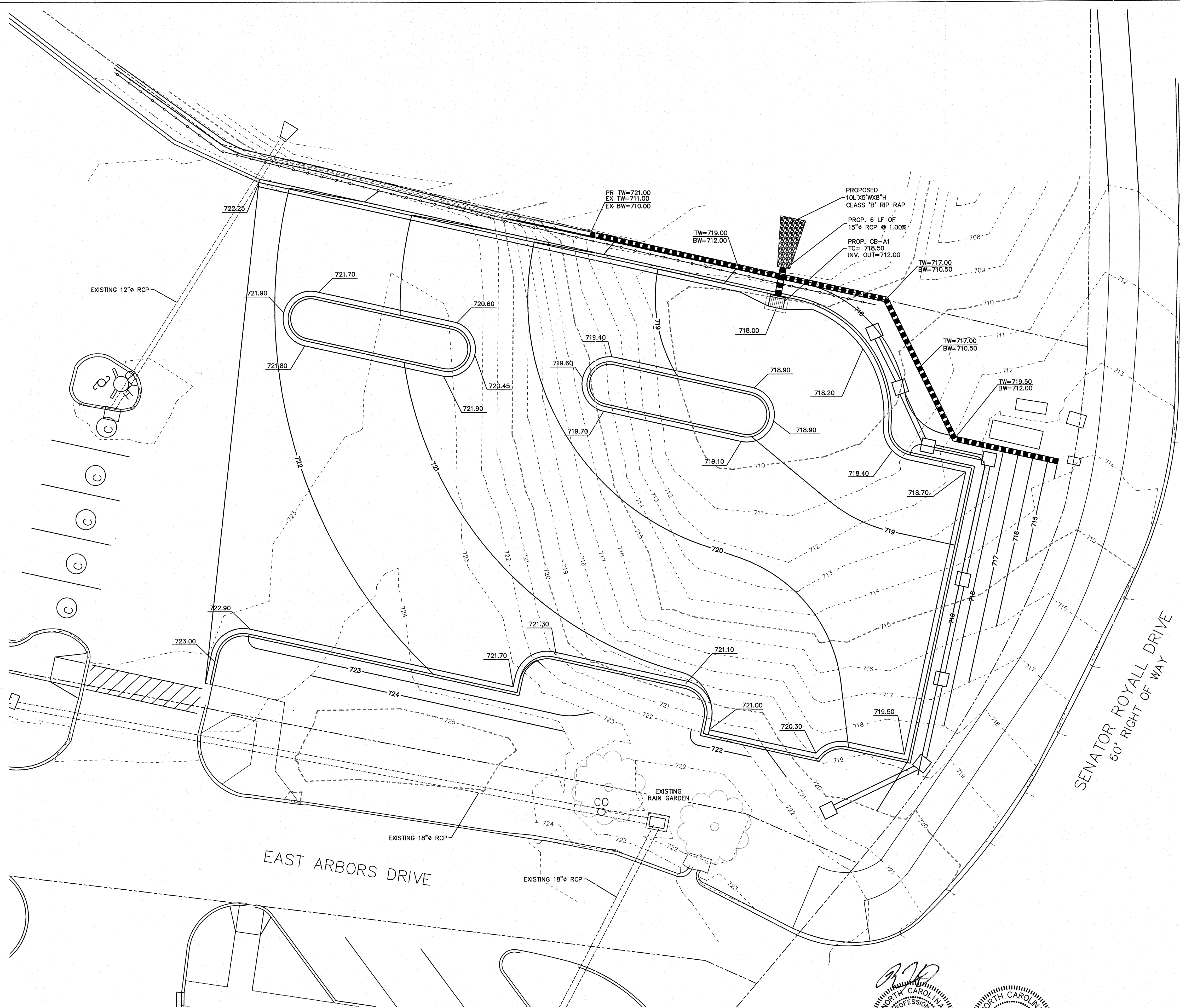
VICINITY MAP
NOT TO SCALE



LEGEND

- ELEV--- EXISTING CONTOUR
- ELEV— PROPOSED CONTOUR
- ELEV/ PROPOSED SPOT ELEVATION (ON ASPHALT)
- SS— EXISTING SANITARY SEWER LINE
- W— EXISTING WATER LINE
- EXISTING CATCH BASIN
- EXISTING STORM DRAINAGE PIPE
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED CATCH BASIN

PCCO SUMMARY		
Original Parcel ID Number(s):	02901174	
Development Type:	Commercial	
Subject to PCCO? Y/N	N	
If NO, why?	Rezoning	
Watershed:	Yadkin	
Disturbed Area (ac):	0.37	
Site Area (ac):	2.046	
	DA#1	DA#2
Total on-site Drainage Area (ac):	2.046	
Existing Built-upon-area (SF):	70,539	
Existing BUA to be removed (SF):	0	
Existing BUA to remain (SF):	70,539	
Proposed New BUA (SF):	11,667	
Proposed % BUA:	13%	
Density (High / Low):	High	
Total Post-Project BUA for site:	79,954	
Development or Redevelopment?	Development	
Natural Area Required (ac):	0.000	
Natural Area provided, total (ac):	0.000	
Undisturbed Treed Natural Area Preserved (ac):	0	
Total stream buffer protected on-site (ac):	No	
Transit Station Area? Y/N	No	
Distressed Business District? Y/N	No	
Mitigation Type (if applicable)	N/A	
Natural Area mitigation? Y/N	No	
Buffer Mitigation? Y/N	No	
Total Phosphorous Mitigation? Y/N	No	



NO.	BY	DATE	REVISION
1	NPF	11/11/2016	PER REVIEW COMMENTS

Project: **THE ARBORS PARKING ADDITION**
1823 EAST ARBORS, CHARLOTTE, NORTH CAROLINA

Title: **GRADING PLAN**

File #: 15252-PB.DWG Date: 9/22/2016 Project Egr: BTU

Design By: FBL

Drawn By: NPF

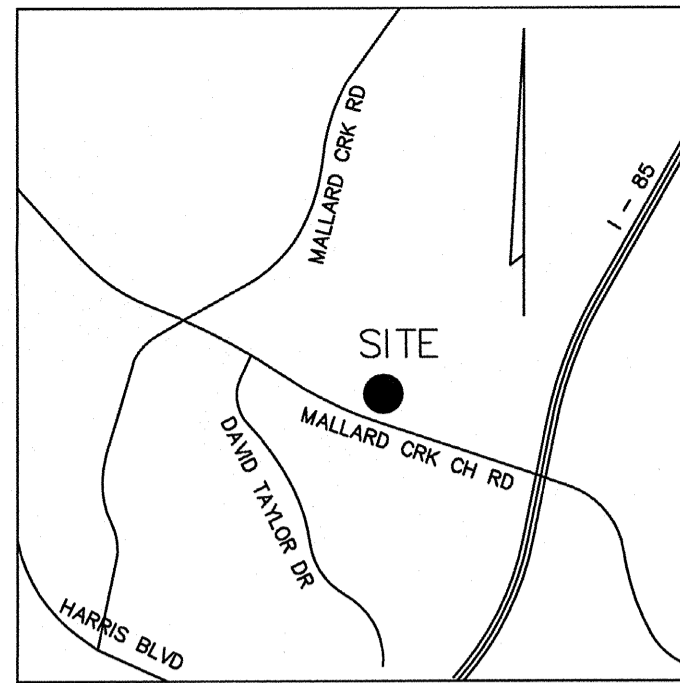
Scale: 1"=10'

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

ISAACS GROUP

CIVIL ENGINEERING-GEO-TECHNICAL-SURVEYING

C2.0



VICINITY MAP
NOT TO SCALE

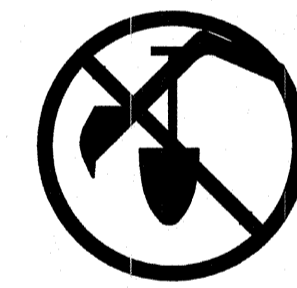


TREE PROTECTION NOTES:

1. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINE STANDARDS.
2. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING /CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.
4. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND /OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
5. URBAN FORESTER MUST BE NOTIFIED OF THE PRE-CONSTRUCTION MEETING.
6. SPECIMEN TREES USED IN TREE SAVE CALCULATIONS HAVE BEEN SURVEYED. SITE INSPECTIONS HAVE DETERMINED THAT NO HERITAGE TREES ARE LOCATED ON THIS PROPERTY.
7. TREE PROTECTION FENCING TO BE PLACED AT THE DRIFLINE PLUS FIVE (5) FEET, PRIOR TO ANY DEMOLITION OR GRADING ACTIVITY.
8. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
9. SUPPLEMENTAL TREE SAVE AREAS MAY BE USED TO OFFSET THE TREE SAVE REQUIREMENTS FOR PHASE V, HOWEVER A TREE SURVEY WILL BE REQUIRED BY THE CHARLOTTE URBAN FORESTRY FOR ALL AREAS 30 FEET OR LESS.
10. CHAIN LINK FENCE TO BE USED FOR TREE PROTECTION IN ANY AREAS WHERE THERE ARE SIGNIFICANT GRADING.

