



Charlotte-Mecklenburg Planning Department

DATE: June 30, 2016

TO: Donald Moore
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

SUBJECT: Administrative Approval for Petition No. 2007-079 Charter Properties

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- To allow a permanent easement for Greenway Access for Mecklenburg County.
- Conditional note to allow Mecklenburg County to be able construct the proposed access trail at a later time.

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances, Building Codes, and conditional requirements still apply.

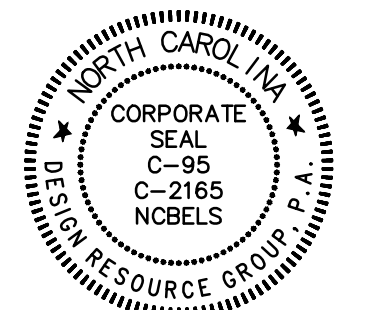
Signage was not reviewed as part of this request.



design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.3093
www.drgrp.com



PAVILION VILLAGE
CHARLOTTE, NORTH CAROLINA
CHARTER PROPERTIES
1520 SOUTH BLVD.
CHARLOTTE, NORTH CAROLINA
704.377.4172

REZONING PETITION

**REZONING PETITION
FOR PUBLIC HEARING
07-079
FOR ADMINISTRATIVE
AMENDMENT**

50 0 50 100
SCALE: 1" = 100'

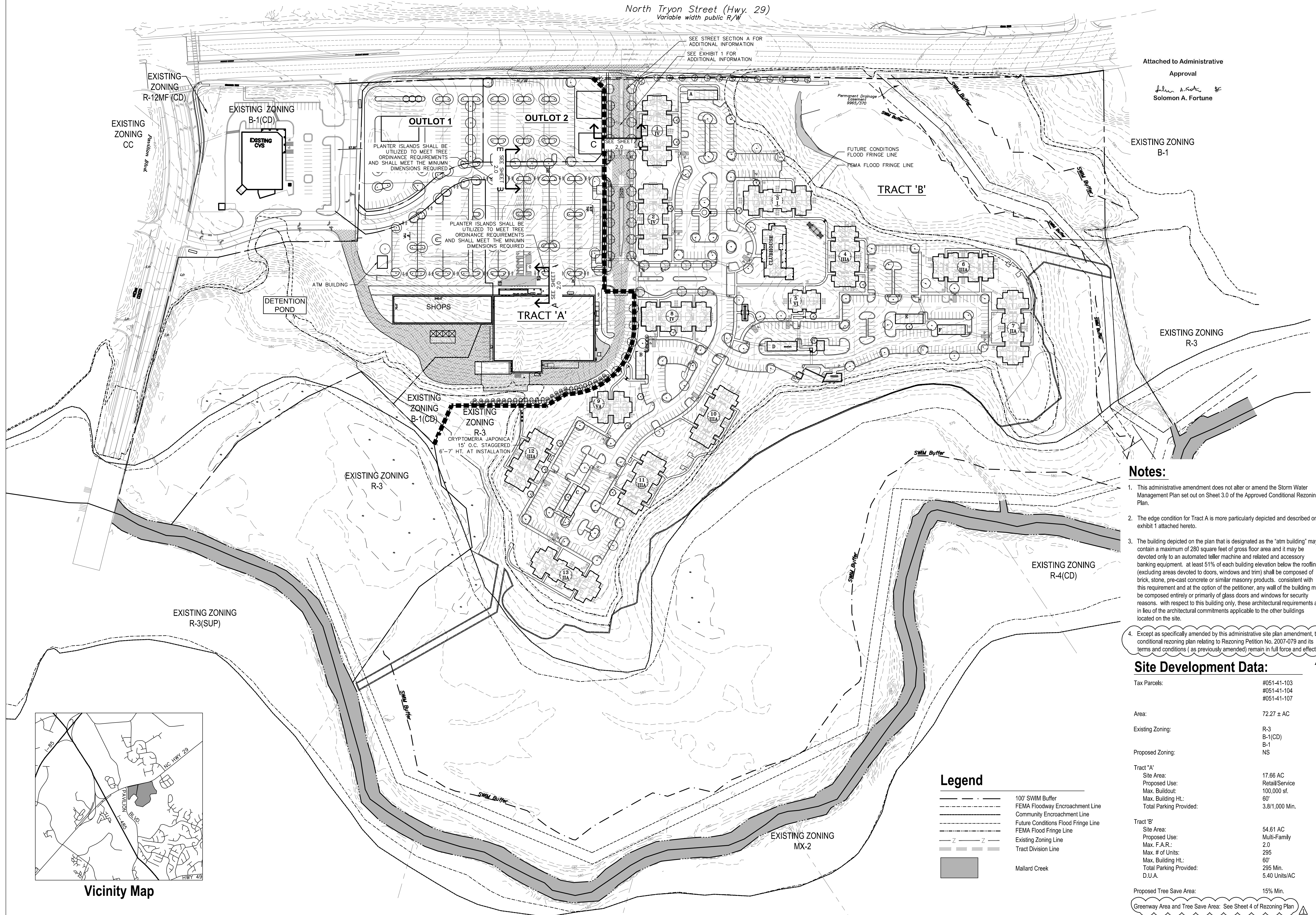
PROJECT #: 278-005
DRAWN BY: THH

**SCHEMATIC
SITE PLAN**

JULY 5, 2013

REVISIONS:
1. 06/15/16 - ADMINISTRATIVE AMENDMENT

North Tryon Street (Hwy. 29)
Variable width public R/W



Attached to Administrative
Approval
Solomon A. Fortune
Solomon A. Fortune

EXISTING ZONING B-1

EXISTING ZONING R-3

EXISTING ZONING R-4(CD)

EXISTING ZONING MX-2

EXISTING ZONING R-12MF (CD)

EXISTING ZONING B-1(CD)

EXISTING ZONING CC

EXISTING ZONING R-3

EXISTING ZONING R-3(SUP)



Vicinity Map

SEE STREET SECTION A FOR
ADDITIONAL INFORMATION

SEE EXHIBIT 1 FOR
ADDITIONAL INFORMATION

OUTLOT 1
PLANTER ISLANDS SHALL BE
UTILIZED TO MEET TREE
ORDINANCE REQUIREMENTS
AND SHALL MEET THE MINIMUM
DIMENSIONS REQUIRED

OUTLOT 2
PLANTER ISLANDS SHALL BE
UTILIZED TO MEET TREE
ORDINANCE REQUIREMENTS
AND SHALL MEET THE MINIMUM
DIMENSIONS REQUIRED

SHOPS
ATM BUILDING
DETECTION POND

TRACT 'A'

TRACT 'B'

EXISTING ZONING B-1(CD)
EXISTING ZONING R-3
CRYPTOMERIA JAPONICA
15' O.C. STAGGERED
6'-7' HT. AT INSTALLATION

Notes:

- This administrative amendment does not alter or amend the Storm Water Management Plan set out on Sheet 3.0 of the Approved Conditional Rezoning Plan.
- The edge condition for Tract A is more particularly depicted and described on exhibit 1 attached hereto.
- The building depicted on the plan that is designated as the "atm building" may contain a maximum of 280 square feet of gross floor area and it may be devoted only to an automated teller machine and related and accessory banking equipment. at least 51% of each building elevation below the roofline (excluding areas devoted to doors, windows and trim) shall be composed of brick, stone, pre-cast concrete or similar masonry products. consistent with this requirement and at the option of the petitioner, any wall of the building may be composed entirely or primarily of glass doors and windows for security reasons. with respect to this building only, these architectural requirements are in lieu of the architectural commitments applicable to the other buildings located on the site.
- Except as specifically amended by this administrative site plan amendment, the conditional rezoning plan relating to Rezoning Petition No. 2007-079 and its terms and conditions (as previously amended) remain in full force and effect.

