

SITE NOTES:

- The development of the site will be controlled by the standards depicted on this site plan and by the standards of the City of Charlotte Zoning Ordinance. The development depicted by this plan is intended to reflect the general arrangement of proposed uses on the site, but the exact details of the configuration, placement and size of individual buildings and/or site elements may be altered or modified within the limits prescribed by the ordinance as specified in Section 6.206(2) as may be applicable. Minor and incidental changes of detail which do not alter the basic, overall layout and/or the relationships to abutting sites are permitted as a matter of right for the petitioner/developer.
- All proposed development on the site shall comply with applicable ordinance requirements regarding such things as the number and arrangement of off-street parking, setback/yard dimensions, signage, buffers, screening, open space, landscaping, Tree Ordinance, etc., unless otherwise indicated.
- Vehicular points of access shall be limited to those shown on the plan. The exact location may vary from that depicted, but shall comply with all applicable design/ locational requirements of the Charlotte Dept. of Transportation and/or the North Carolina Dept. of Transportation.
- Maximum building heights shall be limited to two stories. The maximum building height shall not exceed 40 feet.
- The proposed development is a townhome for sale development containing fifteen dwelling units. As indicated by the site plan, the units shall be designed in a series of five triplex buildings.
- A six foot high masonry screening wall shall be constructed along the site's southerly boundary as illustrated on the site plan. The masonry material(s) used in the wall shall be the same or complement the masonry material(s) of the exterior of the proposed buildings.
- An open space area shall be designed and incorporated along the front portion of the site, which shall contain a combination of manicured lawn and landscaping as generally shown/ illustrated.

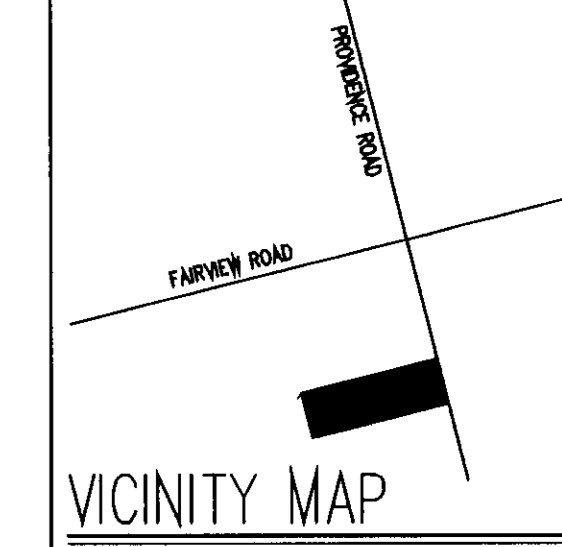
- An internal sidewalk shall be constructed on one side of the private street to connect with the sidewalk at the public street curb. A sidewalk in accordance with applicable requirements shall be constructed along the site's Providence Road frontage. The sidewalk shall provide a transition to any existing sidewalks at the property edges.
- Bicycle parking shall be provided in accordance with applicable ordinance requirements.
- The petitioner / developer shall provide a right-of-way dedication sufficient to establish a 50 foot right-of-way as measured from the centerline of Providence Road. Such dedication shall occur prior to the issuance of any building permit associated with the proposed development.
- The petitioner / developer shall install a fire hydrant, if one does not already exist, within 750 ft. of the farthest point of any building as the fire truck travels.
- The attached architectural elevations are intended to illustrate the architectural style and theme of the proposed buildings. The exterior wall elevations of the buildings shall utilize masonry construction materials including brick, stone, stucco, and/ or any combinations of those or other masonry materials. Vinyl siding or similar materials shall not be permitted. Furthermore, architectural grade shingles or cedar shakes shall be used for the roofing material. Minor and incidental alterations of the building design which do not alter the overall general architectural theme, as shown, are permitted as a matter of right by the petitioner / developer.
- Stormwater detention shall be designed and constructed as an underground system, built to local and state codes.
- The proposed private street shall be designed as a Modified Type II Driveway. The radius will be determined during the driveway permit process.
- Each dwelling is required to have a sub-lot containing a minimum of 400 sq. feet of open space.
- Screen planting at the end of the parking turnaround at the northwesterly corner of the site shall be a row of evergreen shrubs (Osmanthus Fragrance) planted at six feet on center. Such plantings shall be a minimum of three feet tall at the time of planting.
- The western property boundary shall be landscaped as outlined in enlarged plan.
- As noted, specific trees which are identified will be preserved (see Note 26)
- The proposed development will comply with any required recycling / dumpster containers per City ordinances. However, it is anticipated that the development will utilize roll out garbage collection and not require the dumpster(s).
- All dwelling units will have garages. Ten units will have a two car garage and five units will have a one car garage.
- The maximum number of bedrooms for any dwelling unit shall be three.
- No retail uses shall be permitted on the site. A customary home occupation (ie: home office) may be permitted.
- The minimum rear yard dimension shall be fifteen feet, except as noted. A maximum of ten feet of the rear yard space may be used for private open space, such as a patio.
- The minimum square footage of any dwelling unit shall be 1,750 sq. feet.
- Decorative site lighting shall be employed for the proposed development.
- The petitioner/ developer shall retain an arborist to examine the trees labeled as "existing" to certify whether or not said trees can be reasonably maintained and preserved as part of the proposed development as shown. In particular,

any such tree which may conflict with the placement and construction of the proposed masonry screening wall shall likewise be reviewed and evaluated for preservation by the arborist.