EROSION CONTROL NOTES:

1. ALL "STD." NUMBERS REFER TO THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
2. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
3. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE STATE'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
4. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY AND COUNTY'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
5. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
6. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN.
7. FAILURE TO SCHEDULE AN ON-SITE MEETING WITH CITY OF CHARLOTTE EC INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION AND IS SUBJECT TO A FINE.
8. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY OF CHARLOTTE.
9. ANY LAND-DISTURBING ACTIVITY > 1 ACRES REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (PERMIT NO. NCG010000). ANY PERMIT NON-COMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT ACTION BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH, AND NATURAL RESOURCES.
10. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING.
11. A GRADING PLAN MUST BE SUBMITTED TO CITY OF CHARLOTTE FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
12. DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.



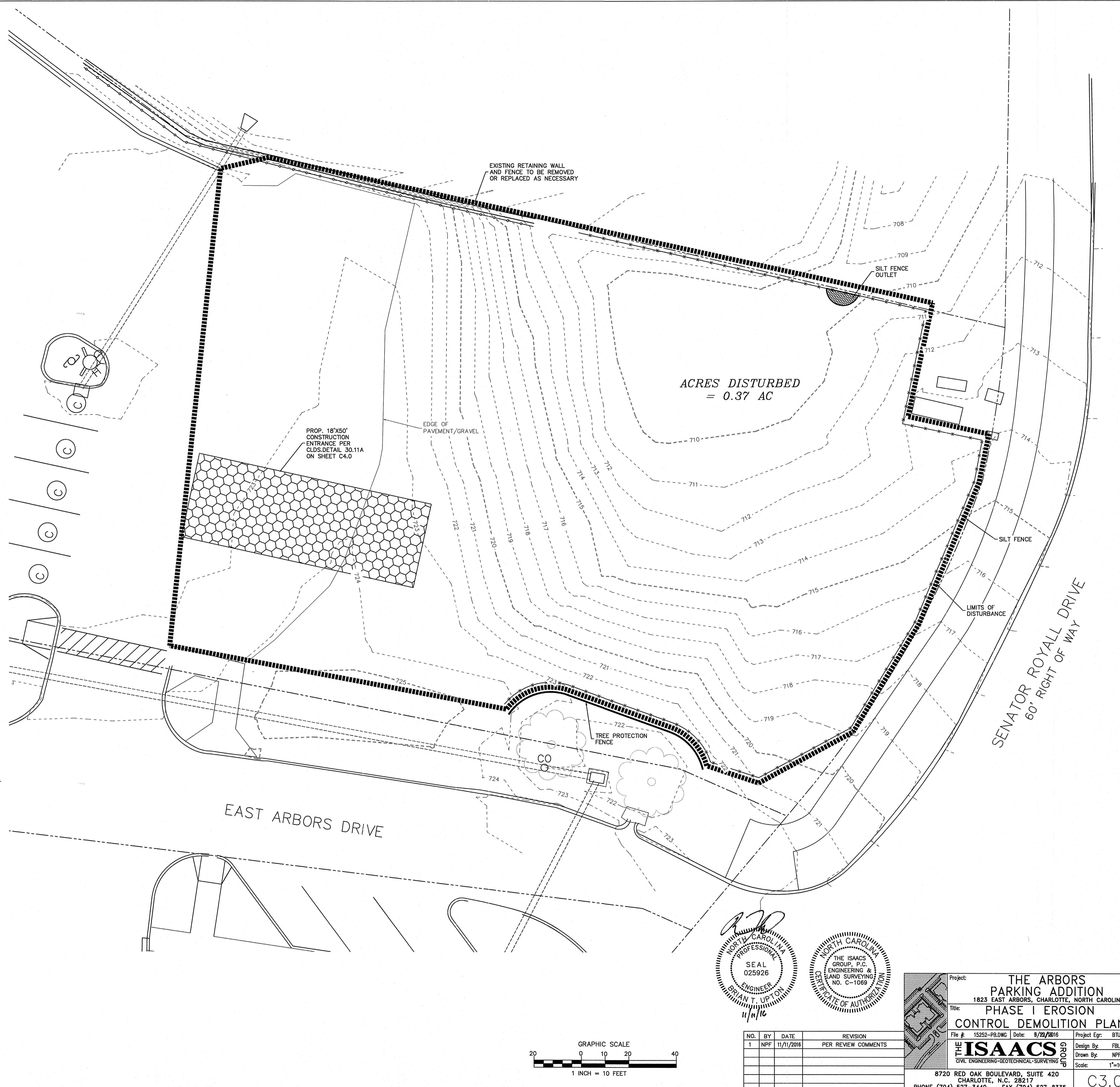
BEFORE YOU DIG I
CALL 811
N.C. ONE-CALL CENTER
IT'S THE LAW 1
www.nc811.org

CONSTRUCTION SEQUENCE

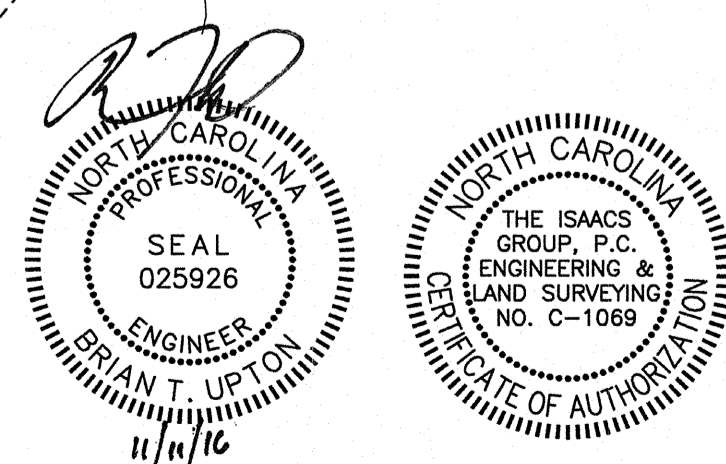
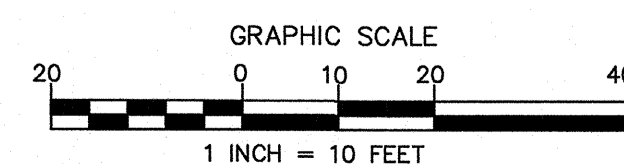
1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
2. SET UP PRE-CONSTRUCTION CONFERENCE ON SITE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPT. (PH. 704-517-1152) TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 18 OF THE CITY CODE AND IS SUBJECT TO FINES.
3. INSTALL SILT FENCE, CONSTRUCTION ENTRANCE, TREE PROTECTION FENCE AND OTHER MEASURES AS SHOWN ON PLANS. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
4. CALL 704-517-1152 FOR ON-SITE INSPECTION BY ENGINEERING INSPECTOR. WHEN APPROVED, AND THE ENGINEERING INSPECTOR ISSUES THE GRADING PERMIT, CONSTRUCTION MAY BEGIN.
5. ROUGH GRADE SITE, INSTALL INLET PROTECTION AT STORM DRAINAGE STRUCTURES, INSTALL UTILITIES.
6. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN EROSION CONTROL DEVICES AND STRUCTURES.
7. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISH GRADE.
8. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, U.S. SOIL CONSERVATION SERVICE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CITY OF CHARLOTTE ENGINEERING DEPT.
9. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE CITY OF CHARLOTTE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
10. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF ANY EROSION CONTROL MEASURE.

