

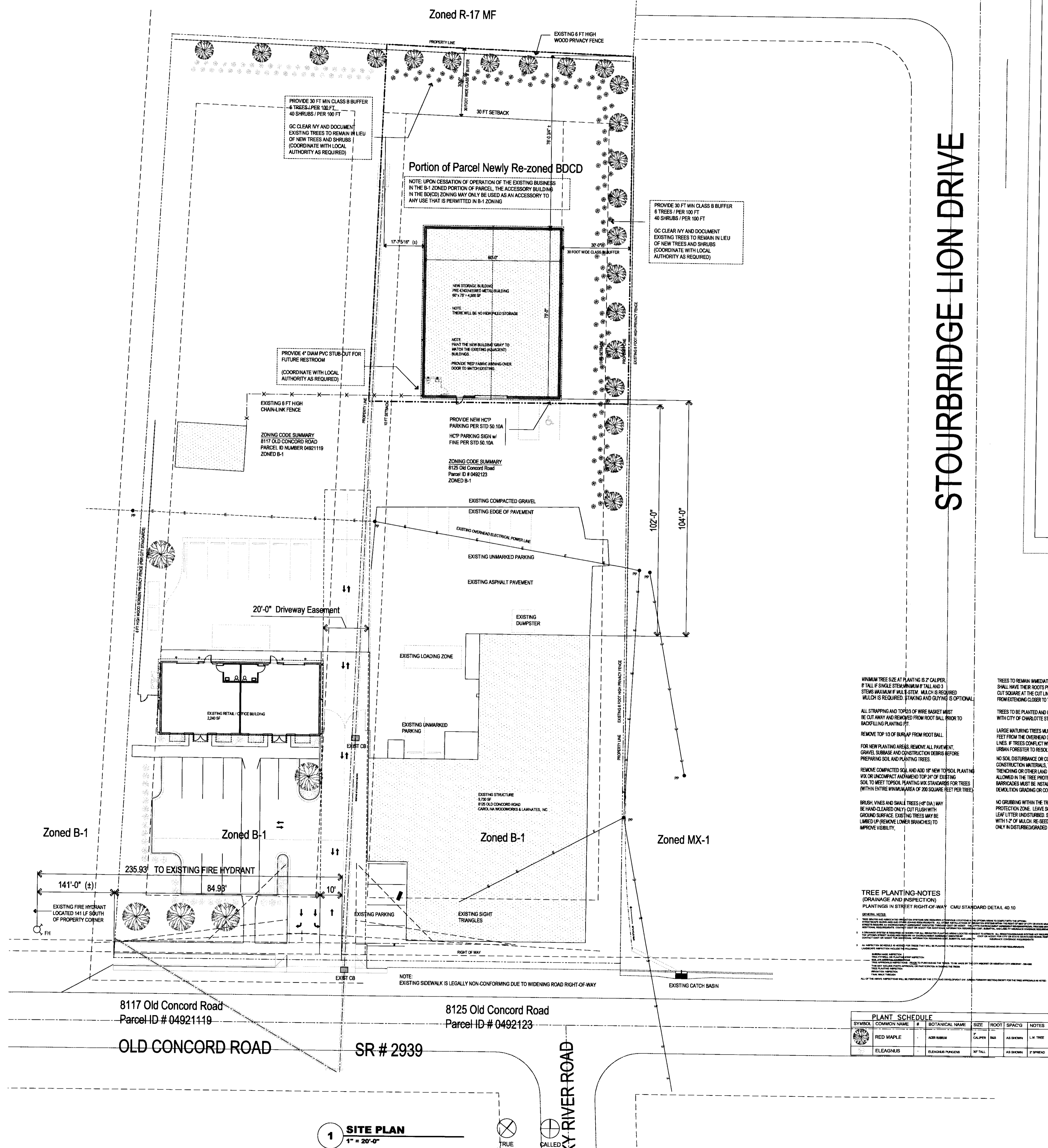
- OTHER NOTES TO APPEAR ON PLANS:
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
 - ALL ROAD IMPROVEMENTS AT OLD CONCORD ROAD TO BE COORDINATED WITH CITY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
 - DEVELOPER WILL PROVIDE STREET SIGNS PER C.M.D.S # 50.05 (IF SIGNS ONLY).
 - SIGHT TRIANGLES ARE THE MINIMUM REQUIRED.
 - IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED UPON FIELD CONDITIONS.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
 - SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
 - CURB AND GUTTER SHOWN ON THE PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
 - THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
 - HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
 - THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
 - ANY BUILDING WITHIN 100' BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
 - ANY OPENINGS (eg. DOORS, WINDOWS, VENTS) ON STRUCTURES BUILT ON LOTS NA SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100' FLOOD ANALYSIS.)
 - PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEERING PRIOR TO CONSTRUCTION.
 - "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
 - PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
 - NON-STANDARD ITEMS (ie. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY ENDOORMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/ NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
 - PRIOR TO RECORDEMENT, OFFSITE RW AND OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE RW ACQUISITION PROCESS". THESE NEEDED RW AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
 - THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDS JORDI, 704-336-7088) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COSTS AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