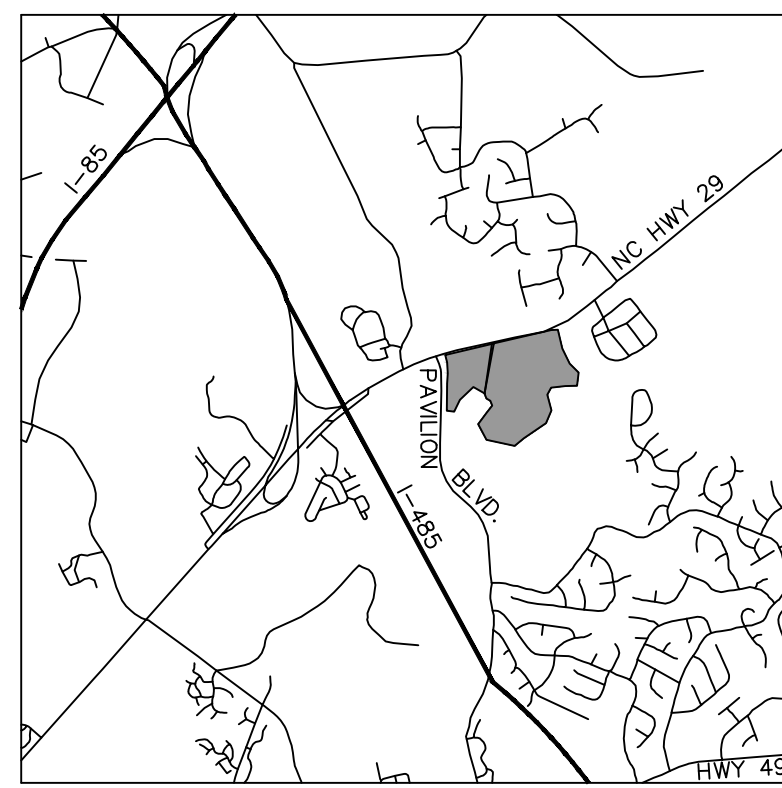
Site Development Data:

Tax Parcels:	#051-41-103 #051-41-104 #051-41-107
Area:	72.27 ± AC
Existing Zoning:	R-3 B-1(CD) B-1 NS
Proposed Zoning:	NS
Tract 'A'	
Site Area:	17.06 AC
Proposed Use:	Retail/Service
Max. Buildout:	100,000 sf.
Max. Building HT.:	60'
Total Parking Provided:	3.8/1,000 Min.
Tract 'B'	
Site Area:	54.61 AC
Proposed Use:	Multi-Family
Max. F.A.R.:	2.0
Max. # of Units:	295
Max. Building HT.:	60'
Total Parking Provided:	295 Min.
D.U.A.	5.40 Units/AC
Proposed Tree Save Area:	15% Min.

Legend

- 100' SWM Buffer
- FEMA Floodway Encroachment Line
- Community Encroachment Line
- Future Conditions Flood Fringe Line
- FEMA Flood Fringe Line
- Existing Zoning Line
- Tract Division Line
- Mallard Creek

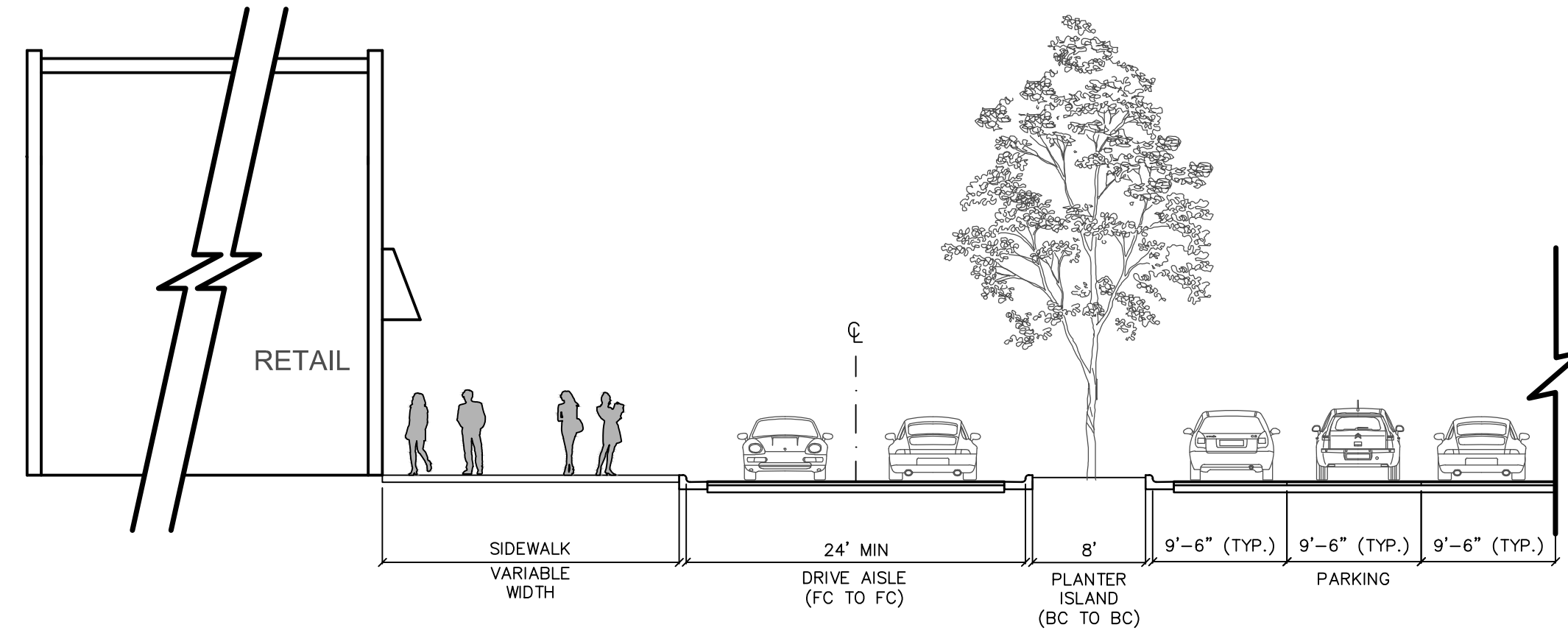
Greenway Area and Tree Save Area: See Sheet 4 of Rezoning Plan