LEGEND

- ELEV- EXISTING CONTOUR
- ELEV- PROPOSED CONTOUR BY OTHERS
- ELEV- PROPOSED CONTOUR
- TEMPORARY INLET PROTECTION
- LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE
- TD-TD- TEMPORARY DIVERSION DITCH
- /// BUILDING, ASPHALT, GRAVEL TO BE REMOVED
- XXXXXXXXXX EXISTING UTILITY, FENCE, FOUNDATION, CURB, ETC. TO BE REMOVED
- X TREE TO BE REMOVED



ACRES DISTURBED
= 0.37 AC



NO.	BY	DATE	REVISION
1	NPF	11/11/2016	PER REVIEW COMMENTS

Project: THE ARBORS PARKING ADDITION
1823 EAST ARBORS, CHARLOTTE, NORTH CAROLINA

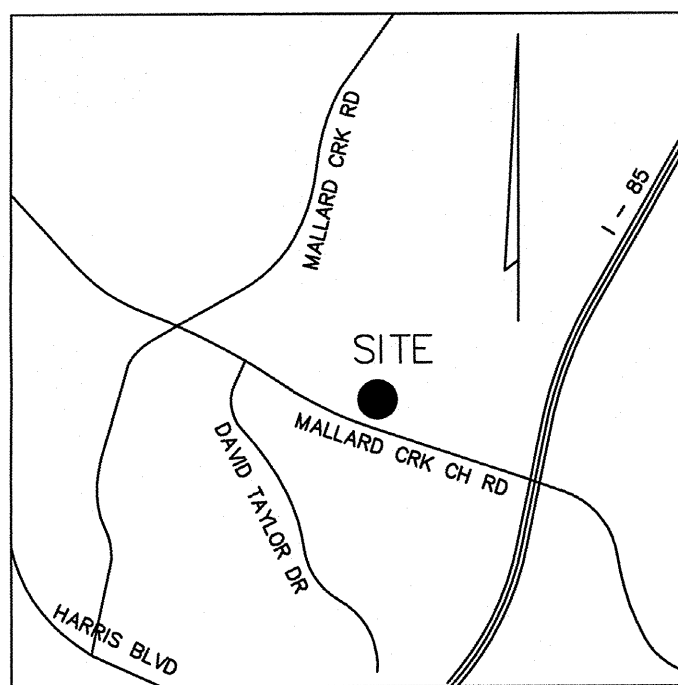
Title: PHASE I EROSION CONTROL DEMOLITION PLAN

File #: 15252-PB.DWG Date: 9/29/2016 Project Egr: BTU

Design By: FBL
Drawn By: NPF
Scale: 1"=10'

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

C3.0



VICINITY MAP
NOT TO SCALE

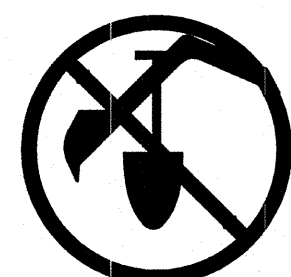


TREE PROTECTION NOTES:

1. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE GUIDELINE STANDARDS.
2. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING /CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREAS.
4. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND /OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
5. URBAN FORESTER MUST BE NOTIFIED OF THE PRE-CONSTRUCTION MEETING.
6. SPECIMEN TREES USED IN TREE SAVE CALCULATIONS HAVE BEEN SURVEYED. SITE INSPECTIONS HAVE DETERMINED THAT NO HERITAGE TREES ARE LOCATED ON THIS PROPERTY.
7. TREE PROTECTION FENCING TO BE PLACED AT THE DRIPLINE PLUS FIVE (5) FEET, PRIOR TO ANY DEMOLITION OR GRADING ACTIVITY.
8. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES, GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
9. SUPPLEMENTAL TREE SAVE AREAS MAY BE USED TO OFFSET THE TREE SAVE REQUIREMENTS FOR PHASE V, HOWEVER A TREE SURVEY WILL BE REQUIRED BY THE CHARLOTTE URBAN FORESTRY FOR ALL AREAS 30 FEET OR LESS.
10. CHAIN LINK FENCE TO BE USED FOR TREE PROTECTION IN ANY AREAS WHERE THERE ARE SIGNIFICANT GRADING.

EROSION CONTROL NOTES:

1. ALL "STD." NUMBERS REFER TO THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
2. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
3. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE STATE'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
4. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY AND COUNTY'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
5. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
6. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN.
7. FAILURE TO SCHEDULE AN ON-SITE MEETING WITH CITY OF CHARLOTTE EC INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION AND IS SUBJECT TO A FINE.
8. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY OF CHARLOTTE.
9. ANY LAND-DISTURBING ACTIVITY > 1 ACRES REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (PERMIT NO. NCG010000). ANY PERMIT NON-COMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT ACTION BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH, AND NATURAL RESOURCES.
10. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING.
11. A GRADING PLAN MUST BE SUBMITTED TO CITY OF CHARLOTTE FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
12. DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.



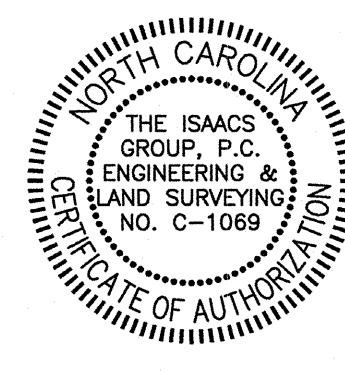
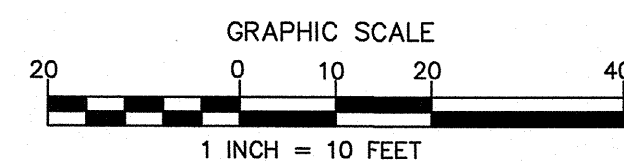
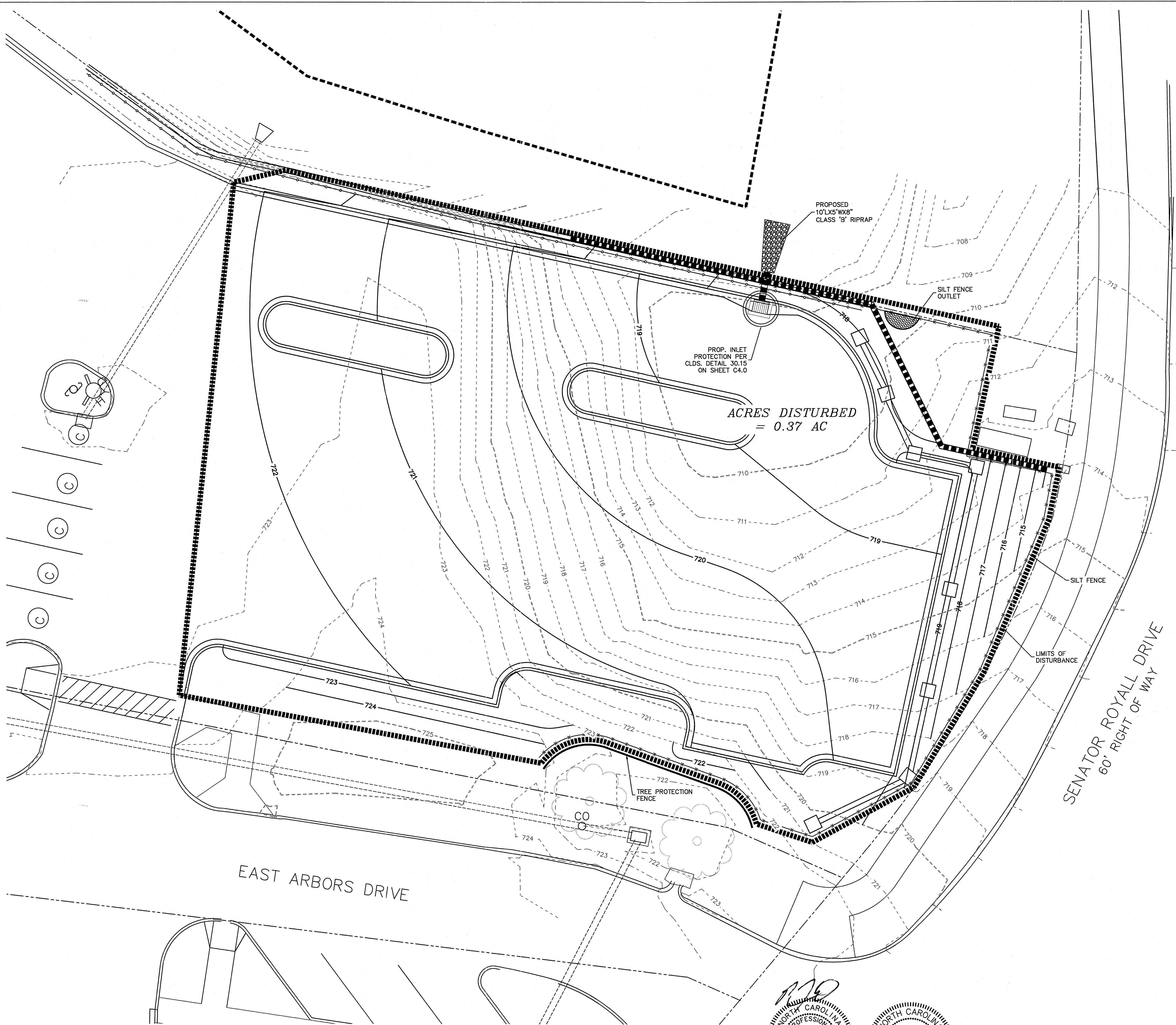
BEFORE YOU DIG I
CALL 911
N.C. ONE-CALL CENTER
IT'S THE LAW 1
www.nc811.org