- EROSION CONTROL NOTES:
- ALL STD NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
 - ON SITE BURIAL PITS REQUIRE AN ON SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
 - ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
 - GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
 - ALL SLOPES MUST BE SEEDED AND MULCHED WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS, WHICHEVER IS SHORTER. REFER TO EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.
 - ADDITIONAL MEASURES TO CONTROL EROSION CONTROL AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
 - SLOPES SHALL BE GRADED NO STEEPER THAN 2:1 FLL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING (C.M.D.S # 30.15).
 - GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
 - TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.

- NOTES:
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPLIANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS C.U.D. - REQUIRED BACKFLOW PREVENTER.
 - EACH C.U.D. - REQUIRED BPA IS REQUIRED TO BE TESTED BY A C.M.D. APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.

- PARKING CALCULATIONS:
- 9,700 SF (EXISTING BLDG) 1,750 SF OFFICE 8,000 MFR
 - ① 15' SPACE / PER 400 SF = 1
 - ② 25' SPACE / PER 1,000 SF = 2
 - 4,500 SF (NEW STORAGE)
 - ③ 15' SPACE / PER 1,000 SF = 2 SPACES REQUIRED
 - 9 SPACES REQUIRED
 - 9 SPACES PROVIDED

- CONSTRUCTION SEQUENCE (CITY OF CHARLOTTE):
- OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
 - SET UP A ON-SITE PRE-CONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 18 OF THE CITY CODE AND IS SUBJECT TO FINE.
 - INSTALL SILT FENCE, INLET PROTECTION, SEDIMENT TRAPS, DIVERSION DITCHES, TREE PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS. CLEARING ONLY NECESSARY TO INSTALL THESE DEVICES.
 - CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
 - THE CONTRACTOR SHALL DELIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
 - FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
 - STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
 - COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURE.
 - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS.



MINIMUM TREE SIZE AT PLANTING: 2" CALIPER, 8' TALL (SHRUBS/STRAWBERRY FALL PLANTS) STEMS MAXIMUM 1/2" DIA. (STEM MULCH IS REQUIRED) MULCH IS REQUIRED. STAKING AND GUYING IS OPTIONAL.

ALL STRIPPING AND TOPS OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING.

REMOVE TOP 1/2" OF BURLAP FROM ROOT BALL.

FOR NEW PLANTING AREAS REMOVE ALL PAVEMENT, GRAVEL SUBBASE AND CONSTRUCTION DEBRIS BEFORE PREPARATION AND PLANTING TREES.

REMOVE COMPACTED SOIL AND ADD 10" NEW TOPSOIL PLANTING MIX OR UNCOMPACTED AND ADD 10" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX STANDARDS FOR TREES WITHIN 15' OF THE PERIMETER OF 200 SQUARE FEET PER TREE.

BURIAL LINES AND SMALL TREES (4" DIA. OR LESS) MAY BE HANDLED IN ANY CUTS/SHOULDER WITH GROUND SURFACE EXISTING TREES MAY BE LIMITED TO REMOVAL OF LOWER BRANCHES TO IMPROVE VISIBILITY.

TREES TO REMAIN IMMEDIATELY ADJACENT TO CUT AREAS SHALL HAVE THEIR ROOTS PRUNED. ROOTS ARE TO BE CUT SQUARE AT THE CUT LINE TO PREVENT DAMAGE FROM EXTENDING CLOSER TO THE BASE THAN NECESSARY.

TREES TO BE PLANTED AND GUYED IN ACCORDANCE WITH CITY OF CHARLOTTE STANDARD DETAILS.

LARGE MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM THE ENGINEERED OBSTRUCTION OF TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGAL, CALL URBAN FORESTERS TO RESOLVE BEFORE PLANTING.

NO SOIL DISTURBANCE OR CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, AND STORM DRAINAGE, GAS WATER, PHONE AND ELECTRICAL LINES).