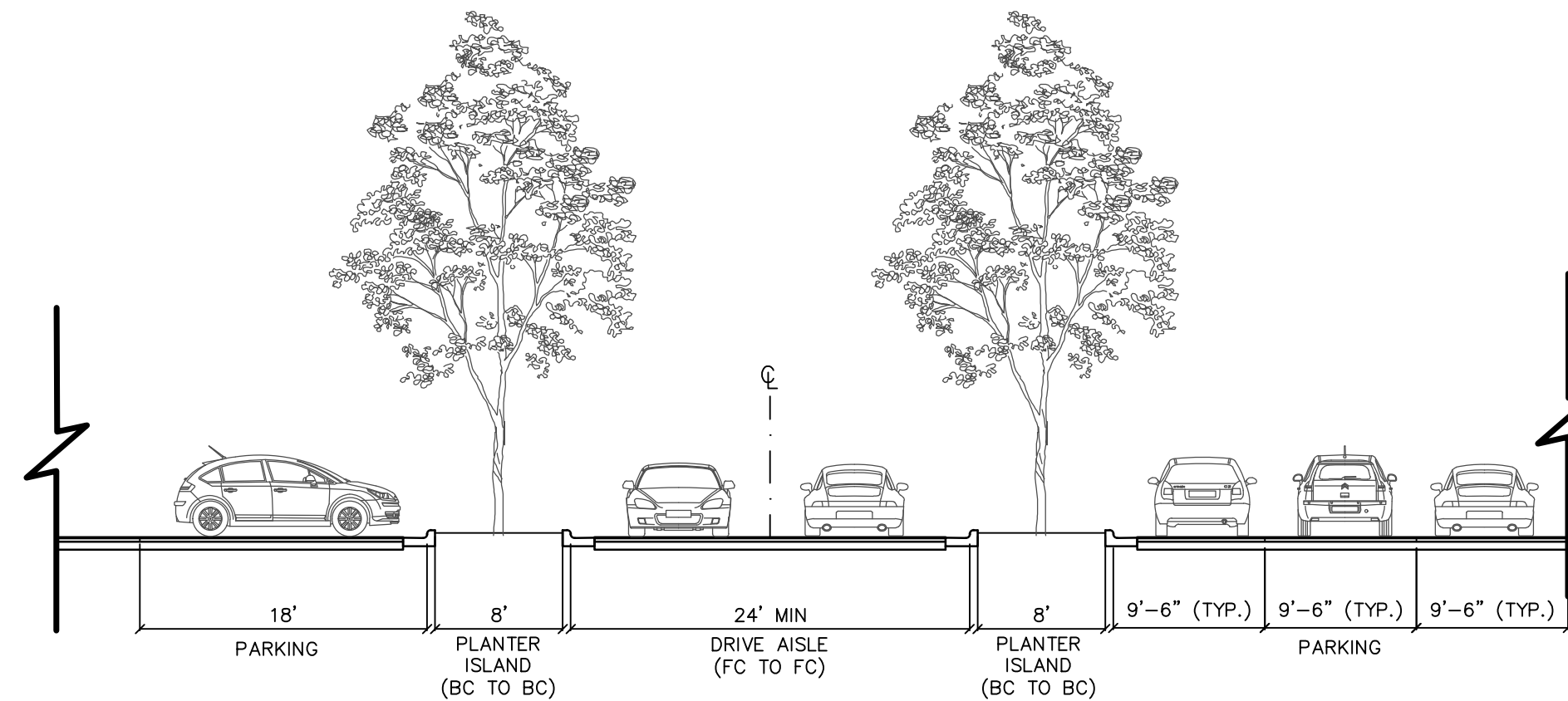
Vicinity Map

Attached to Administrative Approval

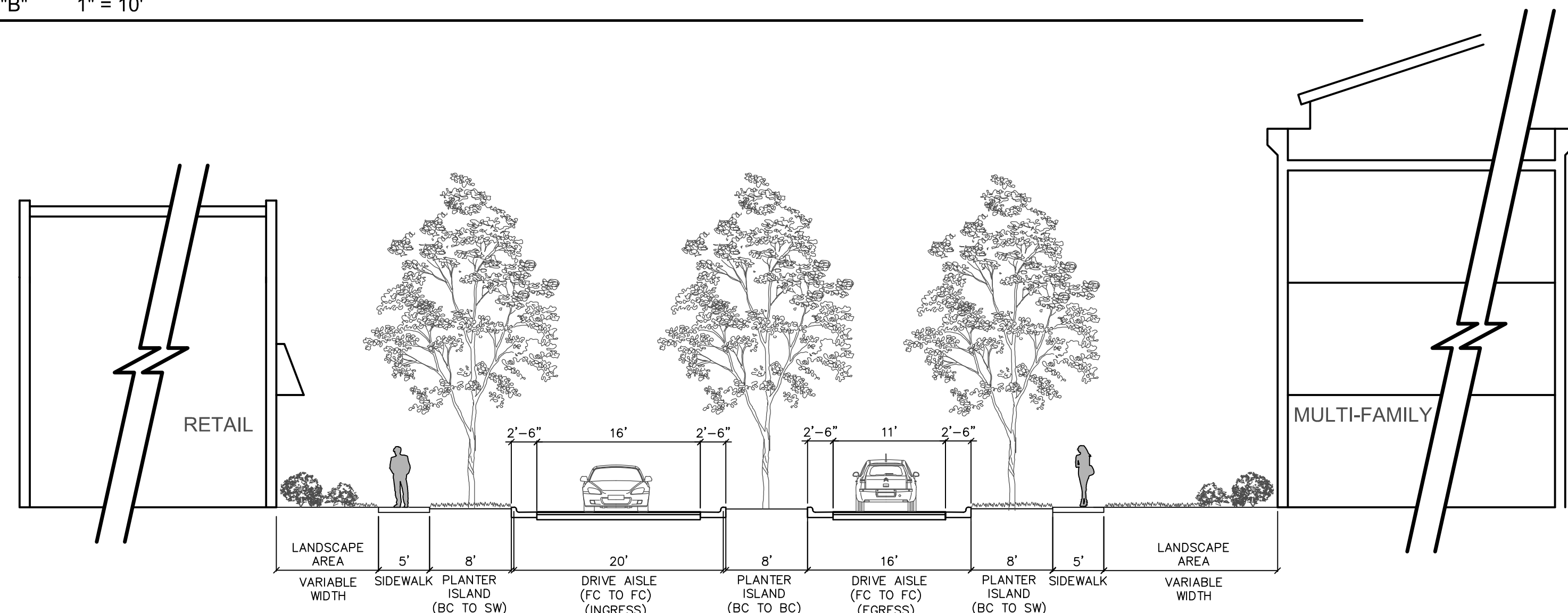
Solomon A. Fortune



SECTION "A" 1" = 10'



SECTION "B" 1" = 10'



SECTION "C" 1" = 10'

Development Standards

GENERAL PROVISIONS

Unless more stringent standards are established by the Rezoning Plan or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the Neighborhood Services ("NS") zoning district shall be followed in connection with development taking place on the approximately 74.4 acre site located on N.C. Highway 29 (the "Site"), which Site is more particularly depicted on the Rezoning Plan.

The development depicted on the Rezoning Plan is intended to reflect the arrangement of proposed uses on the Site, but the final configuration, placement and size of the individual Site elements may be altered or modified within the limits prescribed by the Ordinance and the standards established by the Rezoning Plan and these Development Standards during design development and construction phases. Street layouts may be modified to accommodate final building locations.

PERMITTED USES/MAXIMUM GROSS BUILDING AREA/MAXIMUM NUMBER OF DWELLING UNITS

- Tract A**
- That portion of the Site designated as Tract A on the Rezoning Plan may be devoted to any use (including any accessory use) which is permitted under the Ordinance by right or under prescribed conditions in the NS zoning district, provided, however, that the following uses shall not be permitted on Tract A:
- Active adult retirement communities
 - Adult care centers
 - Adult care homes
 - Bed and breakfasts
 - Beneficial fill sites
 - Boarding houses
 - Bus and train terminals
 - Cemeteries
 - Childcare centers in a residence
 - Civic, social service or fraternal facilities
 - Commercial rooming houses
 - Construction and demolition landfills
 - Dormitories
 - Dwellings, detached, duplex, triplex or quadplex
 - Dwellings, mixed use, multi-family, planned multi-family residential development and/or attached residential development
 - Elementary and secondary schools
 - Equestrian oriented subdivisions
 - Family childcare homes
 - Fences and fence material sales
 - Funeral homes, embalming or crematories
 - Group homes
 - Jails and prisons
 - Land clearing and inert debris landfills
 - Locksmiths and gunsmiths
 - Marinas, commercial
 - Nursing homes, rest homes and homes for the aged
 - Ophragnes, children's homes and similar nonprofit institutions providing domiciliary care for children
2. The buildings located on Tract A may have drive-in service lanes/windows as an accessory use in accordance with the requirements of Section 12.413 of the Ordinance.
3. A maximum of 100,000 square feet of gross floor area may be developed on Tract A.
- For purposes of the development limitation set forth in this Paragraph 3, the term "gross floor area" shall mean and refer to the sum of the gross horizontal areas of each floor of a principal building, and any accessory buildings or structures on the site, measured from the outside of the exterior walls or from the center line of party walls; provided, however, such term shall exclude mezzanine space, any surface parking facilities or related access areas and areas used for building and equipment access (such as stairs, elevator shafts and maintenance crawl spaces), and provided, further, that areas devoted to outdoor dining shall not be included in the calculation of gross floor area.
4. The Rezoning Plan depicts one possible development scheme on Tract A. Other potential development schemes may be allowed subject to the review and approval of the Charlotte-Mecklenburg Planning Commission Staff through the administrative site plan amendment process (Section 6.207 of the Ordinance) and subject to the provisions and standards contained herein.