CONSTRUCTION SEQUENCE

1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
2. SET UP PRE-CONSTRUCTION CONFERENCE ON SITE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPT. (PH. 704-517-1152) TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 16 OF THE CITY CODE AND IS SUBJECT TO FINE.
3. INSTALL SILT FENCE, CONSTRUCTION ENTRANCE, TREE PROTECTION FENCE AND OTHER MEASURES AS SHOWN ON PLANS. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
4. CALL 704-517-1152 FOR ON-SITE INSPECTION BY ENGINEERING INSPECTOR. WHEN APPROVED, AND THE ENGINEERING INSPECTOR ISSUES THE GRADING PERMIT, CONSTRUCTION MAY BEGIN.
5. ROUGH GRADE SITE, INSTALL INLET PROTECTION AT STORM DRAINAGE STRUCTURES, INSTALL UTILITIES.
6. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN EROSION CONTROL DEVICES AND STRUCTURES.
7. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISH GRADE.
8. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, U.S. SOIL CONSERVATION SERVICE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CITY OF CHARLOTTE ENGINEERING DEPT.
9. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE CITY OF CHARLOTTE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
10. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF ANY EROSION CONTROL MEASURE.

LEGEND

- ELEV--- EXISTING CONTOUR
- - - - - ELEV- - - - - PROPOSED CONTOUR
- TEMPORARY INLET PROTECTION
- LIMITS OF DISTURBANCE
- - - - - PROPOSED SILT FENCE