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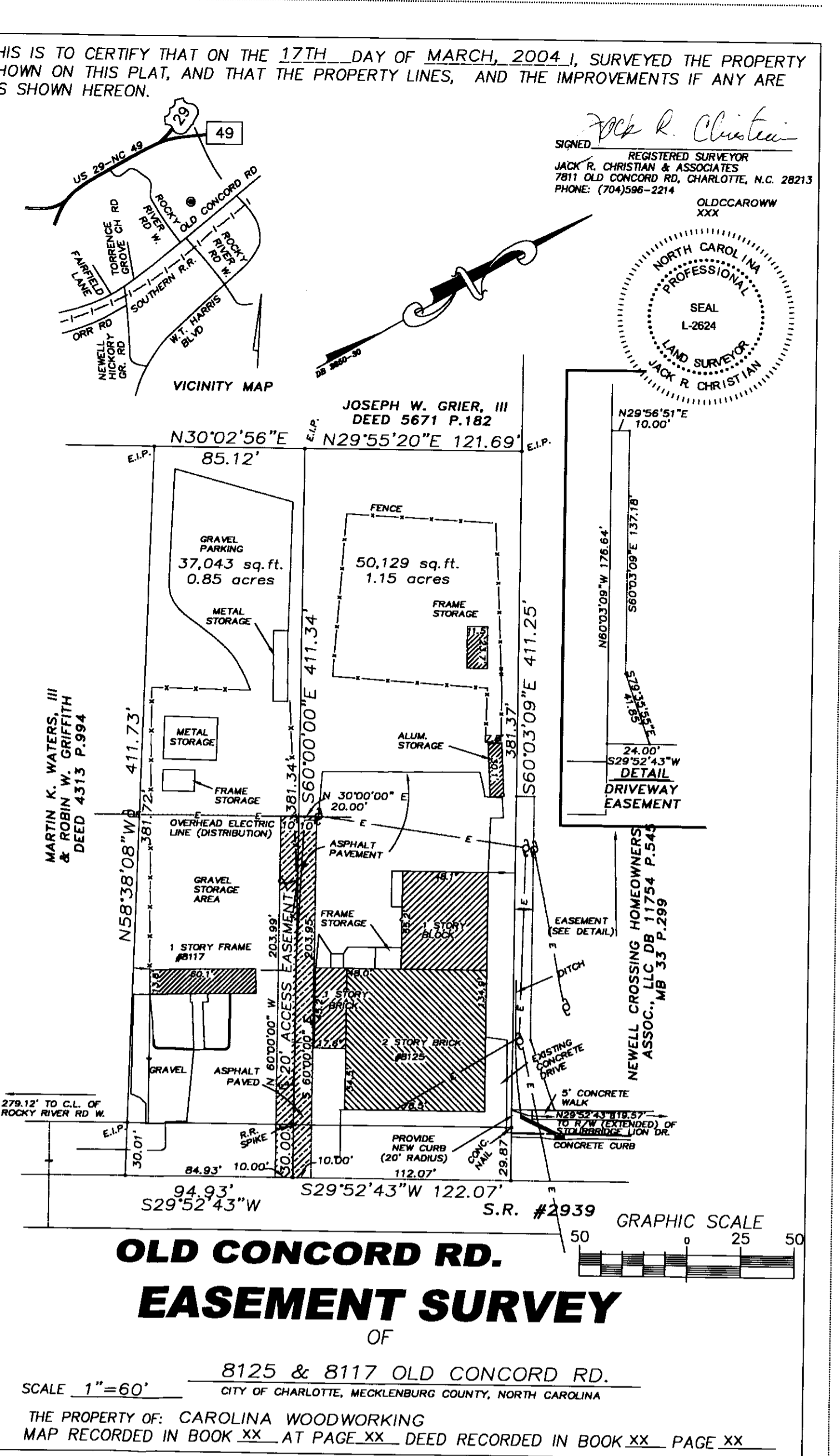
NO GRUBBING WITHIN THE TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 2" OF MULCH. RESEED WITH GRASS ONLY IN DISTURBED/GRADABLE AREAS.

TREE PLANTING NOTES (DRAINAGE AND INSPECTION):

PLANTINGS IN STREET RIGHT-OF-WAY: C.M.D. STANDARD DETAIL 40.10

PLANTINGS IN STREET RIGHT-OF-WAY: C.M.D. STANDARD DETAIL 40.10

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	SPACING	NOTES
(Symbol)	RED MAPLE	A. RUBRUM	4" CALIPER	4" DIA.	AS SHOWN	L4 TREE
(Symbol)	RELGARDIA	ELAEAGNUS	4" CALIPER	4" DIA.	AS SHOWN	T2 PRUNED



THIS IS TO CERTIFY THAT ON THE 17TH DAY OF MARCH, 2004, I, SURVEYED THE PROPERTY SHOWN ON THIS PLAN, AND THAT THE PROPERTY LINES, AND THE IMPROVEMENTS IF ANY ARE AS SHOWN HEREON.