27. A future vehicular connection to the immediately abutting site to the south is provided for as indicated on the plan. This potential future connection will be preserved by an easement. In the event that the connection is made, the screen wall will be breached in that one area for the connection and will not be impeded by buildings, dumpsters, planters, etc.

SITE DATA TABLE	
EXISTING ZONING:	R-8MF (CD)
PROPOSED ZONING:	UR-2 (CD)
PROPOSED USE:	TOWNHOMES/ LAND FOR SALE
MAX. NUMBER OF UNITS:	15
SITE ACREAGE:	1.644 ACRES
PROJECT DENSITY:	9.12 UNITS / ACRE
UR-2 F.A.R. (Floor Area Ratio):	1.0
Parking Requirements for UR-2 Zoning	
	1.5 parking spaces per unit
	23 spaces required
	39 spaces provided

- REVISIONS:**
- 05/20/05 CHARLOTTE MECKLENBURG PLANNING REVIEW
 - 06/15/05 CHARLOTTE MECKLENBURG PLANNING REVIEW
 - 06/22/05 STAFF ANALYSIS COMMENTS

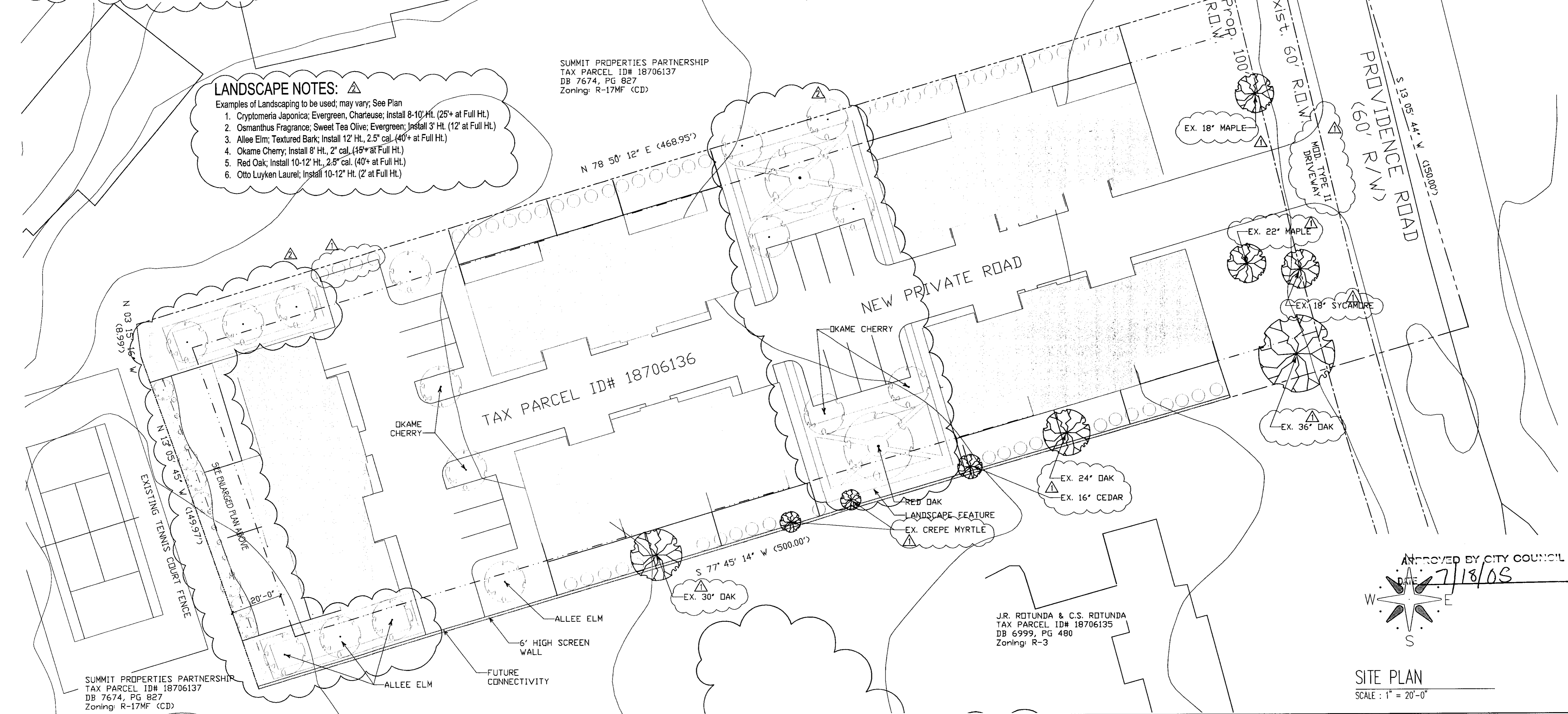


PETITIONER:
 BLUE SKY Partners, LLC
 CHARLOTTE, NC 28209
 V: 704-239-0945
 F: 704-824-0129

PROPOSED:
MULTI-FAMILY DEVELOPMENT
 4540 Providence Road
 Charlotte, NC 28226

LANDSCAPE NOTES:

- Examples of Landscaping to be used; may vary; See Plan
- Cryptomeria Japonica; Evergreen, Chateause; Install 8-10' Ht. (25+ at Full Ht.)