Tract B

That portion of the Site designated as Tract B on the Rezoning Plan may be devoted to a maximum of 295 multi-family dwelling units together with any accessory uses permitted under the Ordinance in the NS zoning district.

SETBACKS, SIDE YARDS AND REAR YARDS

All buildings and parking areas constructed on the Site will satisfy or exceed the setback, side yard and rear yard requirements established under the Ordinance for the NS zoning district as more particularly depicted on the Rezoning Plan, provided, however, that all buildings and parking areas shall be setback a minimum of 20 feet from the back of sidewalk along N.C. Highway 29. The development depicted on the Rezoning Plan shall be viewed as a unified development plan. Therefore, interior yards will not be required between buildings located on the Site. The Petitioners reserve the right to subdivide the Site and to create separate lots within the interior of the development with no public street frontage or side and/or rear yards as part of a unified development plan.

ARCHITECTURAL COMMITMENTS

Tract A

1. The maximum height of any building constructed on Tract A shall be 60 feet.
2. At least 51 percent of each building elevation below the roofline (excluding areas devoted to doors, windows, and trim) shall be composed of brick, stone, pre-cast concrete or similar masonry products, or a combination thereof.
3. Attached hereto is a schematic architectural rendering of one of the buildings proposed to be located on Tract A, and this schematic architectural rendering is intended to depict the general conceptual architectural style and character of the buildings to be located on Tract A. Accordingly, the buildings to be located on Tract A shall be designed and constructed so that they are substantially similar in appearance to the attached schematic architectural rendering. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.

Tract B

1. The maximum height of any building constructed on Tract B shall be 60 feet.
2. The portions of the building exteriors located below the roof line (excluding areas devoted to windows, doors, garage doors, architectural accents and signage) shall be composed of a combination of brick, stone and similar masonry products, and hand-planed floor cement board. Notwithstanding the foregoing, vinyl and/or wood may be utilized on the soffits and trim areas of the buildings and on any railings. Except as provided above, vinyl shall not be a permitted exterior building material.

SCREENING AND LANDSCAPED AREAS

1. Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance. All landscaping installed on the Site will meet or exceed the requirements of the Ordinance.
2. Screening will be provided between the southernmost retail building located on Tract A and the multi-family buildings located on Tract B as more particularly provided on the Rezoning Plan.
3. All roof mounted mechanical equipment will be screened from view at grade from adjacent public rights of way.
4. Any dumpsters visible from a public street or from an adjoining parcel of land will be screened from view by a solid enclosure with gates. If one or more sides of a dumpster area adjoin a rear wall of a building, the rear wall may be substituted for the fence along each such side.

COMMON OPEN SPACE/TREE SAVE AREAS/ TREE ORDINANCE

1. Common open space shall be provided in various locations on the Site as depicted on the Rezoning Plan.
2. A recreational amenity area shall be provided on Tract B, and it shall contain, at a minimum, a swimming pool and a clubhouse.
3. A minimum of 15 percent of the Site will be devoted to tree save areas. For the purpose of calculating the required amount of tree save areas, any portions of the Site to be dedicated and conveyed to Mecklenburg County for greenway purposes shall be considered in making this calculation.
4. Development of the Site shall comply with the City of Charlotte Tree Ordinance.

GREENWAY

1. Petitioners shall dedicate and convey to Mecklenburg County for greenway purposes those portions of the Site (the "Greenway Area") that are more particularly identified as greenway on the Time Space & Greenway Ordinance - Final Plan (the "Greenway Plan") attached as Sheet 4 to the Rezoning Plan. Petitioners shall dedicate and convey the Greenway Area to Mecklenburg County prior to the issuance of a Certificate of Occupancy for the last multi-family building constructed on the Site. Prior to the conveyance of the Greenway Area to Mecklenburg County, Petitioners shall have the right to install and locate utility lines through the Greenway Area and to reserve such easements over the Greenway Area that are necessary to maintain, repair and replace such utility lines, and to reserve such other easements as may be reasonably necessary in connection with the development of the Site. Prior to the conveyance of the Greenway Area to Mecklenburg County, Petitioners shall also have the right to preserve, restore and/or to create wetlands areas within the Greenway Area.
2. A pedestrian connection from Tract B to the Greenway Area will be constructed, installed and maintained by Mecklenburg County (the "Pedestrian Greenway Connector"). The Pedestrian Greenway Connector shall be located within that portion of the Site designated as the "Proposed Greenway Access Easement" on the Greenway Plan. Petitioners shall grant to Mecklenburg County a permanent easement over and across that portion of the Site designated as the "Proposed Greenway Access Easement" on the Greenway Plan to accommodate the construction, installation and maintenance of the Pedestrian Greenway Connector by Mecklenburg County. The Pedestrian Greenway Connector shall be constructed and installed by Mecklenburg County at a time to be determined by Mecklenburg County.

SIDEWALKS/STREETSCAPE

1. A 10 foot planting strip will be provided and measured from either the back of curb or the edge of pavement, and a 6 foot sidewalk shall be installed from that point along the Site's frontage on NC Highway 29 as more particularly depicted on the Rezoning Plan.
2. A 6 foot planting strip and a 5 foot sidewalk shall be installed as depicted on the Rezoning Plan. Sidewalks lying on the southern edge of Parcels 1 and 2 shall be installed at the time such parcels are developed.

LIGHTING

1. The maximum height of any freestanding light fixture installed on the Site (other than street lights on public rights-of-way) including its base, shall not exceed 35 feet. All lighting shall be copped and shielded to direct lighting downward and/or away from adjoining properties.
2. The use of wall-pak lighting fixtures shall not be permitted on the Site, however, architectural light fixtures may be installed on building facades.

ACCESS POINTS

1. Access points serving the Site will be as generally depicted on the Rezoning Plan.
2. The placement and configuration of each vehicular access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the City of Charlotte Department of Transportation ("CDOT") and/or the North Carolina Department of Transportation ("NCDOT").

PARKING

1. Off-street vehicular parking spaces shall be provided at the following rates:
 - (a) a minimum of 3.8 parking spaces per 1,000 square feet of gross floor area shall be provided on Tract A, and
 - (b) a minimum of 1 parking space per multi-family residential unit shall be provided on Tract B.
2. Although areas devoted to outdoor dining are not included in the calculation of the maximum amount of gross floor area that may be developed on Tract A, areas devoted to outdoor dining shall be considered when determining the required number of off-street vehicular parking spaces to be provided on Tract A.
3. Bicycle parking will be provided in accordance with the requirements of the Ordinance.

SIGNS

All signs depicted on the Rezoning Plan shall comply with the requirements of Chapter 13 and Section 11.509 of the Ordinance.