SEAL: NORTH CAROLINA PROFESSIONAL SURVEYOR, JACK S. CHAMBERLAIN, 28115 PHOENIX PLANE (704) 644-5312, L.L.E., NORTH CAROLINA, 28115

SEAL: L-2824

SCALE: 1" = 60'

GRAPHIC SCALE: 0 25 50

OLD CONCORD RD. EASEMENT SURVEY OF 8125 & 8117 OLD CONCORD RD. CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA

THE PROPERTY OF: CAROLINA WOODWORKING MAP RECORDED IN BOOK XX AT PAGE XX DEED RECORDED IN BOOK XX PAGE XX

NOTES: THIS IS A PRE-EXISTING PROPERTY SURVEY. REFERENCE NEW PROPERTY SURVEY FOR BOUNDARIES OF REQUESTED NEW ZONING.

COORDINATE ALL UTILITIES TO ENTER PROPERTY AT DRIVEWAYS TO PREVENT DISTURBANCE TO THE TREE PROTECTION ZONE.

PLEASE CALL 311 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PROTECTION. 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.

ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 10' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE AND ELECTRICAL LINES).

ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN POWER LINE OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.

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PERIMETER TREE REQUIREMENTS:

LINEAR FEET OF ROAD FRONTAGE ALONG MAINTAINED RIGHT OF WAY INCLUDING DRIVEWAYS

STREET: OLD CONCORD RD / 122 FT = 3 TREES REQUIRED / 0 TREES PROVIDED

NOTE: IF OVERHEAD DISTRIBUTION POWER LINES EXIST, ONLY SMALL MATURING TREES ARE ALLOWED WITHIN 25' OF LINES. OTHERWISE 50% OF NEW TREES MUST BE LARGE MATURING.

INTERNAL TREE REQUIREMENTS

ONE TREE PER 10,000 SF OF IMPERVIOUS AREA. ALL PARKING SPACES WITHIN 60 FT OF A TREE. MINIMUM LANDSCAPE AREA AS A PERCENTAGE OF ENTIRE SITE IS 3% FOR REVENUE SITES AND 10% FOR NEW SITES.

CALCULATIONS:

LANDSCAPE AREA = 36,561 SF

LANDSCAPE AREA = 13,071 SF = 26 % OF TOTAL SITE

TOTAL SITE AREA = 50,129 SF

INTERNAL TREE REQUIREMENT: IMPERVIOUS AREA / 10,000 = 4 TREES

IMPERVIOUS TOTAL: BUILDING = 14,230 SF PARKING & SIDEWALK = 22,321 SF TOTAL IMPERVIOUS = 36,551 SF

1 EXISTING MAIN BUILDING 9,700 SF 1 EXISTING ASPHALT PAVED 13,204 SF
2 NEW BUILDING 4,530 SF 2 EXISTING GRAVEL PARKING 4,800 SF
3 NEW DRIVEWAY 14,200 SF 3 NEW DRIVEWAY 3,800 SF
TOTAL BUILDING AREA 14,230 SF TOTAL PARKING AREA 22,321 SF

ATTENTION CONTRACTOR / LANDSCAPER

IT IS THE RESPONSIBILITY OF THE CONTRACTOR / LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES OR LOCATIONS PRIOR TO PLANTING TREES. CALL 336-2006 OR THE URBAN FORESTER NAMED ON THE APPROVED PLAN FOR ANY CONFLICTS REGARDING SIGN, SIGN, OVERHEAD POWER LINES OR OTHER UTILITIES.