NO.	BY	DATE	REVISION
1	NPF	11/11/2016	PER REVIEW COMMENTS

Project: **THE ARBORS PARKING ADDITION**
1823 EAST ARBORS, CHARLOTTE, NORTH CAROLINA

Title: **PHASE II EROSION CONTROL PLAN**

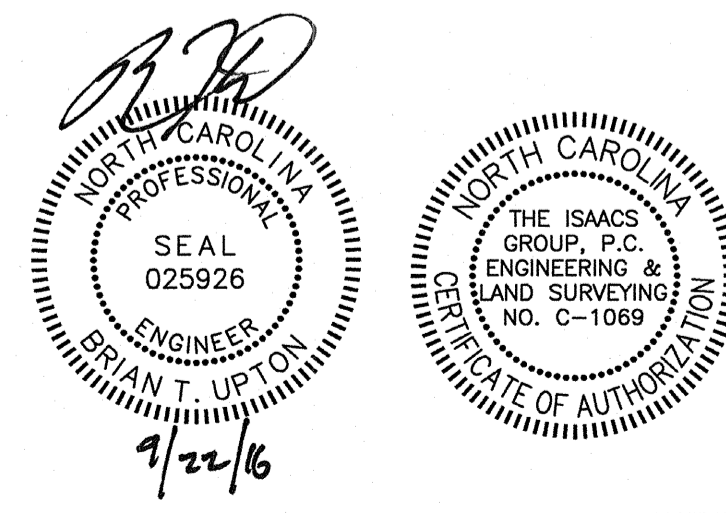
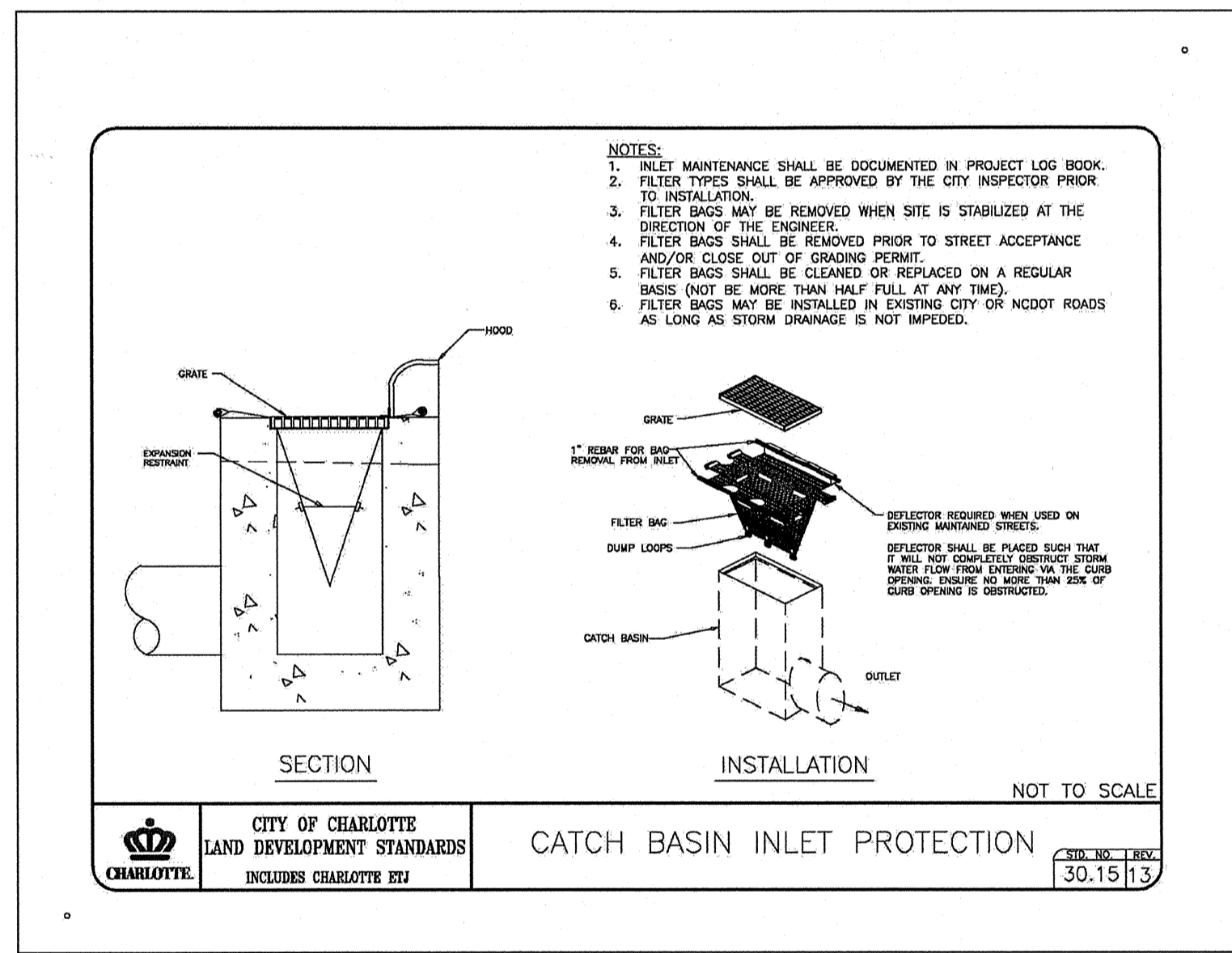
