

RECORD CALLS-CURVE TABLE						
CURVE	CENTRAL ANGLE	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	73°32'	1236.37	162.75	81.49	N01°39'44"W	162.63
C2	90°00'	20.00	31.42	20.00	S39°34'00"W	28.28
C3	36°14'00"	305.65	193.29	100.00	N77°19'00"W	190.09
C4	120°74'	396.52	125.00	62.73	S65°15'31"E	124.77
C5	19°46'00"	396.52	203.73	102.89	S81°17'42"E	202.72
C6	14°37'00"	924.93	235.99	118.64	N06°24'10"E	235.30

VICINITY MAP N.T.S.

DEVELOPMENT DATA SUMMARY

TAX PARCEL NOS: 175-143-01 & 07

TOTAL ACREAGE: 6.204 ACRES

EXISTING ZONING: 0-1

PROPOSED ZONING: MUDD (CD); CONDITIONAL MIXED USE DEVELOPMENT DISTRICT

CURRENT LAND USES:
A COLLEGE CLASSROOM AND ADMINISTRATIVE BUILDING (50,831 SF/1 STORY) AND A FREE STANDING OFFICE BUILDING (5,680 SF/1 & 2 STORY)

PROPOSED LAND USES:
TRACT A
- NEW PEIFFER UNIVERSITY CLASSROOM AND ADMINISTRATIVE BUILDING: 3 STORY/60,000 SF

- MEDICAL/GENERAL OFFICE BUILDING: 3 STORY/60,000 SF (MEDICAL OFFICE: 40,000 SF/GENERAL OFFICE: 20,000 SF)

MAXIMUM BUILDING HEIGHT: 70 FEET

TRACT B
- RESIDENTIAL CONDOMINIUM COMPLEX: 3 STORY/75 UNITS

DEVELOPMENT STANDARDS

GENERAL PROVISIONS
Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the MUDD zoning district shall be followed in connection with development taking place on the Site.

PERMITTED USES
The Site may be devoted to the following uses and to any accessory uses that are clearly incidental and related thereto including surface level and/or structural parking uses:
Type A: The buildings to be constructed within that portion of the Site designated as Type A on the Technical Data Sheet may be devoted only to the following uses:
(a) Medical offices and/or general offices.
(b) University or college uses and related administrative, office and support uses.

Type B: The buildings to be constructed within that portion of the Site designated as Type B on the Technical Data Sheet may be devoted only to the following uses:
(a) Residential uses.

DEVELOPMENT LIMITATIONS
1. An exception to the Technical Data Sheet, Tract A may be devoted to one medical general office building containing a maximum of 60,000 square feet of gross building area, and to one university or college classroom/administrative building containing a maximum of 60,000 square feet of gross building area.
2. Tract B may be devoted to a maximum of 75 residential units.

SETBACKS, SIDE YARDS AND REAR YARDS
1. Unless more stringent standards are established on the Technical Data Sheet, the building constructed on the Site shall satisfy or exceed the setback, yard and side yard requirements established under the Ordinance for the MUDD zoning district.
2. The buildings, parking spaces or maneuvering areas may be located within the required setbacks.