05-138 APPROVED BY CITY COUNCIL

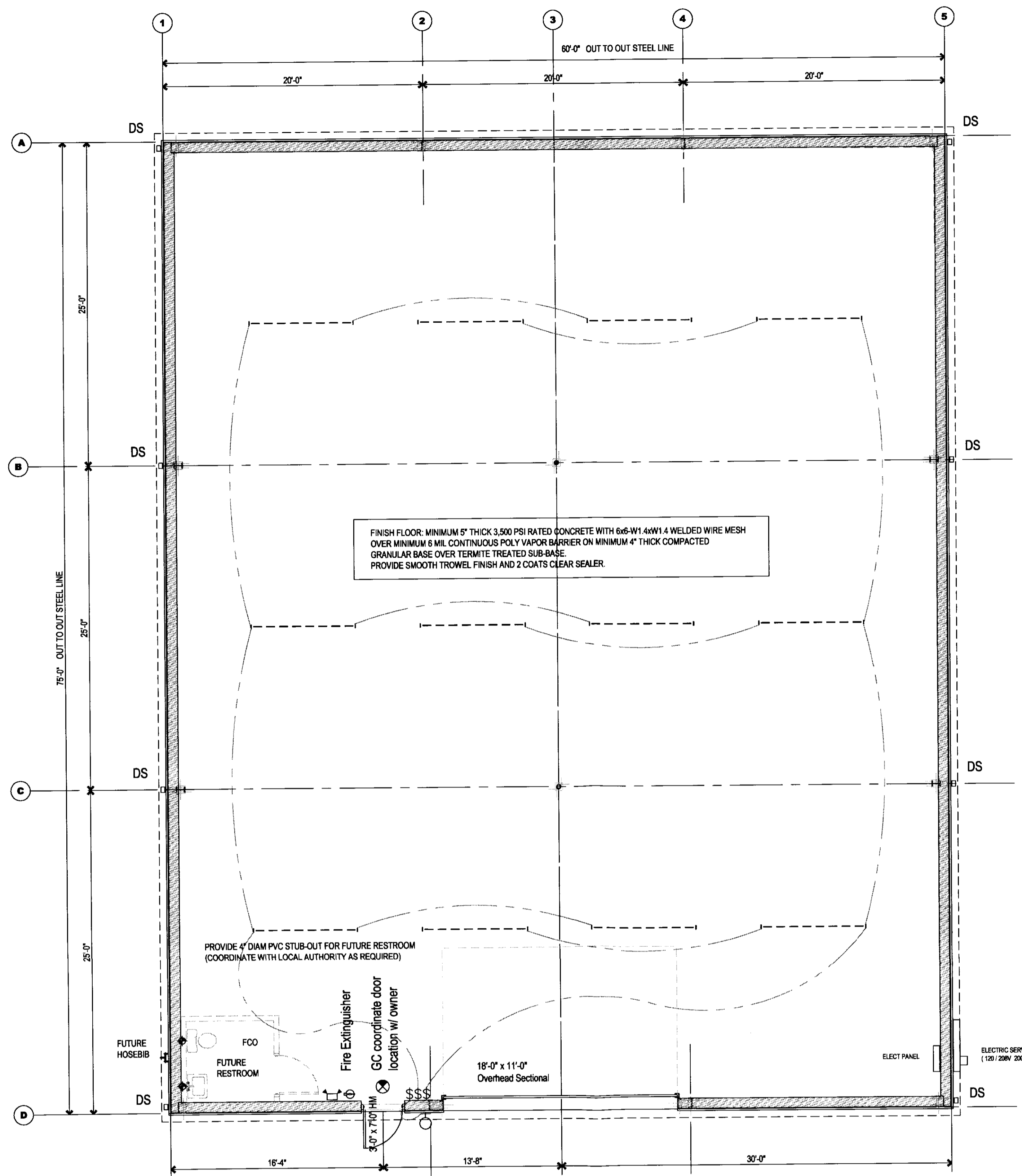
JOHNSON ARCHITECTURE
Mark Alden Johnson NC Registered Architect

PROJECT DESCRIPTION:
Un-Heated Storage Building
Carolina Woodworks & Laminates, Inc.
Post Office Box 428, Newell, NC 28126

CLIENT DESCRIPTION:
Douglas B. Scott
Carolina Woodworks & Laminates, Inc.
Post Office Box 428, Newell, NC 28126

CADD: Mark Johnson
DESIGNED BY: May 2005
DATE: 18 DEC. 2005
REVISION DATE:

SHEET NO. A1



1 FLOOR PLAN
3/16" = 1'-0"

FINISH FLOOR: MINIMUM 5" THICK 3,500 PSI RATED CONCRETE WITH 6x6-W1.4W1.4 WELDED WIRE MESH OVER MINIMUM 6 MIL CONTINUOUS POLY VAPOR BARRIER ON MINIMUM 4" THICK COMPACTED GRANULAR BASE OVER TERMITES TREATED SUB-BASE. PROVIDE SMOOTH TROWEL FINISH AND 2 COATS CLEAR SEALER.