SOLID WASTE

The multi-family community to be developed on Tract B will meet all requirements as stated in Chapters 9 and 12 of the Charlotte City Code regarding solid waste dumpster, compactor and recycling areas.

STORM WATER MANAGEMENT

Storm water runoff from the Site will be managed in accordance with the storm water management plan attached hereto.

WETLANDS/SWIM BUFFERS

1. Any jurisdictional wetlands or streams, if present, need to be protected or proper environmental permits obtained prior to their disturbance. For 401 permits contact DEHNR. For 404 permits contact the Army Corps of Engineers.
2. SWIM buffers shall be provided as required by the Ordinance.

FIRE PROTECTION

Adequate fire protection in the form of fire hydrants will be provided to the Charlotte Fire Marshal's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences.

SUBDIVISION ORDINANCE

Development of the Site shall comply with the terms and conditions of the City of Charlotte Subdivision Ordinance (the "Subdivision Ordinance"), provided, however, that the Petitioners shall have the right to pursue a variance or variances from the standards and requirements of the Subdivision Ordinance in accordance with the procedures set out therein.

TRANSPORTATION IMPROVEMENTS

1. The Petitioners shall design, construct, and install, at their sole cost and expense, an additional right turn lane on Pavilion Boulevard at its intersection with NC Highway 29. This additional right turn lane shall have a width of 11 feet, a length of 150 feet and a bay taper rate of 12:1. The Petitioners shall also be responsible for any related costs such as costs relating to signal modifications, pavement marking changes, crosswalks and any modifications to sidewalks as a result of the installation of the additional right turn lane. The additional right turn lane must be completed and accepted for maintenance by the City of Charlotte prior to the issuance of the first certificate of occupancy for any building constructed on the Site.
2. As provided on the Rezoning Plan, Access No. 2 and Access No. 3 shall be limited to right in-right out movements only.
3. The Petitioners shall design, construct, and install, at their sole cost and expense, an exclusive eastbound right turn lane on NC Highway 29 at Access No. 3. This right turn lane shall have a minimum of 150 feet of storage, and the Petitioners will construct geometric improvements relating to this right turn lane that comply with NCDOT standards and are acceptable to NCDOT and CDOT. The costs of any impacts to the reversible lane system on NC Highway 29 as a result of the installation of this right turn lane, including modifying gantries or the communication system, shall be borne by the Petitioners.
4. A single exiting right turn lane from the Site onto NC Highway 29 will be provided at Access No. 3.
5. The traffic calming devices to be installed within the interior portions of the Site as depicted on the Rezoning Plan are subject to the approval of the CDOT. In the event that a traffic calming device is not approved by CDOT, the Petitioners will not be required to install such traffic calming device.

SECURITY MEASURES

A security video or photographic recording device will be installed, operated and maintained at the entrance into the multi-family residential community that will photograph all vehicles entering the multi-family residential community. Additionally, signage will be placed in a prominent location to advise residents and visitors of the video or photographic recording device.

AMENDMENTS TO THE REZONING PLAN

Future amendments to the Rezoning Plan and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

BINDING EFFECT OF THE REZONING APPLICATION

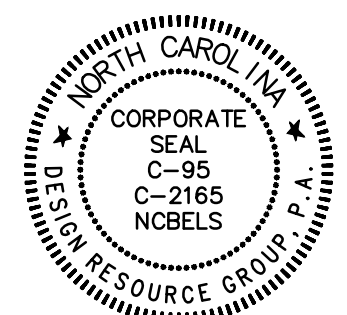
1. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under these Development Standards and the Rezoning Plan, will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioners and the current and subsequent owners of the Site and their respective successors in interest and assigns.
2. Throughout these Development Standards, the terms, "Petitioners" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioners or the owner or owners of the Site from time to time who may be involved in any future development thereof.



design resource group

- landscape architecture
- civil engineering
- urban design
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CHARTER PROPERTIES
1520 SOUTH BLVD.
CHARLOTTE, NORTH CAROLINA
704-377-4172

REZONING PETITION

REZONING PETITION FOR PUBLIC HEARING # 07-079 FOR ADMINISTRATIVE AMENDMENT

SCALE:

PROJECT #: 278-005
DRAWN BY: THH

REZONING NOTES & CROSS SECTIONS

JULY 5, 2013

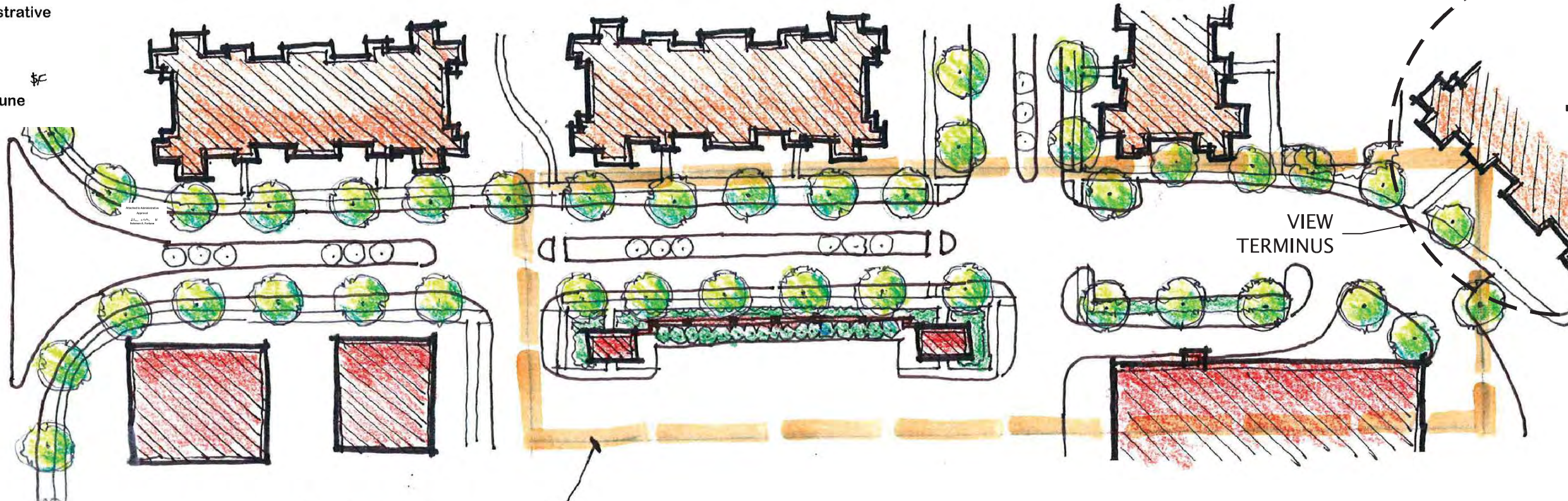
REVISIONS:
1. 06/15/16 - ADMINISTRATIVE AMENDMENT

Attached to Administrative

Approval

Solomon A. Fortune
Solomon A. Fortune

YONKERS ST.