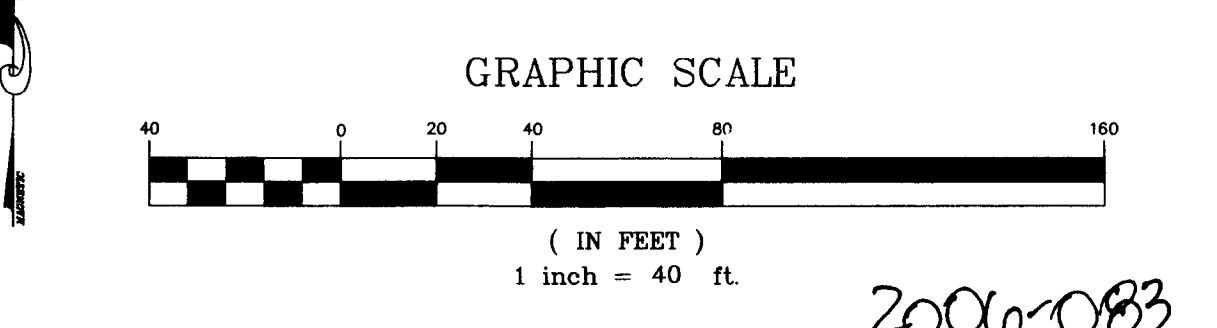
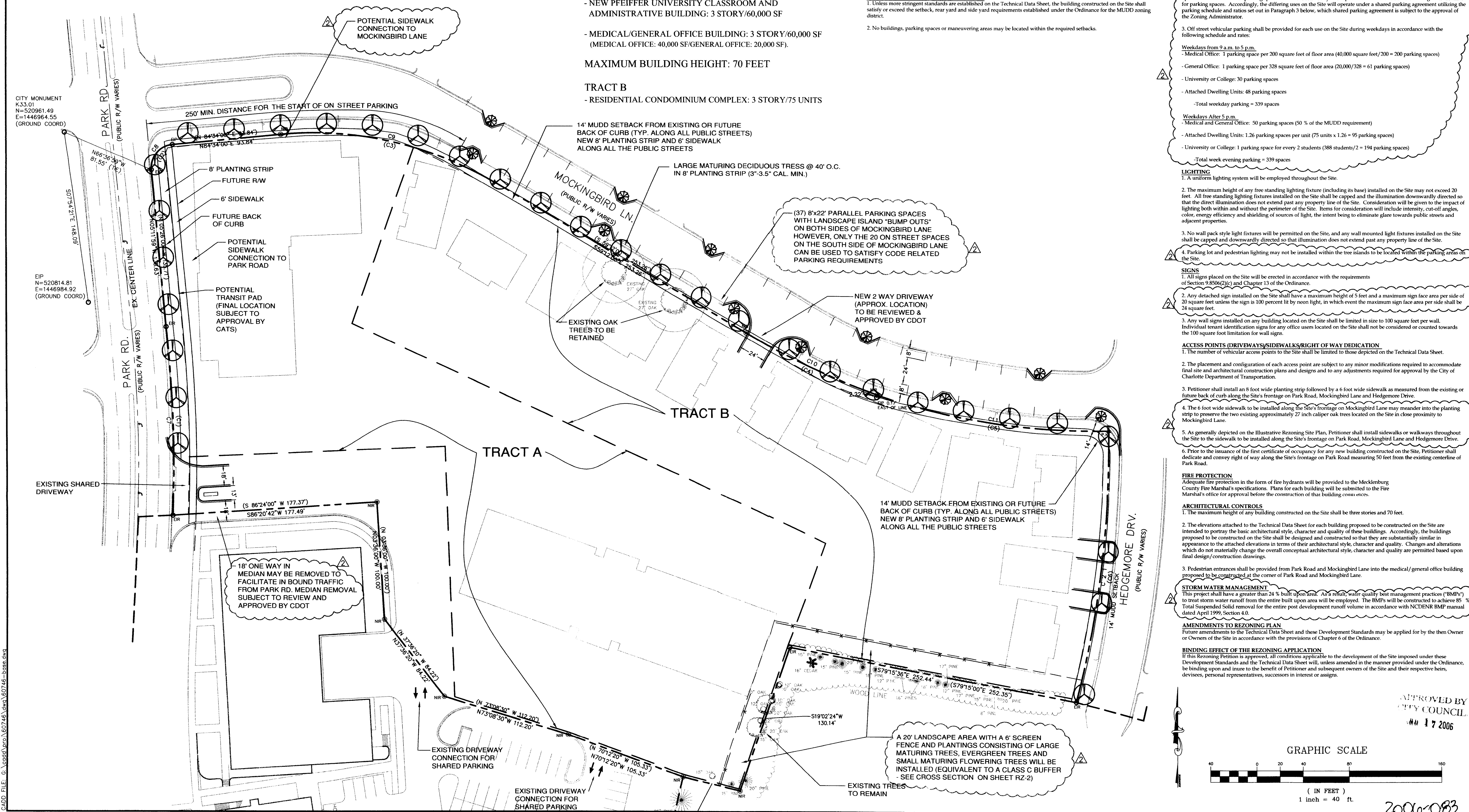
DEVELOPMENT STANDARDS