PROVIDE 4" DIAM PVC STUB-OUT FOR FUTURE RESTROOM (COORDINATE WITH LOCAL AUTHORITY AS REQUIRED)

FCO

FUTURE RESTROOM

Fire Extinguisher location w/ owner

GC coordinate floor location w/ owner

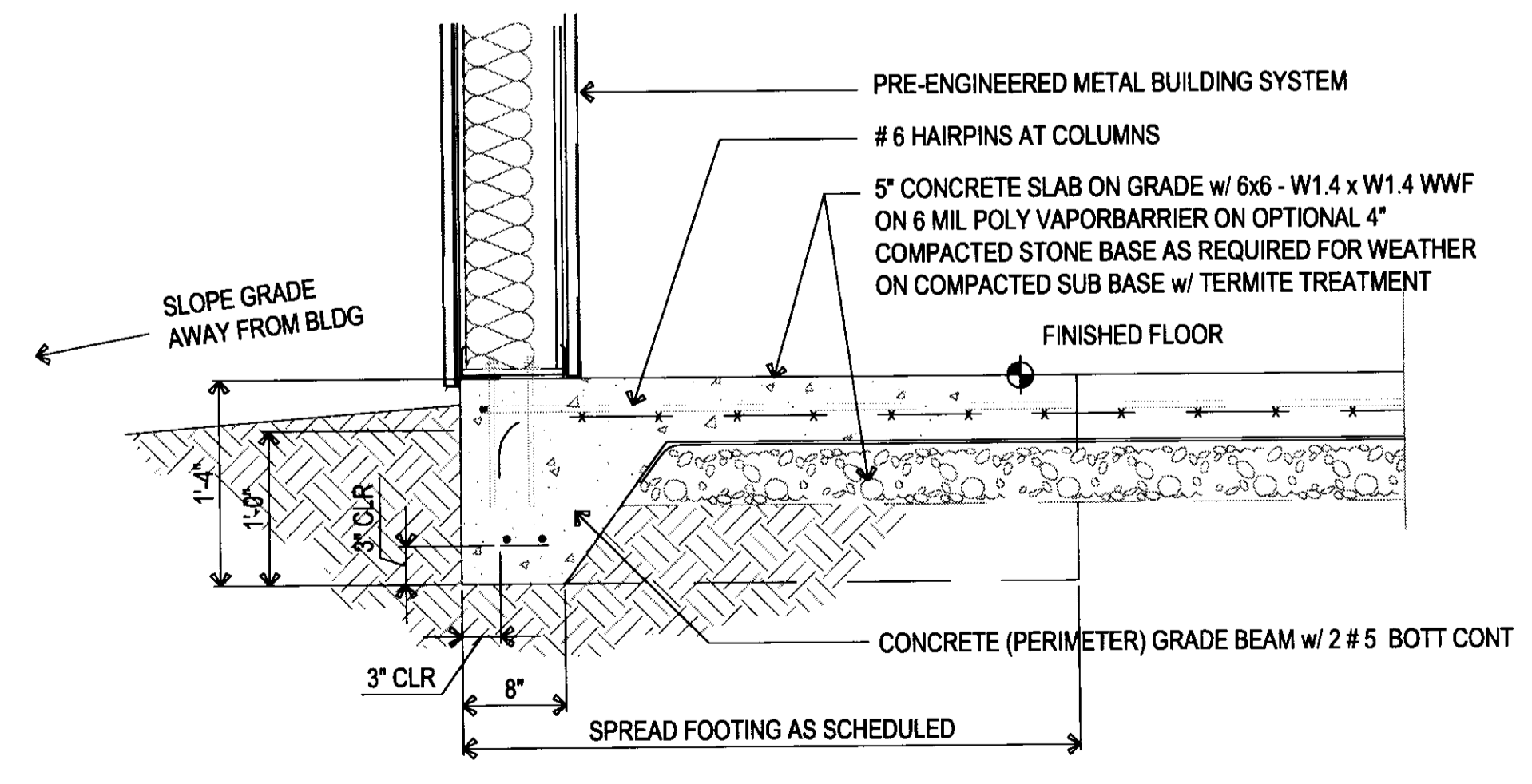
18'-0" x 11'-0" Overhead Sectional

ELECT PANEL

ELECTRIC SERVICE METER (120/200V 200 amp Panel)