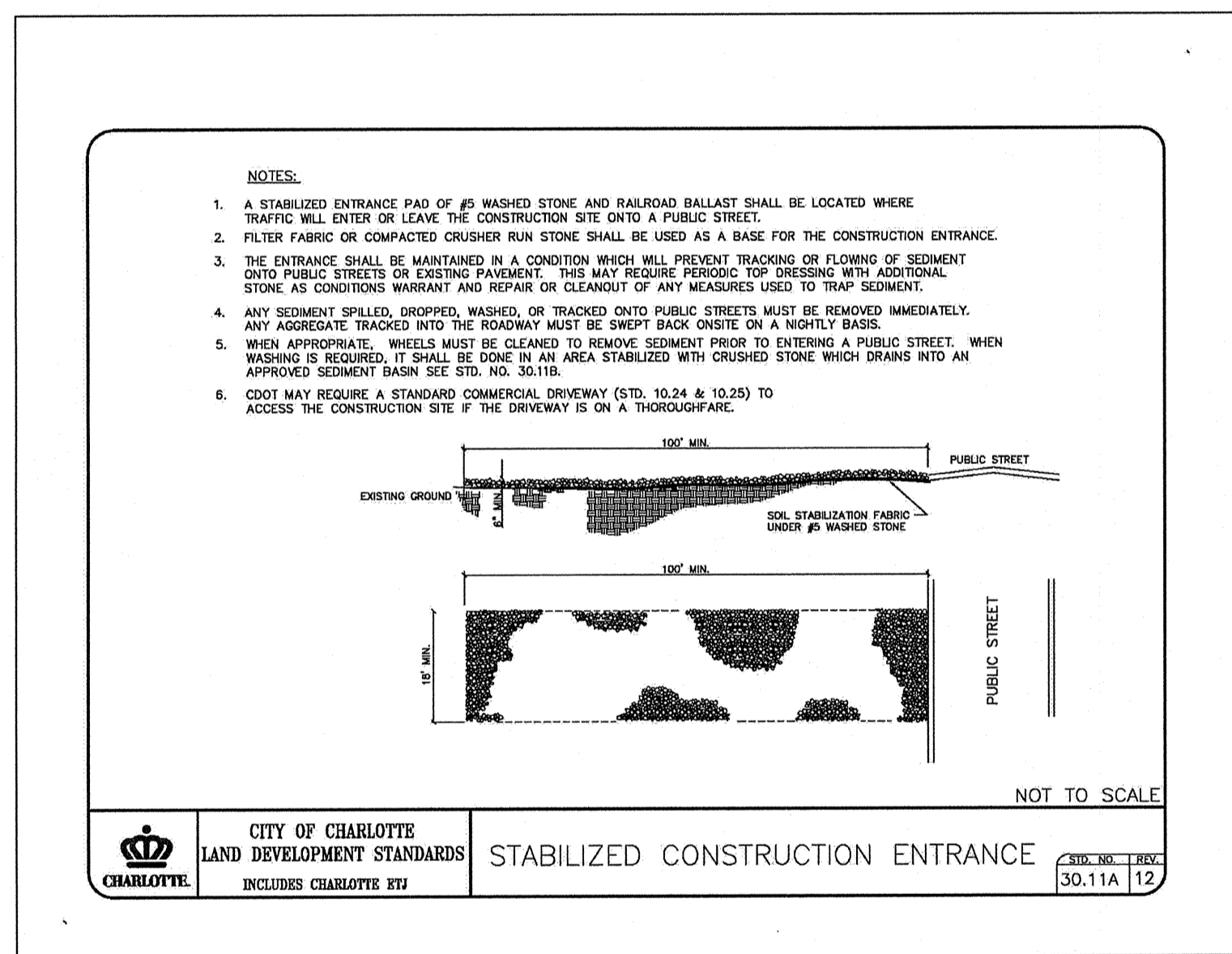
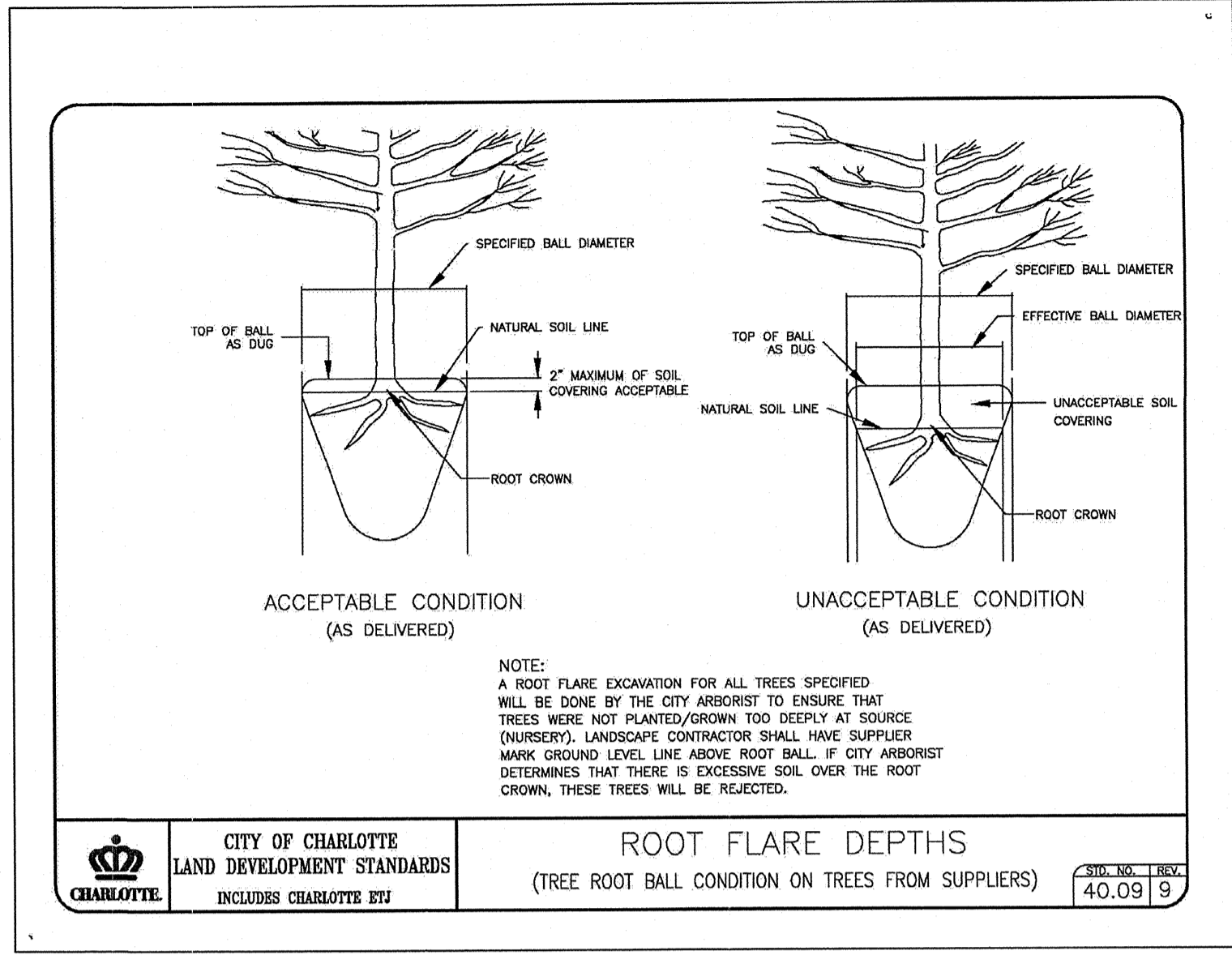
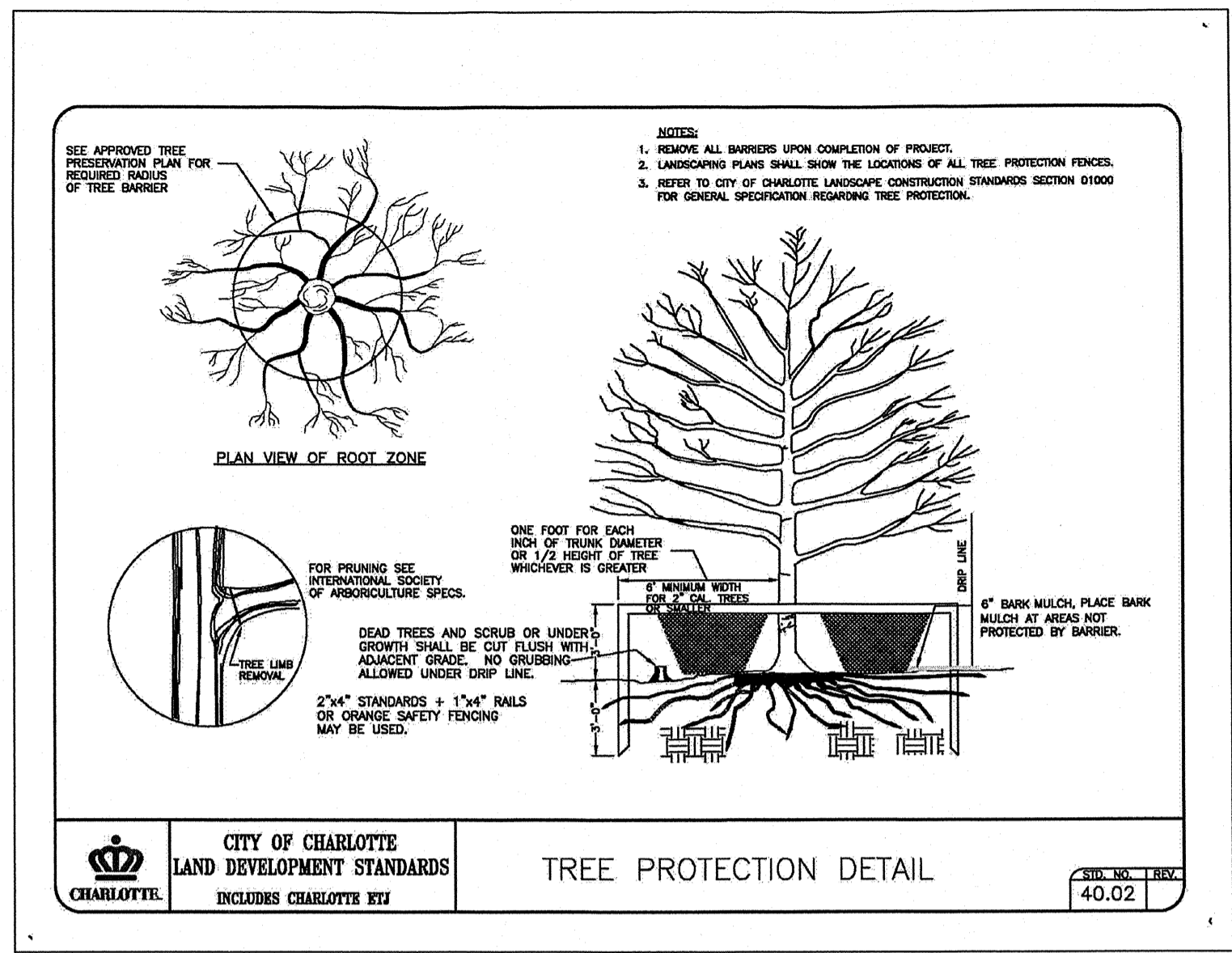
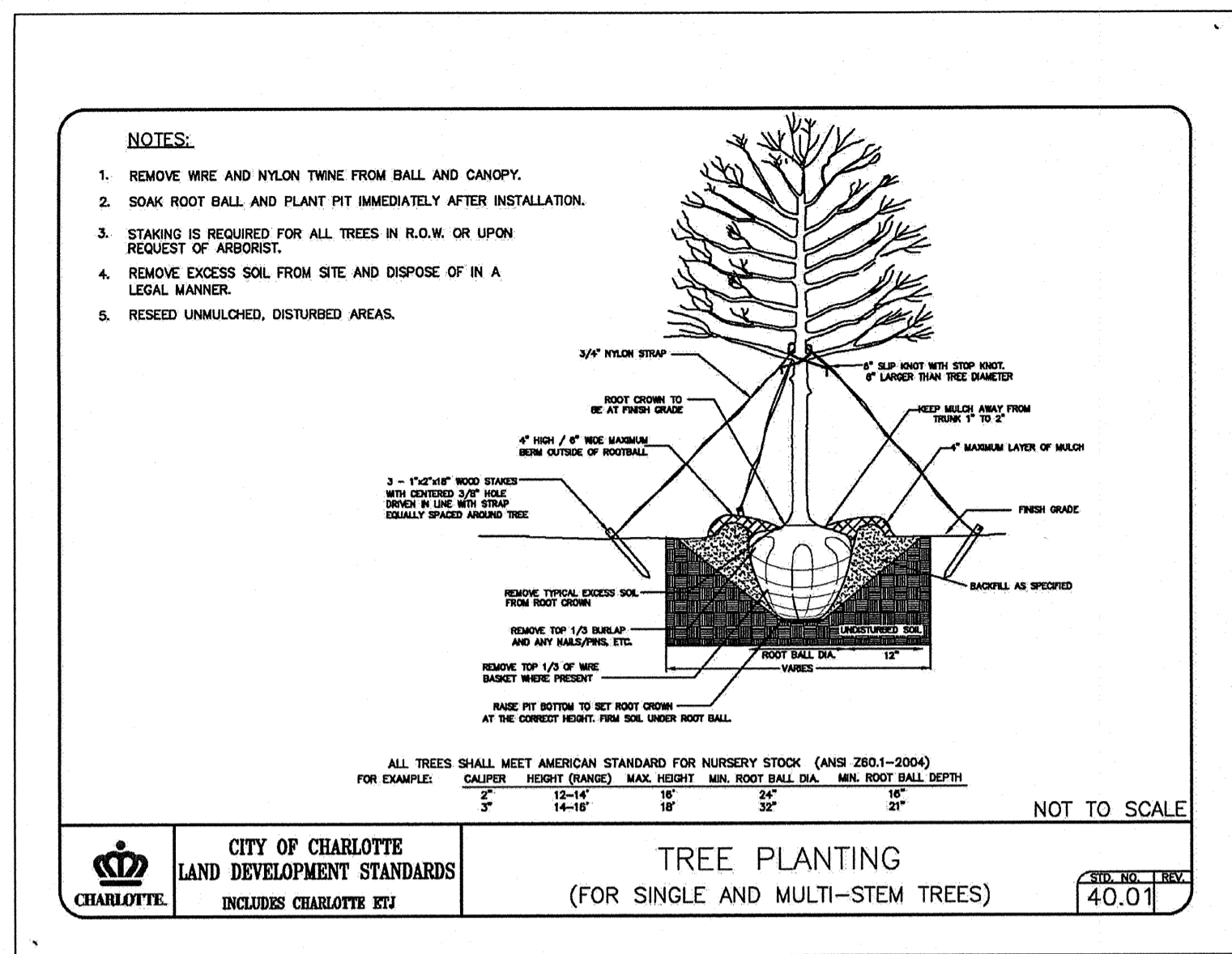
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Design By: FBL
Drawn By: NPF
Scale: 1"=10'