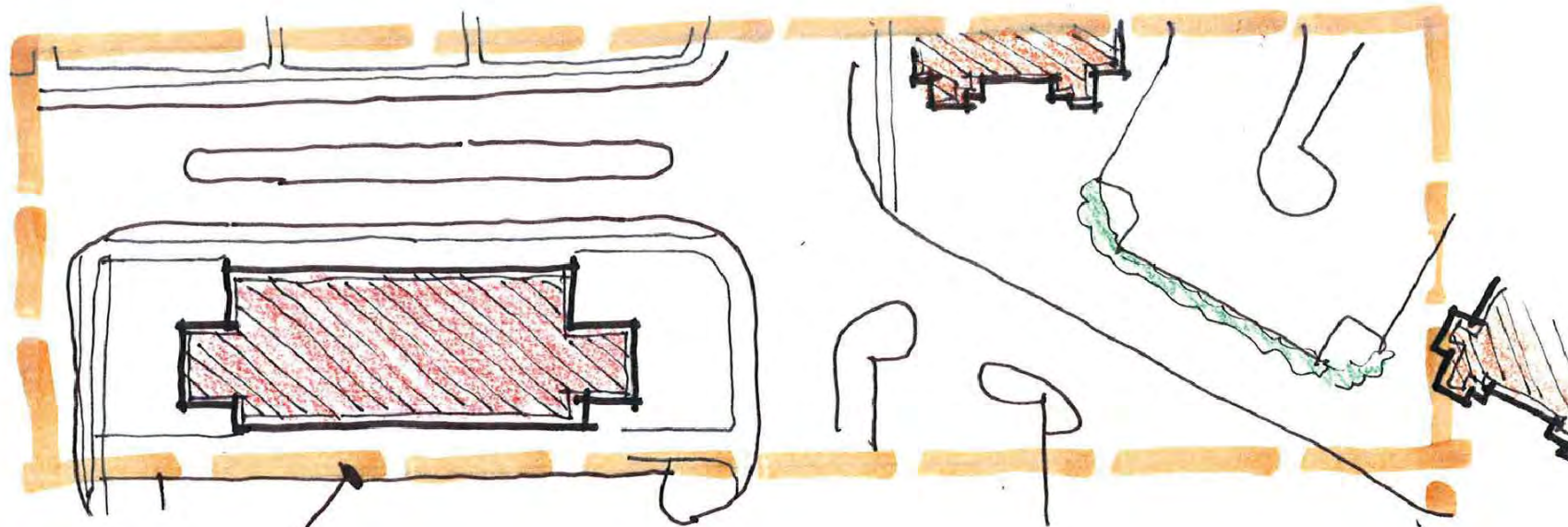


Area of Proposed Building Edge Condition Change

- Two 24' x 16' Gazebos and 42" Masonry Wall and landscaping to create edge condition along private street
 - Landscape shrubs in front of wall
 - Tall evergreen hedge of Emerald Green Arborvitae, installed at 6' ht.
 - Large Maturing Street Trees at 40' on center
- Grocer Anchor closer to internal private street, strengthen building edge condition
 - Eliminates disorganized parking fields as visual terminus of private street
 - Organized and smaller parking field at vista terminus
 - Strengthens interconnectivity between commercial and multifamily uses
 - Street/neighborhood feeling vs. feeling of a commercial parking lot



Proposed Edge Condition facing Apartment Community



Building Edge Condition on Original Rezoning Plan



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PAVILION VILLAGE
CHARLOTTE, NORTH CAROLINA

CHARTER PROPERTIES, INC
1520 SOUTH BLVD.
CHARLOTTE, NC 28203
704.377.4172

SCALE: N.T.S.

PROJECT #: 278-005
DRAWN BY: DJK
CHECKED BY: TH

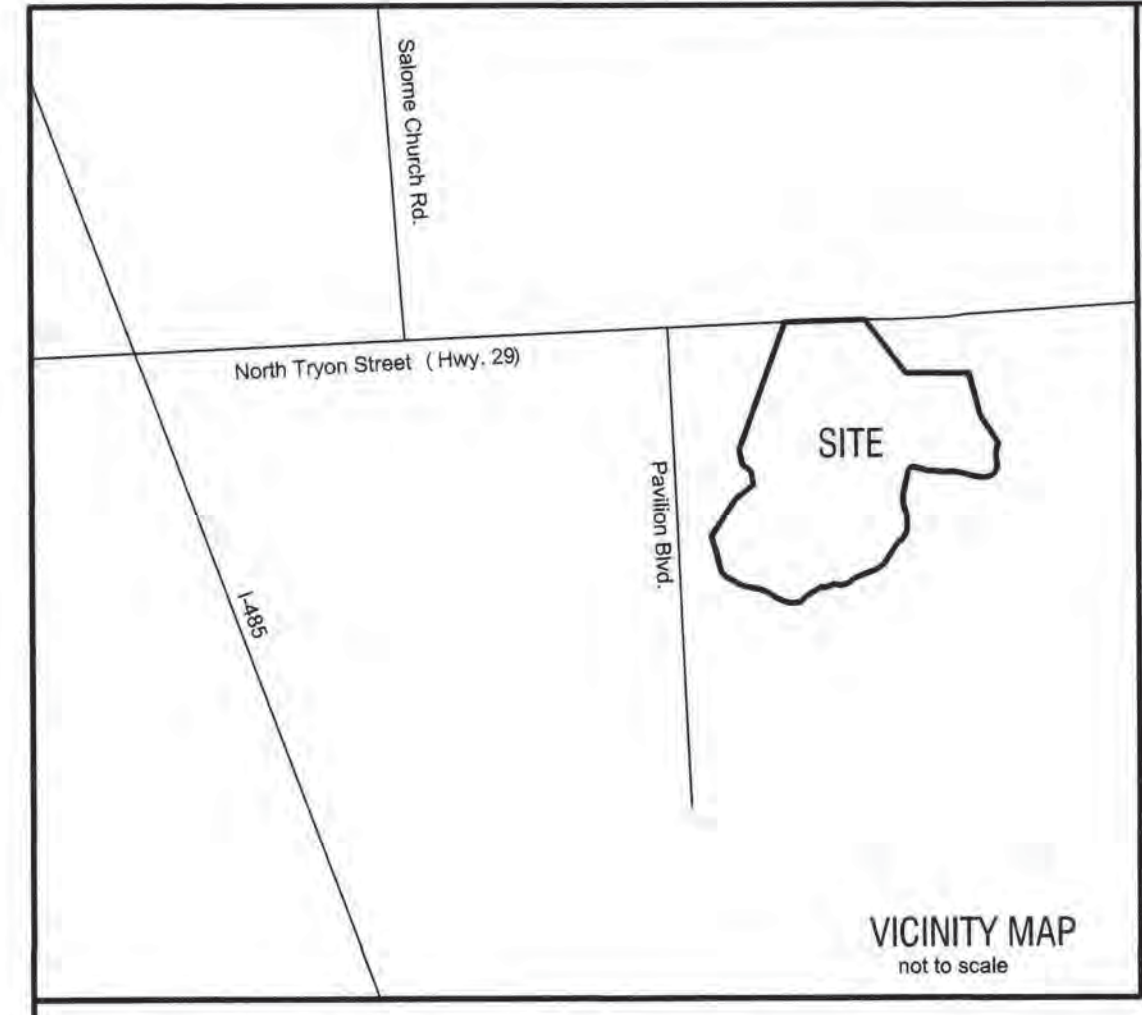
BUILDING EDGE CONDITION

MAY 31, 2013

REVISIONS:
1. 06/15/16 - ADMINISTRATIVE AMENDMENT

EXHIBIT 1

(SHEET 3.0)



- Notes:
1. Survey referenced to City of Charlotte Monument "799". All distances are ground distances.
 2. Iron pins or monuments set on all accessible corners or as noted.
 3. Tax Parcels - 05141107 & 05141109
 4. The current owner of this property is: Pavilion Village LLC. 1520 South Blvd, Suite 215 Charlotte, NC 28203
 5. Any construction or use with any in delineated Flood Area is subject to the restrictions imposed by the Flood way Regulations.
 6. There is a 10' no build zone around the tree save areas.

Landfill Note:
No demolition landfill or developmental stump holes were designed or observed on the subject tract.