SCREENING AND LANDSCAPED AREAS/PRESERVATION OF EXISTING TREES/UMBER, COMPOSTER AND RECYCLING BINS
1. Screening shall conform with the standards and minimum specifications in Section 12.503 of the Ordinance. All landscaping shall be installed and maintained in accordance with the requirements of the Ordinance.
2. An approved planting schedule shall be submitted to the City of Charlotte and shall be installed and maintained along the Site's common boundaries. The planting schedule shall be installed and maintained in accordance with the standards and minimum specifications in Section 12.503 of the Ordinance. A Class C buffer, 6 feet tall wood privacy fence shall be installed within the 20 foot wide landscaped area as depicted on the site plan.

3. The two existing approximately 27 inch oak trees located on the Site in close proximity to Mockingbird Lane shall be preserved.
4. All trees located on the Site shall be preserved and maintained in accordance with the standards and minimum specifications in Section 12.503 of the Ordinance. The attached arborvitae trees on the Site, Tract B shall meet all requirements as stated in Chapters 9 and 12 of the Charlotte City Code regarding solid waste, dumpsters, compactors and recycling area.

PARKING
1. Parking areas depicted on the Illustrative Rezoning Site Plan may vary in use and location. Notwithstanding the foregoing, a minimum of 309 parking spaces will be provided on the Site. The 20 on-street parking spaces to be provided by the Petitioner on the portion of Mockingbird Lane that abuts the Site shall be counted towards the minimum 309 parking spaces pursuant to Section 9.007(2) of the Ordinance.
2. The university or college will hold classes primarily during the weekday evenings, and the medical/general office building's hours of operation will be primarily from 9 a.m. to 5 p.m. during the weekdays. Therefore, the university or college and the medical/general office building's hours of operation and demand for parking spaces will not substantially overlap with the medical/general office building's hours of operation and demand for parking spaces. Accordingly, the differing uses on the Site will operate under a shared parking arrangement utilizing the parking schedule and rates set out in Paragraph 1 below, which shared parking agreement is subject to the approval of the Zoning Administrator.
3. Off street vehicular parking shall be provided for each use on the Site during weekdays in accordance with the following schedule and rates:
Weekdays from 9 a.m. to 5 p.m.:
Medical Office: 1 parking space per 200 square feet of floor area (40,000 square feet/200 = 200 parking spaces)
University or College: 30 parking spaces
Attached Dwelling Units: 48 parking spaces
Total weekday parking = 279 spaces
Weekends After 5 p.m.:
Medical Office: 50 parking spaces (50 % of the MUDD requirement)
Attached Dwelling Units: 126 parking spaces per unit (75 units x 1.36 = 102 parking spaces)
University or College: 1 parking space for every 2 students (388 students/2 = 194 parking spaces)
Total weekend evening parking = 370 spaces