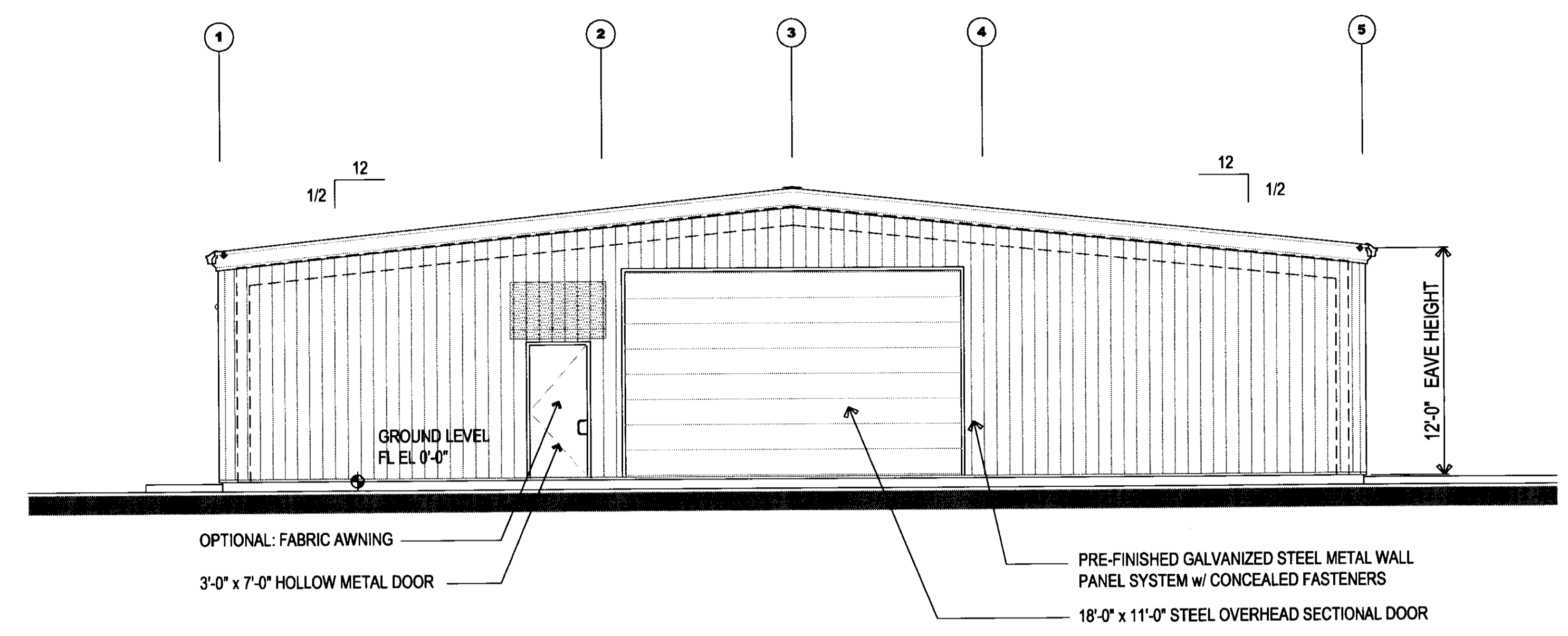
GENERAL FOUNDATION NOTES:

- SEE "PRE-ENGINEERED MANUFACTURED BUILDING" JOB ID No. FOR BUILDING DESIGN LOADING DATA.
- FOOTING DESIGN BASED ON 2000 PSF SOIL BEARING. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOIL TESTING SERVICES TO VERIFY SOIL BEARING CAPACITIES.
- ALL CONCRETE SHALL BE RATED AT 3,500 PSI MINIMUM PER ASTM SPECIFICATIONS AS LISTED IN ACI-318. TOTAL WATER CONTENT SHALL NOT EXCEED NORTH CAROLINA STATE BUILDING CODE Vol. 1, TABLE 1904-B.
- ALL REINFORCEMENT STEEL SHALL BE MIN. GRADE 60 PER A-616 (UNLESS NOTED OTHERWISE). ALL REINFORCEMENT STEEL SHALL BE PLACED SO AS TO HAVE MIN. 3" CONCRETE COVER. BARS WITHIN FLOOR SLABS (WHERE SHOWN) SHALL BE PLACED IN LOWER 1/2 OF SLAB THICKNESS BUT NOT LESS THAN 2" ABOVE BOTTOM OF SLAB. MINIMUM LAP FOR BARS SHALL BE 30 DIAMETERS.
- WELDED WIRE MESH OF CONFIGURATION AS SHOWN ON DRAWING SHALL BE PLACED IN UPPER 1/2 OF SLAB THICKNESS BUT NO LESS THAN 2" BELOW SLAB FINISH SURFACE.
- WELDED WIRE MESH SHALL BE SO PLACED AS TO EXTEND FROM SIDEWALL TO SIDEWALL IN THE LONG DIMENSION OF THE ROLL OR MAT (SEE FOUNDATION PLAN VIEW). MINIMUM LAP SHALL BE ONE GRID PATTERN PLUS 2".
- WELDED WIRE MESH SHALL BE OF SMOOTH WIRE HAVING MIN. TENSILE STRENGTH OF 70 ksi AND CONFORMING TO ASTM A-496 (UNLESS NOTED OTHERWISE).
- ALL CMU BLOCK (WHERE USED) SHALL BE PER ASTM C-90, CLAY FACE BRICK (WHERE USED) SHALL BE PER ASTM C-62 AND/OR ASTM C-73.
- ALL MORTAR SHALL BE TYPE "S" OR "M" PER ASTM C-270.
- SEE PLUMBING SHEETS FOR UNDER SLAB PIPING.
- SEE ELECTRICAL SHEETS FOR UNDER SLAB CONDUIT.