Attached to Administrative Approval
Solomon A. Fortune
Solomon A. Fortune

North Tryon Street (Hwy. 29)
Variable width public R/W

JASON V. PRESCOTT
review officer of Mecklenburg County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.
6/10/2016
Review Officer Date

Approved in accordance with the provisions of Chapter 20 (Subdivision Ordinance) of the City code of the City of Charlotte, North Carolina.
Charlotte-Mecklenburg Planning Commission
6/10/2016
Planning Commission Staff Date

Development Data:

Tax ID: 05141107 & 05141109
Deed Ref.: Bk. 23768, Pg. 566
Zoned: NS (Petition #07-079)
49.61 Acres

Tree Save Area Required: 15%
(53.71 Ac. x 0.15 = 8.06 Ac.)
Tree Save Area Provided: 8.79 Ac.

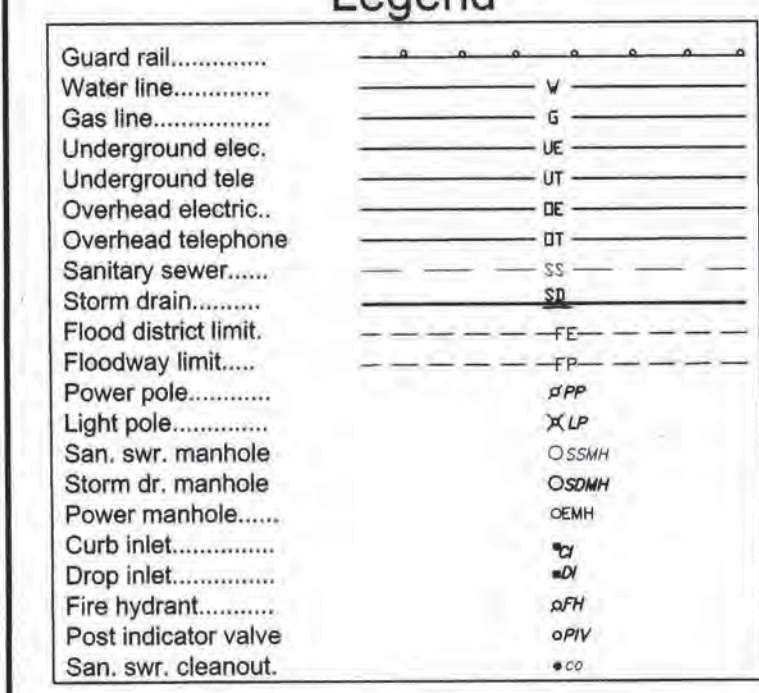
- Tree Save Summary
1. 3.98 Acres outside of future greenway dedication Acres
 2. 4.81 Acres within that area to be dedicated as future greenway
 3. Total tree save area equals 8.79 Acres.
- Proposed Use: Multi-Family
Max. Building Height: 60'
Min. Building Separation: 16'
- Setbacks:
20' Setback from back of sidewalk along Hwy. 29 (per approved rezoning)
10' Side Yard
10' Rear Yard (Adjacent to Non-Residential)
20' Rear Yard (Adjacent to Residential)

Area Summary
53.71 Acres Total

25.96 Acres in Apartment Site Tract B
4.10 Acres Conveyed to Crown Court, LLC
8.79 Acres Dedicated as Tree Save
0.215 Acres in Greenway Easement previously recorded as Tree Save
23.65 Acres to be Dedicated as Greenway
-4.81 Acres Dedicated as Tree Save and Greenway
-3.98 Acres Dedicated as Tree Save and Included in the 25.96 Acre Apartment Site, Tract B Parcel
-0.215 Acres in Greenway Easement previously recorded as Tree Save

53.71 Acres

Tax ID 05106120
Bk 6558 Pg 490
Mecklenburg County

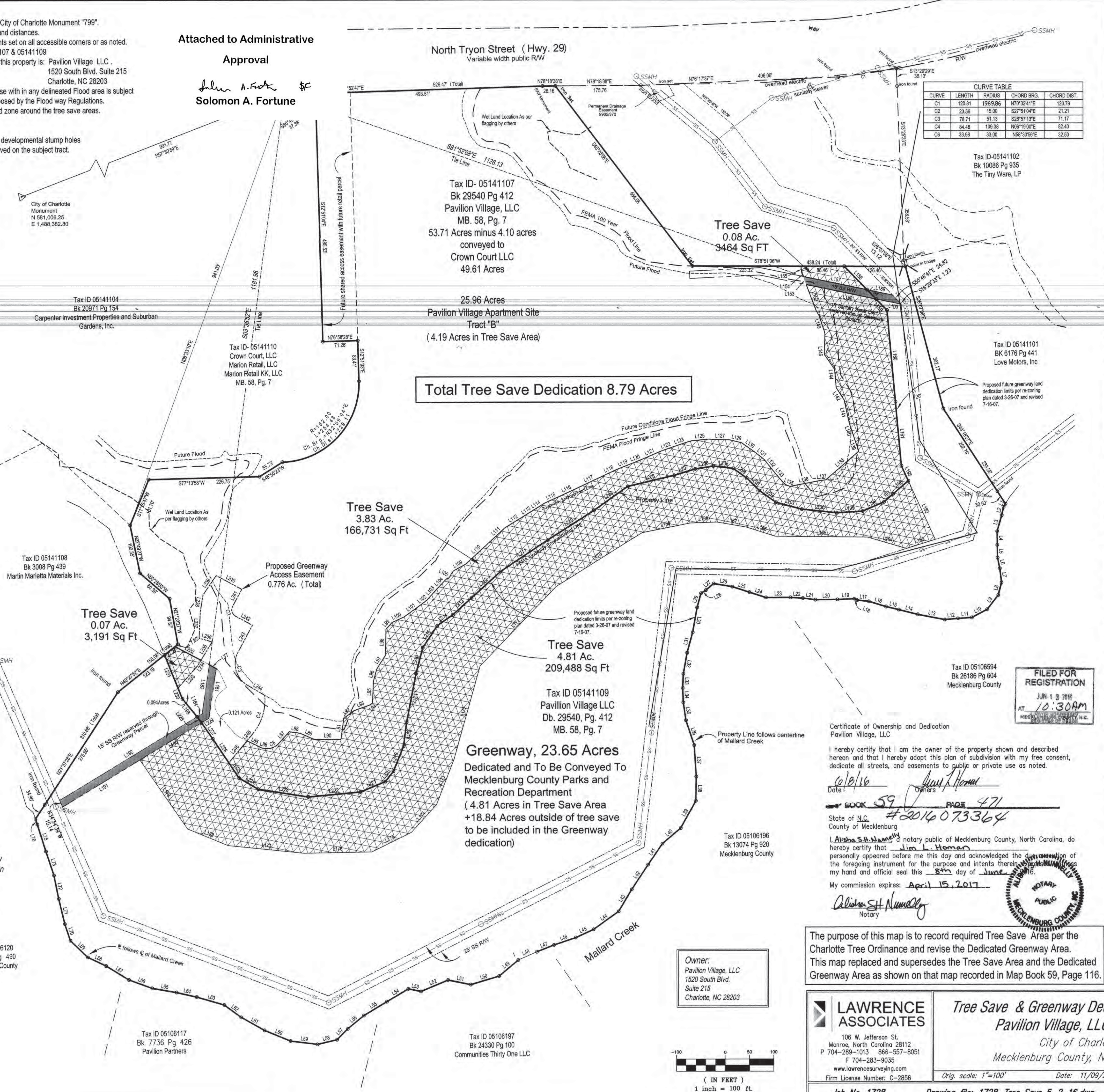


CERTIFIED TO BE TRUE AND CORRECT COPY OF THE ORIGINAL MAP RECORDED IN BOOK 59 PAGE 471
DATE: 6/10/2016
I, DAVID LAWRENCE, REGISTERED PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF NORTH CAROLINA, DO HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL MAP RECORDED IN BOOK 59 PAGE 471.