LIGHTING
1. A uniform lighting system will be employed throughout the Site.
2. The maximum height of any free standing lighting fixture (including its base) installed on the Site may not exceed 20 feet. All lighting fixtures shall be shielded so that illumination does not extend past any property line of the Site. Consideration will be given to the impact of lighting both within and without the property lines of the Site. The lighting system will include energy efficient lighting, energy efficiency and shading of sources of light, the intent being to eliminate glare towards public streets and adjacent properties.
3. No wall pack style light fixtures will be permitted on the Site, and any wall mounted light fixtures installed on the Site shall be shielded and downwardly directed so that illumination does not extend past any property line of the Site.
4. Parking lot and pedestrian lighting may not be installed within the tree canopy to be located within the parking areas of the Site.
5. All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.
6. All signs shall be illuminated with a maximum height of 10 feet and a maximum sign face area per side shall be 20 square feet unless the sign is 100 percent lit by roof light, in which event the maximum sign face area per side shall be 40 square feet.
7. All signs shall be illuminated with a maximum height of 10 feet and a maximum sign face area per side shall be 20 square feet unless the sign is 100 percent lit by roof light, in which event the maximum sign face area per side shall be 40 square feet.
8. Individual tenant identification signs for any office users located on the Site shall not be considered or counted towards the 30 square foot maximum for wall signs.
9. Access points (driveways, sidewalks, easements) shall be limited to those depicted on the Technical Data Sheet.
10. The placement and configuration of each access point are subject to any minor modifications required to accommodate the placement and configuration of each access point and to any adjustments required by approval of the City of Charlotte Department of Transportation.
11. Petitioner shall install an 8 foot wide planting strip followed by a 6 foot wide sidewalk as measured from the existing or future back of curb along the Site's frontage on Park Road, Mockingbird Lane and Hedgemoor Drive.
12. The 6 foot wide sidewalk to be installed along the Site's frontage on Mockingbird Lane may meander into the planting strip to preserve the two existing approximately 27 inch oaks trees located on the Site in close proximity to Mockingbird Lane.
13. As generally depicted on the Illustrative Rezoning Site Plan, Petitioner shall install sidewalks or walkways throughout the Site to be installed in accordance with the standards and minimum specifications in Section 12.503 of the Ordinance.
14. Prior to the issuance of the first certificate of occupancy for any new building constructed on the Site, Petitioner shall dedicate and convey right of way along the Site's frontage on Park Road measuring 50 feet from the existing centerline of Park Road.
FIRE PROTECTION
Adequate fire protection in the form of hydrants will be provided to the Mockingbird County Fire Marshal's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences.
ARCHITECTURAL CONTROLS
1. The maximum height of any building constructed on the Site shall be three stories and 70 feet.
2. The placement and configuration of each access point are subject to any minor modifications required to accommodate the placement and configuration of each access point and to any adjustments required by approval of the City of Charlotte Department of Transportation.
3. Petitioner shall install an 8 foot wide planting strip followed by a 6 foot wide sidewalk as measured from the existing or future back of curb along the Site's frontage on Park Road, Mockingbird Lane and Hedgemoor Drive.
4. The 6 foot wide sidewalk to be installed along the Site's frontage on Mockingbird Lane may meander into the planting strip to preserve the two existing approximately 27 inch oaks trees located on the Site in close proximity to Mockingbird Lane.
5. As generally depicted on the Illustrative Rezoning Site Plan, Petitioner shall install sidewalks or walkways throughout the Site to be installed in accordance with the standards and minimum specifications in Section 12.503 of the Ordinance.
6. Prior to the issuance of the first certificate of occupancy for any new building constructed on the Site, Petitioner shall dedicate and convey right of way along the Site's frontage on Park Road measuring 50 feet from the existing centerline of Park Road.
STORM WATER MANAGEMENT
This project shall have a greater than 25 % total impervious area. Petitioner shall submit a storm water management plan (SWMP) to the City of Charlotte for review and approval. The SWMP will be constructed to achieve a Total Suspended Solids removal for the entire post development runoff volume in accordance with NCEM88 BMP manual dated 1999.
AMENDMENTS TO THE TECHNICAL DATA SHEET
Amendments to the Technical Data Sheet and these Development Standards may be applied for by the Petitioner or Owner of the Site in accordance with the provisions of Chapter 6 of the Ordinance.
BINDING EFFECT OF THE REZONING APPLICATION
If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under these Development Standards and the Technical Data Sheet will remain amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.



05/23/06 REVISED FOR PUBLIC HEARING; PETITION #2006-83

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT: CONDITIONAL REZONING REQUEST THE VILLAGE @ PEIFFER CHARLOTTE, NORTH CAROLINA