 - Osmanthus Fragrance; Sweet Tea Olive; Evergreen; Install 3' Ht. (12' at Full Ht.)
 - Allee Elm; Textured Bark; Install 12' Ht., 2.5" cal. (40+ at Full Ht.)
 - Okame Cherry; Install 8' Ht., 2" cal. (15+ at Full Ht.)
 - Red Oak; Install 10-12' Ht., 2.5" cal. (40+ at Full Ht.)
 - Otto Luyken Laurel; Install 10-12' Ht. (2' at Full Ht.)



ARCHITECTURE

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 6390 Main Street - Suite 120
 Williamsville, NY 14221
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 Ph: 703.998.0206 Fax: 998.5234

PETITION #
2005-087

DATE: MARCH 23, 2005
DRAWN BY: EBV
CHKD. BY: -
PROJECT NO.: M05202

FOR PUBLIC HEARING

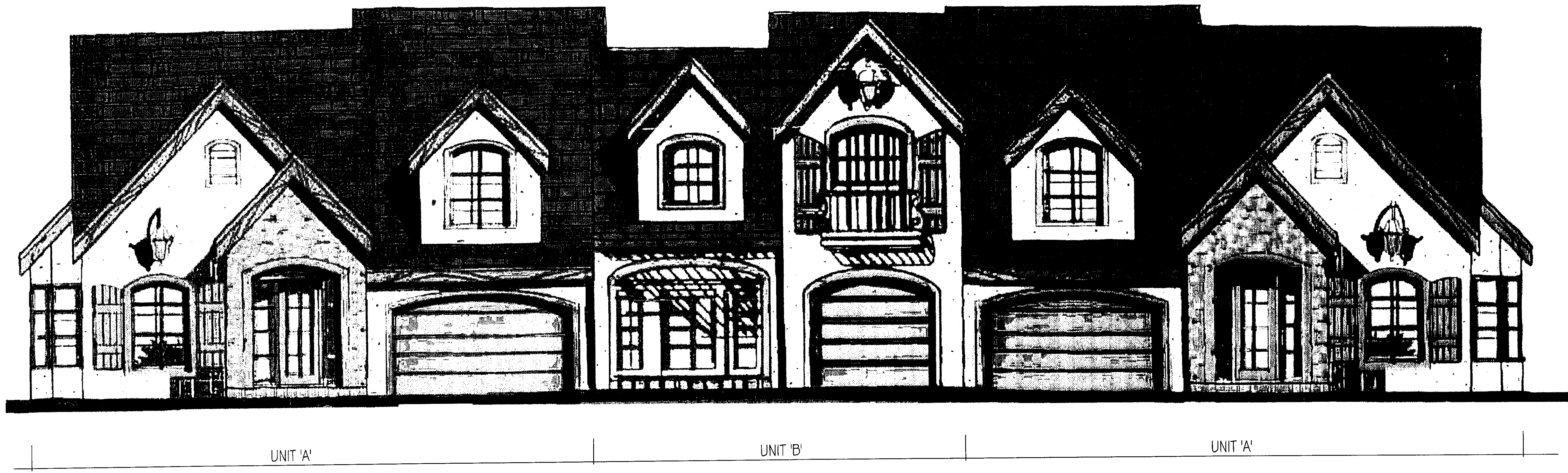
APPROVED BY CITY COUNCIL
 DATE: 7/18/05

WARNING
 IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT, TO ALTER THESE PLANS IN ANY WAY.

SITE PLAN
 SCALE: 1" = 20'-0"

SHEET RZ-100

REVISIONS:
 05/20/05
 CHARLOTTE MECKLENBURG
 PLANNING REVIEW
 06/22/05
 STAFF ANALYSIS COMMENTS



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EXTERIOR ELEVATION
 SCALE : 1/4" = 1'-0"



SIDE ELEVATION
 SCALE : 1/4" = 1'-0"

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SHEET RZ-101