

SUMMIT PROPERTIES PARTNERSHIP

TAX PARCEL ID# 18706137 DB 7674, PG 827

Zoning: R-17MF (CD)

Examples of Landscaping to be used; may vary; See Plan

1. Cryptomeria Japonica; Evergreen, Charteuse; Install 8-10' Ht. (25'+ at Full Ht.) 2. Osmanthus Fragrance; Sweet Tea Ulive; Evergreen; Install 3' Ht. (12' at Full Ht.)

Allee Elm; Textured Bark; Install 12' Ht., 2.5" cal. (40'+ at Full Ht.)

Okame Cherry; Install 8' Ht., 2" cal. (15'+ at Full Ht.) Red Oak; Install 10-12' Ht., 2.5" cal. (40'+ at Full Ht.)

6. Otto Luyken Laurel; Install 10-12" Ht. (2' at Full Ht.)

SITE NOTES: 1. The development of the site will be controlled by the standards depicted on this \nearrow site plan and by the standards of the City of Charlotte Zoning Ordinance. The ζ development depicted by this plan is intended to reflect the general arrange ment of proposed uses on the site, but the exact details of the configuration, placement and size of individual buildings and/or site elements may be altered or modified within the limits prescribed by the ordinance as specified in Section 6.206(2) as may be applicable. Minor and incidental changes of detail which do not alter the basic, overall layout and/or the relationships to abutting sites are permitted as a matter of right for the petitioner/developer.

2. All proposed development on the site shall comply with applicable ordinance requirements regarding such things as the number and arrangement of off-street parking, setback/yard dimensions, signage, buffers, screening, open space, landscaping, Tree Ordinance, etc., unless otherwise indicated.

exact location may vary from that depicted, but shall comply with all applicable design/ locational requirements of the Charlotte Dept. of Transportation and/or the North Carolina Dept. of Transportation.

Vehicular points of access shall be limited to those shown on the plan. The

4. Maximum building heights shall be limited to two stories. The maximum building) height shall not exceed 40 feet. 5. The proposed development is a townhome for sale development containing

in a series of five triplex buildings. 6. A six foot high masopry screening wall shall be constructed along the site's _southerly boundary as illustrated on the site plan. The masonry material (3) used in the wall shall be the same or compliment the masonry material(s) of

the exterior of the proposed buildings.

fifteen dwelling units. As indicated by the site plan, the units shall be designed (

7. An open space area shall be designed and incorporated along the front portion of the site, which shall contain a combination of manicured lawn and landscaping as generally shown/ illustrated.

-OKAME CHERRY

FUTURE CONNECTIVITY

 \wedge 8. An internal sidewalk shall be constructed on one side of the private street to connect with the sidewalk at the public street curb. A sidewalk in accordance with applicable requirements shall be constructed along the site's Providence at the property edges.

Bicycle parking shall be provided in accordance with applicable ordinance

requirements.

SUMMIT PROPERTIES PARTNERSHIP

1 TAX PARCEL ID# 18706136

___EX. 30" OAK

TAX PARCEL ID# 18706137

DB 7674, PG 827

ZONING:R-17MF (CD)

10. The petitioner / developer shall provide a right-of-way dedication sufficient to establish a 50 foot right-of-way as measured from the centerline of Providence Road. Such dedication shall occur prior to the issuance of any building permit associated with the proposed development.

11. The petitioner / developer shall install a fire hydrant, if one does not already (12. The attached architectural elevations are intended to illustrate the architectura 슜 style and theme of the proposed buildings.. The exterior wall elevations of the buildings shall utilize masonry construction materials including brick, stone, stucco, and/ or any combinations of those or other masonry materials. Vind siding or similar materials shall not be permitted. Furthermore, architectural 2 grade shingles shingles or cedar shakes shall be used for the roofing material. Minor and incidental alterations of the building design which do not alter the overall general architectural theme, as shown, are permitted as a matter of right

by the petitioner / developer. 13. Stormwater detention shall be designed and constructed as an underground system, built to local and state codes.

14. The proposed private street shall be designed as a Modified Type II Driveway. The radius will be determined during the diriveway permit process.

15. Each dwelling is required to have a sub-tot containing a minimum of 400 sq. feet of open space.

Road frontage. The sidewalk shall provide a transition to any existing sidewalks 16. The parking and turnaround area at the NW portion of the site shall be screened. 17. The western property boundary shall be landscaped as outlined in enlarged plan. 18. As noted, specific trees which are identified will be preserved (see Note 26) 2

> 19. The proposed development will comply with any required recycling / dumpster containers per City ordinances. However, it is anticipated that the development will utilize roll out garbage collection and not require the dumpster(s).