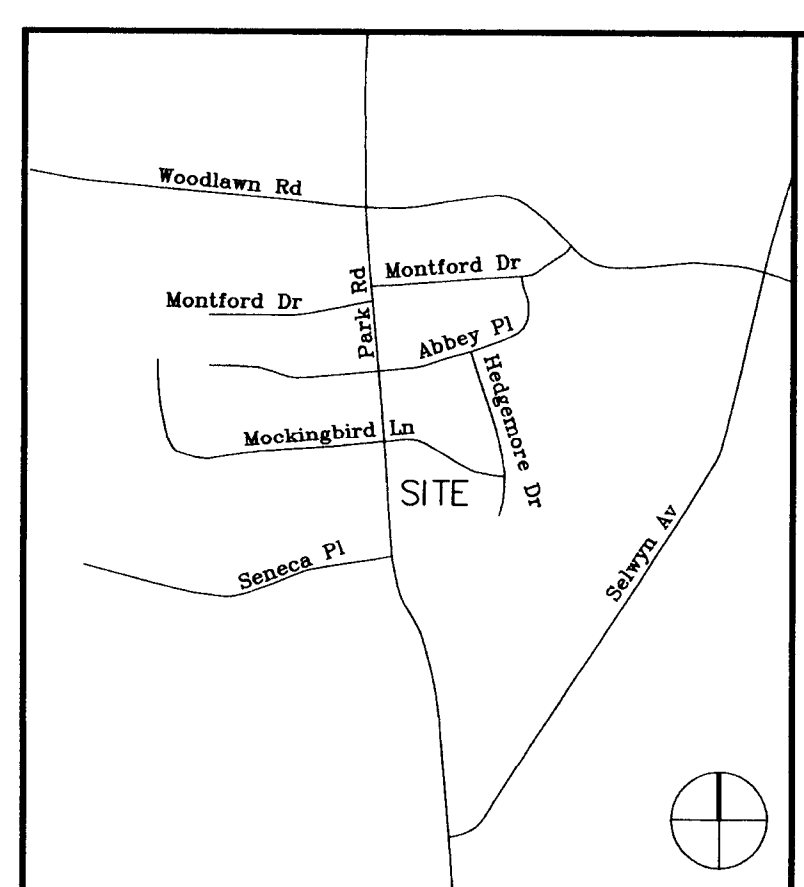
SHEET TITLE: TECHNICAL DATA SHEET

Project No. 60746

Checked by: TLH
Drawn by: DKE
Date Drawn: 03.20.06

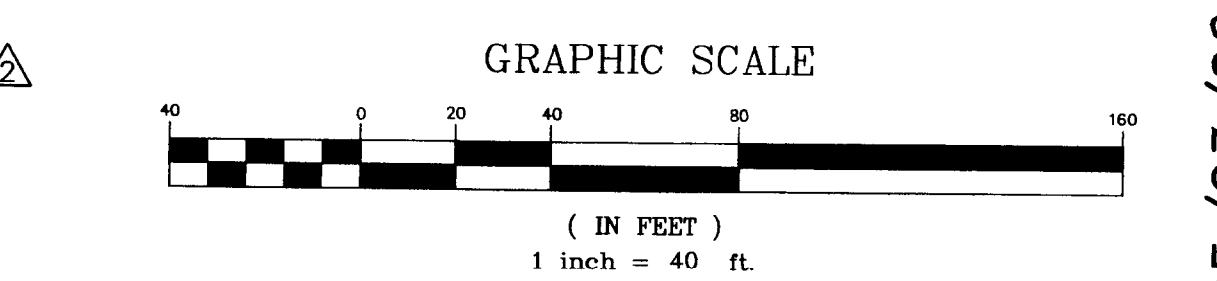
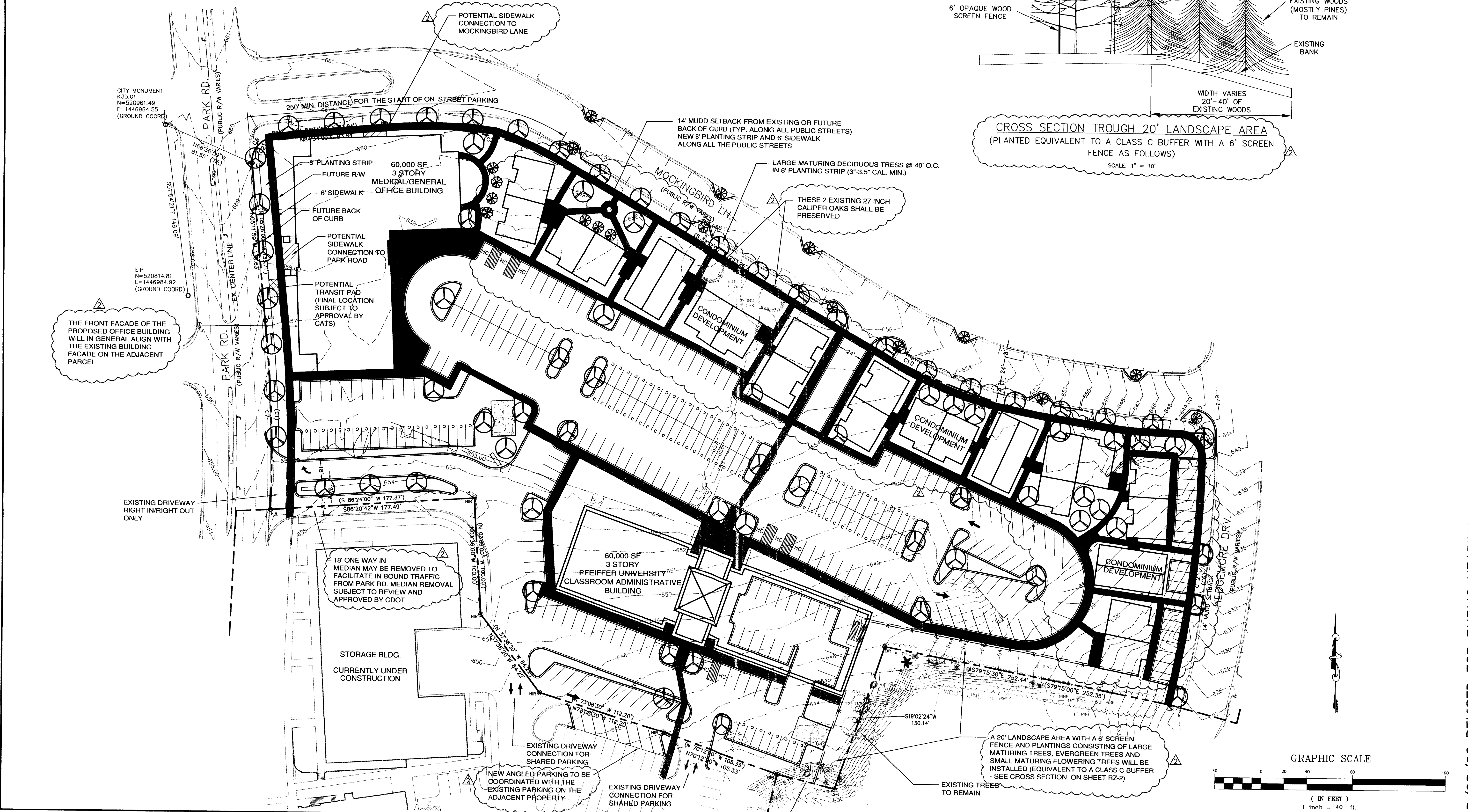
Revisions:
A. 05.23.06 PER PUBLIC HEARING
B. 06.23.06 PER STAFF PRE HEARING ANALYSIS

Sheet RZ-1



RECORD CALLS-CURVE TABLE						
CURVE	CENTRAL ANGLE	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
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VICINITY MAP N.T.S.



05/23/06 REVISED FOR PUBLIC HEARING; PETITION #2006-83

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT: CONDITIONAL REZONING REQUEST THE VILLAGE @ PEIFFER CHARLOTTE, NORTH CAROLINA

SHEET TITLE: ILLUSTRATIVE REZONING SITE PLAN

Project No. 60746

Checked by: TLH
Drawn by: DKE
Date Drawn: 03.20.06

Revisions:
A. 05.23.06 PER PUBLIC HEARING
B. 06.23.06 PER STAFF PRE HEARING ANALYSIS

Sheet RZ-2



The Village at Pfeiffer
Mockingbird Lane Elevation (West Side) 6.26.06 Scale 1:20



The Village at Pfeiffer
Proposed Redevelopment of Existing Pfeiffer University



The Village at Pfeiffer
Mockingbird Lane Elevation (East Side) 6.26.06 Scale 1:20



The Village at Pfeiffer
Sagehorn Street Elevation 6.26.06 Scale 1:20



The Village at Pfeiffer
Medical Office Building - Park Road Elevation - 05.23.06 - Scale 1:20



The Village at Pfeiffer
Medical Office Building - Mockingbird Lane Elevation - 05.23.06 - Scale 1:20