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CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

ISAACS GROUP
CIVIL ENGINEERING-GEOTECHNICAL-SURVEYING

C3.2



Project: THE ARBORS PARKING ADDITION
1823 EAST ARBORS, CHARLOTTE, NORTH CAROLINA

Title: DETAILS AND SPECIFICATION

File #: 15252-PB.DWG | Date: 9/22/2016 | Project Egr: BTU

Design By: BTU

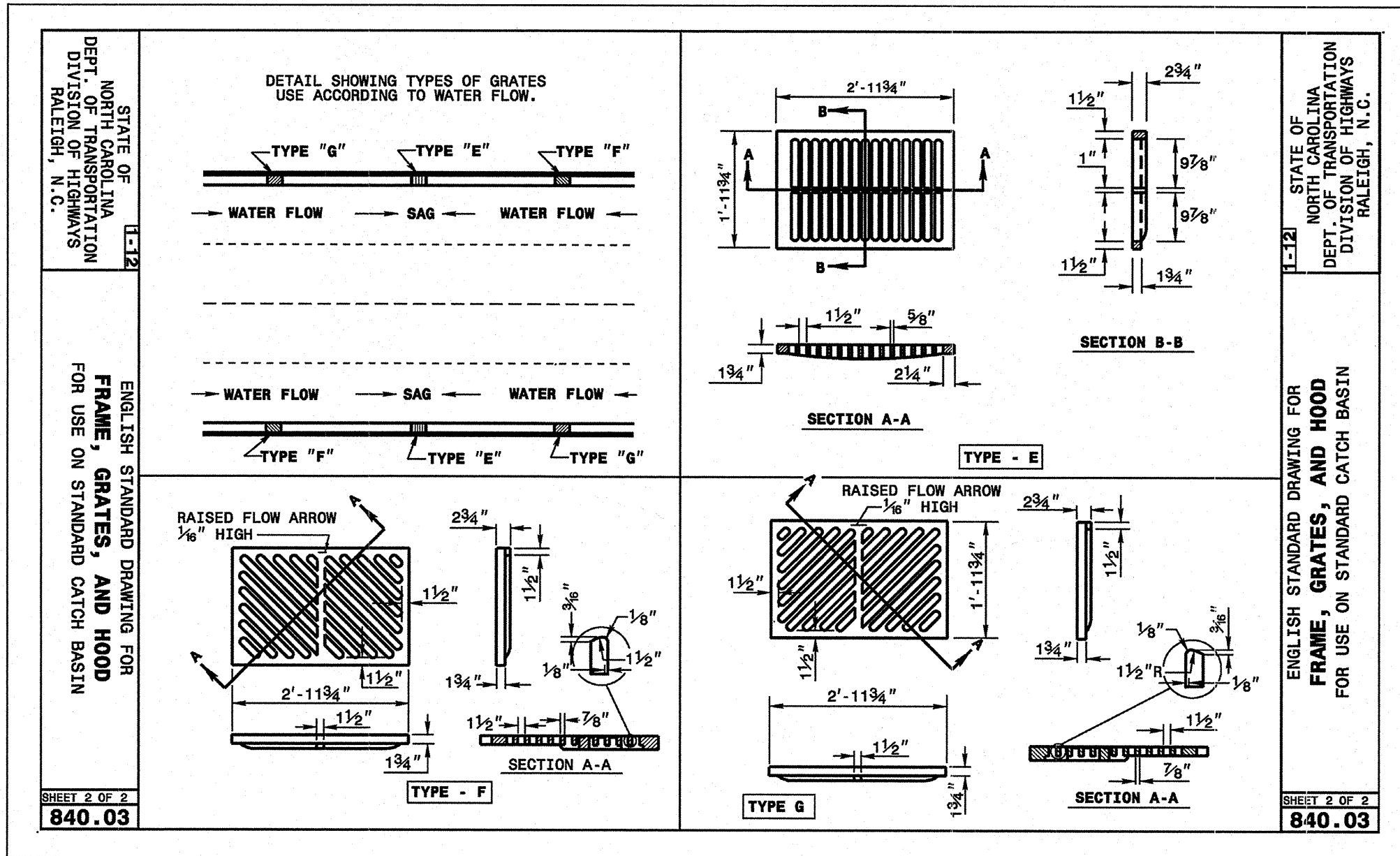
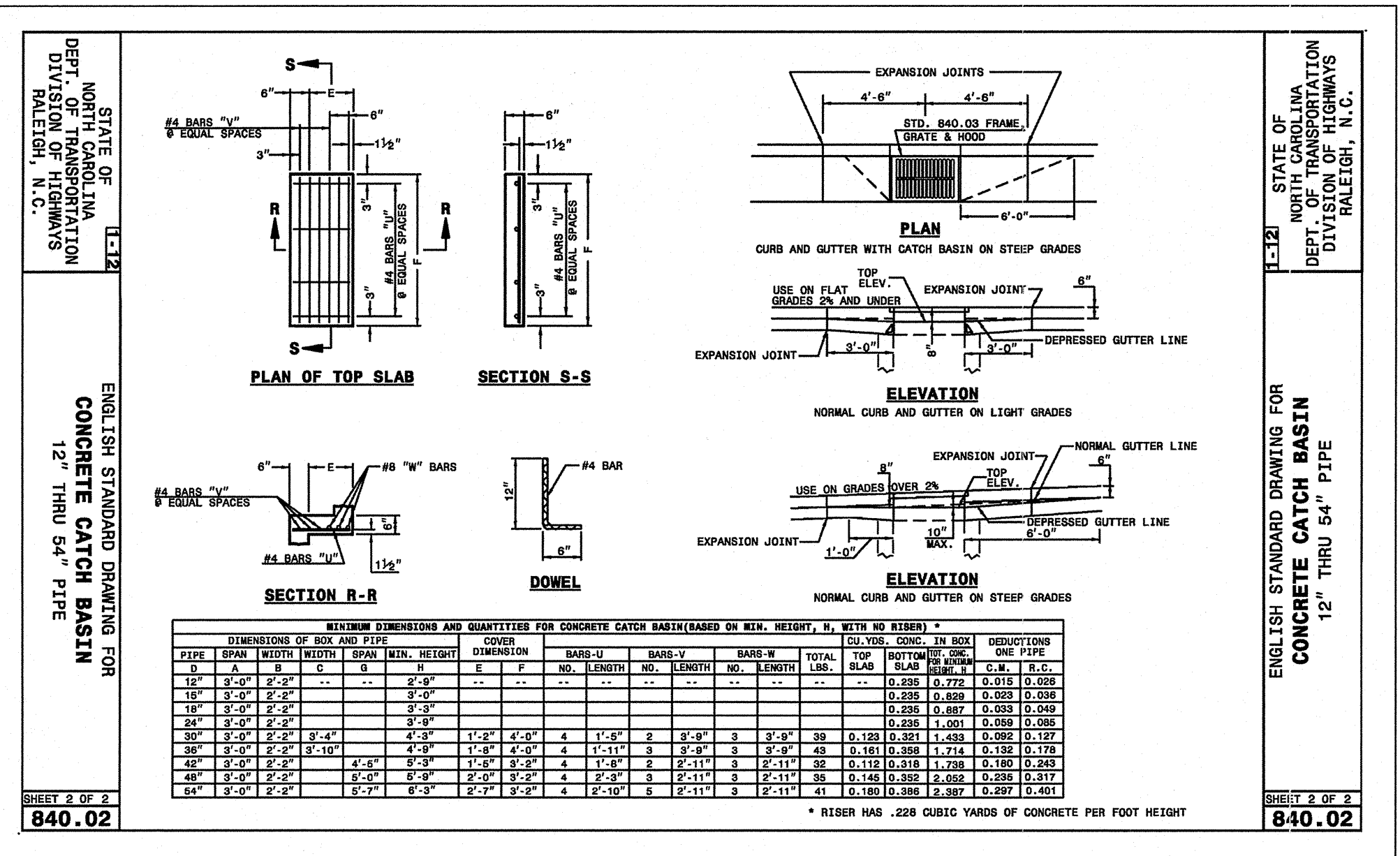
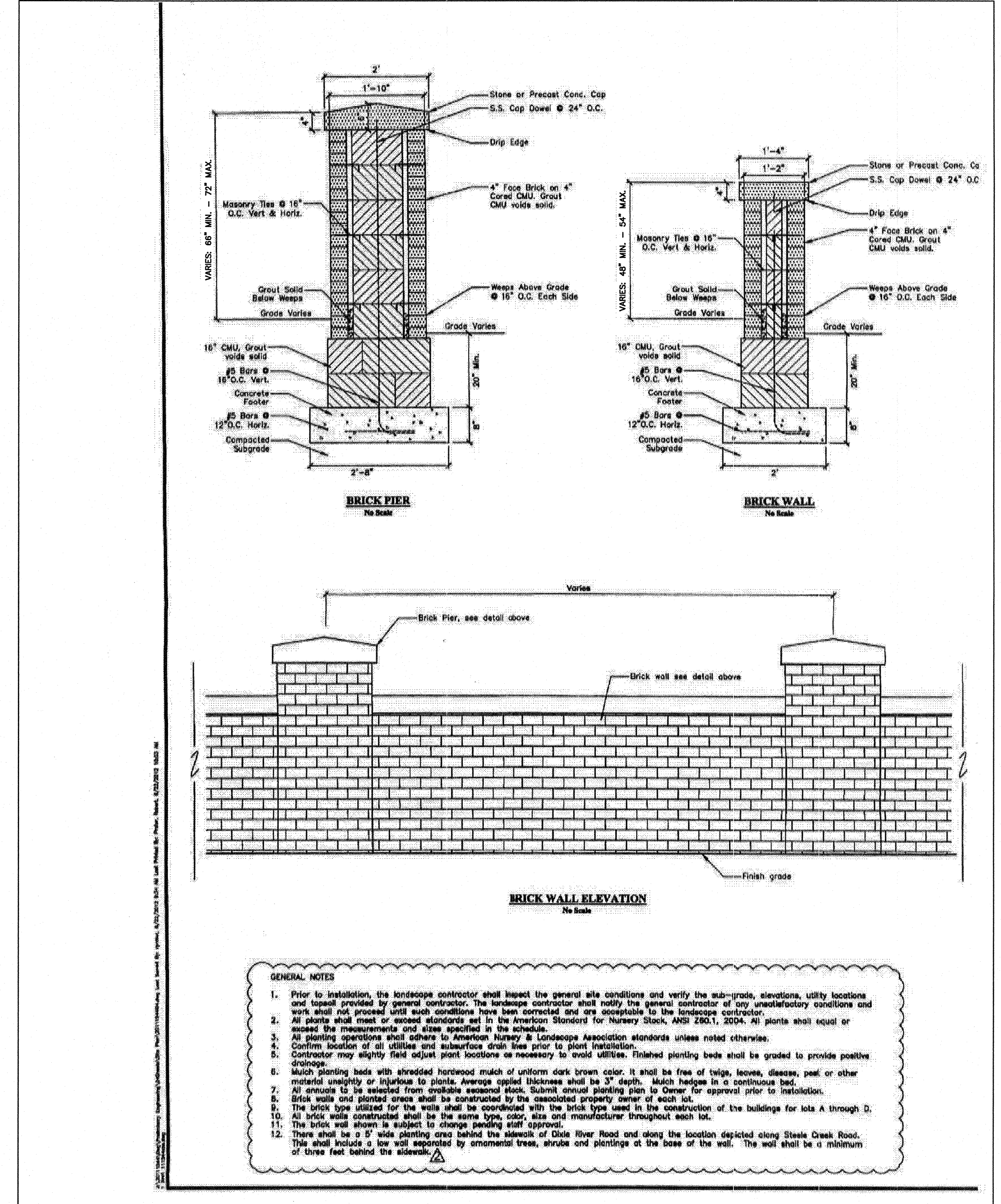
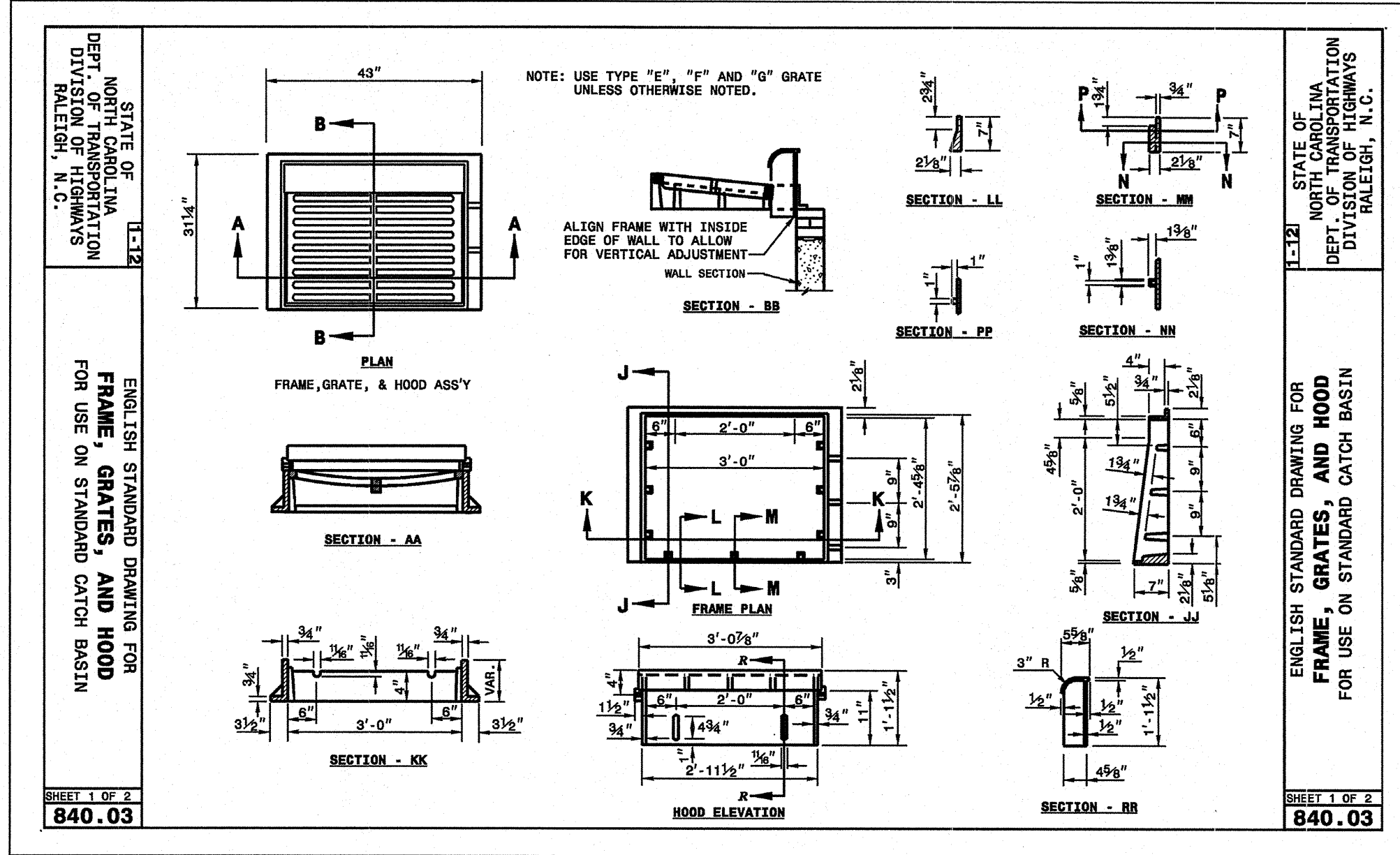
