

**SITE DATA TABLE**

EXISTING ZONING:	R-9M (CD)
PROPOSED ZONING:	UR-2 (CD)
PROPOSED USE:	TOWNHOMES/ LANG FOR SALE
MAX. NUMBER OF UNITS:	15
SITE ACREAGE:	1.769 ACRES
PROJECT DENSITY:	8.48 UNITS / ACRE
UR-2 F.A.S. Floor Area Ratio:	1.0

**Parking Requirements for UR-2 Zoning**

15 parking spaces per unit
23 spaces required
33 spaces provided

**REVISIONS:**  
 05/20/05 CHARLOTTE MECKLENBURG PLANNING REVIEW  
 06/15/05 CHARLOTTE MECKLENBURG PLANNING REVIEW  
 12/14/05 CHARLOTTE MECKLENBURG PLANNING REVIEW  
 01/24/06 CHARLOTTE MECKLENBURG PLANNING REVIEW  
 04/04/06 REVIEW COMMENT

**VICINITY MAP**

**PETITIONER:**  
 BLUE SKY Partners, LLC  
 CHARLOTTE, NC 28209  
 V: 704-239-0945  
 F: 704-824-0129

**PROPOSED:**  
 MULTI-FAMILY DEVELOPMENT  
 4540 Providence Road  
 Charlotte, NC 28226

**das architecture, inc.**  
 127 North Tryon Street  
 Charlotte, NC 28202  
 phone: (704) 333-3362  
 fax: (704) 333-3362  
 construction@dasarchitecture.com

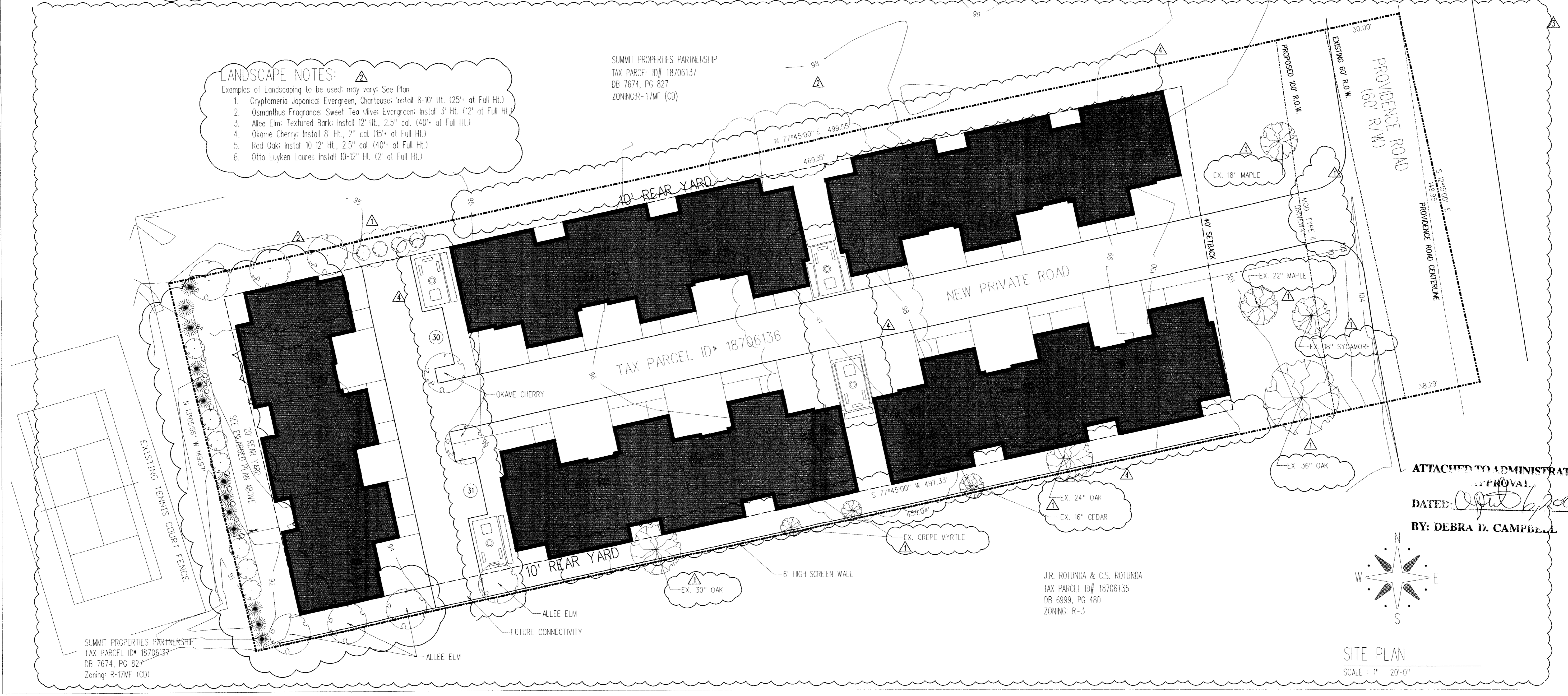
**PETITION #**  
 2005-087

**DATE:** MARCH 23, 2005  
**DRAWN BY:** SCH  
**CHKD. BY:**  
**PROJECT NO.:** 0522200

**ATTACHED TO ADMINISTRATIVE APPROVAL FOR PUBLIC HEARING**  
**DATE:** April 6, 2006  
**BY:** DEBRA D. CAMPBELL

**WARNING:**  
 IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT, TO ALTER THESE PLANS IN ANY WAY.

**SHEET** RZ-100



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**CHKD. BY:**  
**PROJECT NO.:** 0522200

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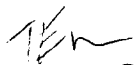
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**SHEET** RZ-101

**CHARLOTTE - MECKLENBURG  
PLANNING COMMISSION**

**INTER - OFFICE COMMUNICATION**

**DATE:** April 6, 2006

**FROM:**   
Debra Campbell  
Planning Director

**TO:** Gary Huss  
Zoning Coordinator

**SUBJECT:** Administrative Approval for Petition No. 2005-87 by Blue Sky Partners.

Attached is a revised plan and building elevations for the above petition. The plans indicate a reduction of the rear yards to ten feet and minor changes to the building elevations. Since these changes are minor and allowed by the Zoning Ordinance, I am administratively approving this revised plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.  
**Note that all other ordinance and signage requirements still apply.**