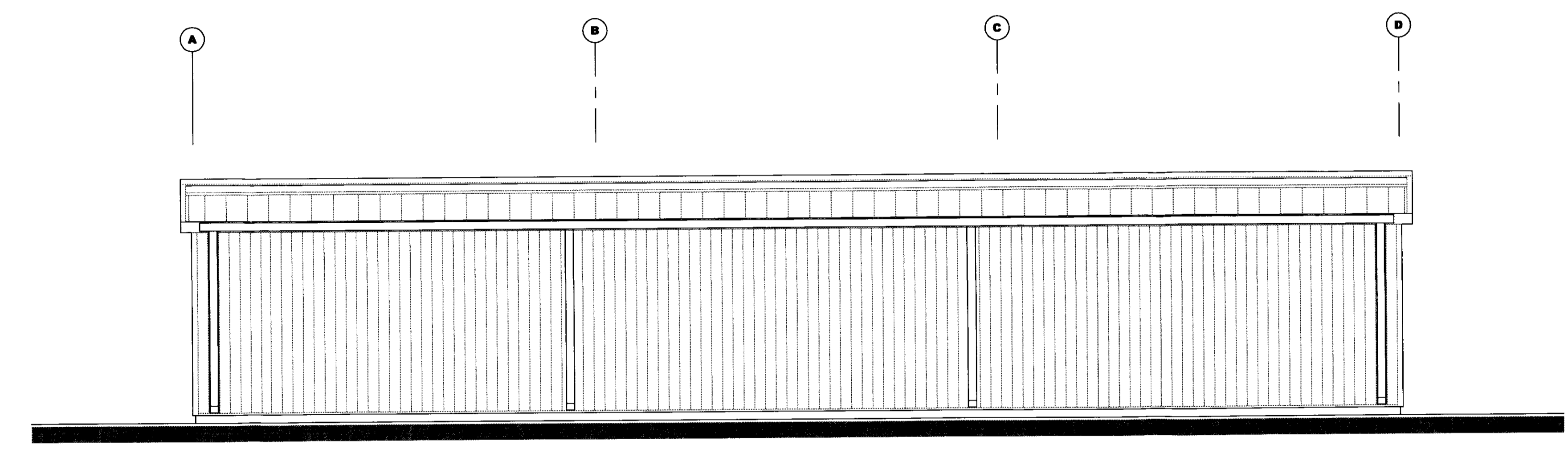
3 FOUNDATION DETAIL
1" = 1'-0"

NOTE: SEE STRUCTURAL FOUNDATION DRAWINGS FOR ADDITIONAL INFORMATION



1 FRONT ELEVATION
3/16" = 1'-0"

NOTE: REAR ELEVATION SIMILAR W/OUT DOORS
NOTE: PAINT METAL BUILDING PANELS GRAY (2-TONE w/ WAINSCOT) TO MATCH EXISTING ADJACENT BUILDINGS



2 SIDE ELEVATION
3/16" = 1'-0"

NOTE: OPPOSITE SIDE ELEVATION SIMILAR W/OUT WINDOWS



JOHNSON ARCHITECTURE
Mark Alden Johnson NC Registered Architect
ARCHITECT'S OFFICE: 1800 W. HUNTER STREET, SUITE 200, NEWELL, NC 28126
PHONE: (704) 844-2912 FAX: (704) 844-2913
E-MAIL: mark@johnsonarch.com
PUBLICATION OR RELEASE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED.

Floor Plan and Building Elevations
client description:
Douglas B. Scott
Un-Heated Storage Building
Carolina Woodworks & Laminates, Inc.
Post Office Box 428, Newell, NC 28126

CADD: Mark Johnson
DESIGN BY: Mark Johnson
DATE: 18 DEC. 2005
REVISION DATE:

SHEET NO. **A2**