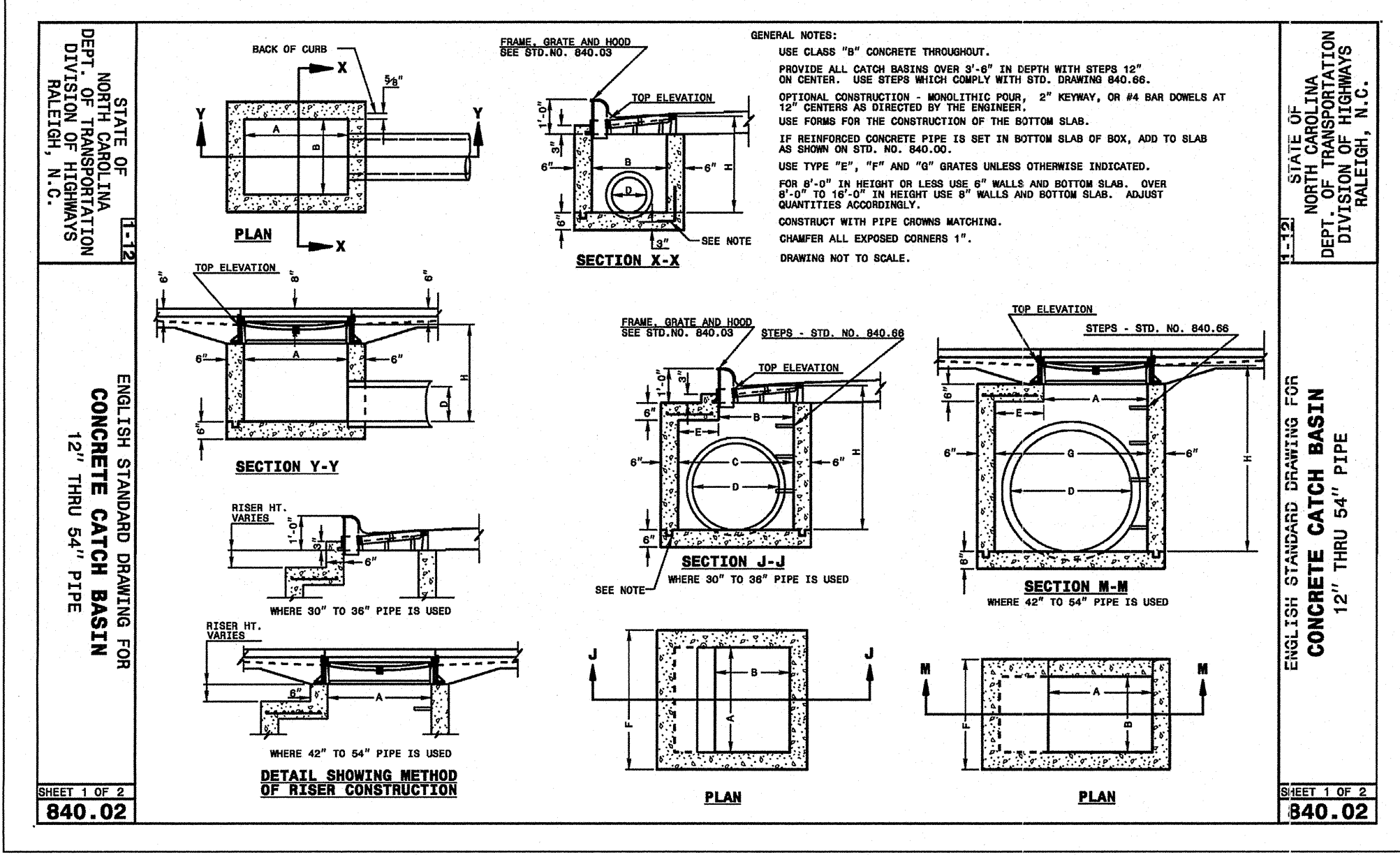
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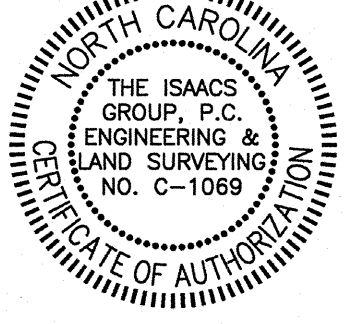
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NO.	BY	DATE	REVISION



Attached to Administrative
Approval

Solomon A. Fortune *SE*
Solomon A. Fortune



Project: THE ARBORS PARKING ADDITION
1823 EAST ARBORS, CHARLOTTE, NORTH CAROLINA

Title: DETAILS AND SPECIFICATION

File #: 15252-PBDWG Date: 9/22/2016 Project Egr: BTU

Design By: BTU
Drawn By: NPF
Scale: N.T.S.

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