(20. All dwelling units will have garages. Fourteen units will have a two car exist, within 750 ft. of the farthest point of any building as the fire truck travels. 21. The maximum number of bedrooms for any dwelling unit shall be three.

> 22. No retail uses shall be permitted on the site. A customary home occupation (ie: home office) may be permitted.

> 23. The minimum rear yard dimension shall be fifteen feet, except as noted. A maximum of ten feet of the rear yard space may be used for private open space, such as a patio.

24. The minimum square footage of any dwelling unit shall be 1,750 sq. feet. 25. Decorative site lighting shall be employed for the proposed development.

26. The petitioner/ developer shall retain an arborist to examine the trees labeled as "existing" to certify whether or not said trees can be reasonably maintained and preserved as part of the proposed development as shown. In particular,

NEW PRIVATE ROAD

-EX. CREPE MYRTLE

£X. 24" OAK

---EX. 16" CEDAR

J.R. ROTUNDA & C.S. ROTUNDA

TAX PARCEL ID# 18706135

DB 6999, PG 480

ZONING: R-3

any such tree which may conflict with the placement and construction of the proposed masonry screening wall shall likewise be reviewed and evaluated for preservation by the arborist.

A future vehicular connection to the immediately abutting site to the south is provided for as indicated on the plan. This potential future connection will be preserved by an easement. In the event that the connection is made, the screen wall will be breached in that one area for the connection and will not be impeded by buildings, dumpsters, planters, etc.

SITE DATA TABLE EXISTING ZONING: R-8MF (CD) UR-2 (CD) PROPOSED ZONING: PROPOSED USE: TOWNHOMES/ LAND FOR SALE MAX. NUMBER OF UNITS: SITE ACREAGE: 1.769 ACRES

8.48 UNITS / ACRE

UR-2 F.A.R. (Floor Area Ratio Parking Requirements for UR-2 Zoning

R/W)

——EX. 22" МАРL

—EX. 36" ОАК

SITE PLAN

SCALE : 1" = 20'-0"

PROJECT DENSITY:

VICINITY MAP 1.5 parking spaces per unit PETITIONER: 23 spaces required 33 spaces provided BLUE SKY Partners, LLC CHARLOTTE, NC 28209 V: 704-239-0945

REVISIONS:

05/20/05 CHARLOTTE MECKLENBURG

PLANNING REVIEW

06/15/05
CHARLOTTE MECKLENBURG

PLANNING REVIEW

PLANNING REVIEW

01/24/06 CHARLOTTE MECKLENBURG

PLANNING REVIEW

04/04/06 REVIEW COMMENT

CHARLOTTE MECKLENBURG

<u>3</u> 12/14/05

PROPOSED: MULTI-FAMILY DEVELOPMENT 4540 Providence Road Charlotte, NC 28226

F: 704-824-0129

127 North Tryon Street Suite 210 Charlotte, NC 28202 phone: (704) 333-3360 fax: (704) 333-3362

construction@dasarchitecture.com

PETITION # 2005-087 MARCH 23, 2005

DRAWN BY: SCH CHKD. BY: ATTACHED TO ADMINISTRATER JECT NO.: 0522200 PUBLIC HEARING

BY: DEBRA D. CAMPBELL

WARNING IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT, TO ALTER THESE PLANS IN ANY WAY.

FOR

05/20/05
CHARLOTTE MECKLENBURG PLANNING REVIEW 06/15/05 CHARLOTTE MECKLENBURG PLANNING REVIEW

12/14/05 CHARLOTTE MECKLENBURG PLANNING REVIEW 01/24/06 CHARLOTTE MECKLENBURG PLANNING REVIEW

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PETITION #

01/24/06 DRAWN BY: DPC CHKD. BY: -PROJECT NO.: **Ø522200**

BY: DEDKA D. CAMPDELL

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ELEVATION

2005-087 FOR

SCALE $\frac{1}{16}$ " = 1'-0"

CHARLOTTE-MECKLENBURG PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: April 6, 2006

FROM: Debra Campbell

Planning Director

TO: Gary Huss

Zoning Coordinator

SUBJECT: Administrative Approval for Petition No. 2005-87 by Blue Sky Partners.

Attached is a revised plan and building elevations for the above petition. The plans indicate a reduction of the rear yards to ten feet and minor changes to the building elevations. Since these changes are minor and allowed by the Zoning Ordinance, I am administratively approving this revised plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.

Note that all other ordinance and signage requirements still apply.