Flood Certification
I have examined the Flood Insurance Rate Map for Mecklenburg County, North Carolina, Community Panel Number 37104588001, dated March 2, 2014, and hereby certify that a portion of this property is located in a special flood hazard area as determined by the Federal Emergency Management Agency.

Certificate of Survey and Accuracy
State of North Carolina, Mecklenburg County
I, F. Donald Lawrence, certify that this plat was drawn under my supervision from an actual survey made under my supervision (as recorded in Book 29540, Page 412), that the boundaries not surveyed are clearly indicated as dashed lines drawn from adjoining owners deeds as shown; that the ratio of precision as calculated is 1:10,000 or better; that this plat was prepared in accordance with G.S. 47-30 as amended. This survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land. Witness my original signature, registration number and seal this 11th day of June, A.D. 2016
F. Donald Lawrence, NCPLS L-1290



CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BRG.	CHORD DIST.
C1	120.81	1969.86	N70°32'41"E	120.79
C2	23.56	15.00	S27°51'04"E	21.29
C3	78.71	51.13	S28°57'13"E	71.17
C4	84.48	109.38	N06°19'00"E	82.40
C6	33.98	33.00	N58°30'59"E	32.50

LINE TABLE

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S19°55'28"W	7.45	L78	S70°49'42"E	2.16
L2	S01°52'08"W	17.34	L79	S70°49'42"E	2.16
L3	S04°37'53"W	34.41	L80	S72°38'17"E	24.14
L4	S11°13'38"E	28.25	L81	N88°00'39"E	5.35
L5	S12°25'44"E	26.23	L82	N00°48'17"E	30.93
L6	S23°18'23"E	22.08	L83	N88°38'59"E	22.13
L7	S18°02'14"E	28.17	L84	S78°09'58"E	33.11
L8	S03°20'35"W	28.80	L90	N78°27'59"E	53.99
L9	S28°41'10"W	37.06	L91	N03°20'37"E	43.85
L10	S50°41'07"W	35.88	L92	N41°39'52"E	28.19
L11	S74°32'26"W	28.82	L93	N59°08'46"E	33.98
L12	S73°20'00"W	26.94	L94	N41°55'21"E	7.08
L13	S89°41'58"W	56.36	L95	N08°19'16"W	44.64
L14	N87°11'46"W	40.08	L96	N03°48'10"E	25.88
L15	N88°01'09"W	27.23	L97	N20°59'28"E	32.94
L16	N84°31'55"W	37.11	L98	N09°44'27"W	33.98
L17	S84°41'35"W	24.34	L99	N01°11'30"E	18.73
L18	N77°17'31"W	6.88	L100	N03°47'49"E	26.99
L19	S78°30'41"W	34.45	L101	N43°17'54"E	44.10
L20	S77°59'02"W	45.33	L102	N41°31'11"E	15.08
L21	S88°00'58"W	25.58	L103	N30°40'35"E	28.19
L22	S82°08'00"W	25.29	L104	N21°21'19"E	35.24
L23	S78°31'22"W	30.39	L105	S14°32'52"E	2.13
L24	N52°23'57"W	35.56	L106	N27°40'47"E	8.15
L25	N53°29'45"W	37.02	L107	N03°17'29"E	2.86
L26	S88°09'06"W	39.02	L108	N23°43'37"E	6.57
L27	S38°32'33"W	20.87	L109	N50°20'39"E	27.97
L28	S48°32'21"W	11.83	L110	N38°08'39"E	73.12
L29	S03°50'31"W	20.22	L111	N50°34'27"E	36.36
L30	S09°59'27"E	17.85	L112	N48°59'45"E	44.73
L31	S04°19'12"E	43.54	L113	N46°59'19"E	13.20
L32	S01°01'45"E	44.02	L114	N48°41'43"E	34.24
L33	S08°28'43"E	28.98	L115	N54°02'50"E	34.37
L34	S13°24'57"E	28.52	L116	N54°02'50"E	36.10
L35	S19°38'58"E	37.11	L117	N53°32'38"E	65.22
L36	S28°46'54"E	53.62	L118	N53°32'38"E	28.86
L37	S39°59'27"E	64.85	L119	N48°59'45"E	44.73
L38	S12°12'23"E	49.54	L120	N58°51'54"E	19.38
L39	S17°50'44"W	63.92	L121	N54°59'11"E	44.28
L40	S23°20'30"W	49.31	L122	N59°35'28"E	25.83
L41	S23°08'17"W	62.30	L123	N60°09'48"E	31.04
L42	S22°16'48"W	60.80	L124	N63°00'15"E	9.33
L43	S19°38'31"W	52.63	L125	N72°51'45"E	35.43
L44	S43°00'39"W	63.59	L126	N85°40'47"E	6.63
L45	S54°07'19"W	40.72	L127	N79°45'06"E	32.87
L46	S60°10'41"W	47.18	L128	N85°17'46"E	3.89
L47	S56°48'48"W	37.82	L129	S87°56'55"E	24.82
L48	S54°50'06"W	41.62	L130	S86°13'07"E	32.09
L49	S38°03'17"W	51.52	L131	S82°58'13"E	25.56
L50	S61°15'44"W	40.82	L132	S48°31'48"W	48.22
L51	N80°00'00"W	27.86	L133	S51°21'37"E	28.15
L52	S88°43'31"W	60.69	L134	S54°02'55"E	12.64
L53	N90°00'00"W	26.83	L135	S79°50'13"E	10.55
L54	S47°52'27"W	51.19	L136	N67°48'06"E	60.23
L55	S47°39'25"W	54.89	L137	N70°40'56"E	14.38
L56	S39°04'29"W	42.84	L138	N37°49'59"E	89.73
L57	S33°24'50"W	31.58	L139	N30°04'57"W	27.60
L58	S83°38'58"W	41.50	L140	N30°04'57"W	33.35
L59	S85°42'00"W	55.98	L141	N23°38'58"W	48.34
L60	N78°52'30"W	57.83	L142	N43°41'15"W	30.63
L61	N72°03'54"W	54.91	L143	N18°09'35"W	18.08
L62	N84°43'39"W	42.87	L144	N18°09'35"W	15.38
L63	N85°12'57"W	58.21	L145	N45°28'10"W	26.59
L64	N88°15'18"W	63.82	L146	N18°16'38"W	5.58
L65	S83°29'49"W	51.04	L147	N08°42'44"W	36.88
L66	N81°31'25"W	50.84	L148	N18°07'00"W	4.82
L67	N89°47'31"W	55.18	L149	N28°45'04"W	35.90
L68	N75°51'56"W	41.49	L150	N42°53'55"W	8.84
L69	N57°29'18"W	49.35	L151	N42°53'55"W	1.83
L70	N29°33'07"W	35.88	L152	N52°00'25"W	57.97
L71	N44°44'47"W	43.28	L153	N30°04'57"W	27.60
L72	N23°28'19"W	49.11	L154	N32°00'25"W	8.28
L73	N29°33'07"W	51.82	L155	N17°51'14"W	13.51
L74	N28°38'23"W	58.19	L156	S55°48'41"E	67.40
L75	N29°52'19"W	11.98	L157	N88°38'37"W	133.99

LINE TABLE

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L158	S89°38'37"E	146.85	L207	S61°56'52"W	45.10
L159	S55°48'41"E	51.93	L208	S86°14'02"W	98.01
L160	S16°29'33"E	189.21	L209	S43°12'28"W	94.85
L161	S16°29'33"E	131.81	L210	S48°01'15"W	118.28
L162	S38°52'25"E	132.39	L211	S48°01'15"W	118.28
L163	S61°13'59"W	62.33	L212	S38°25'09"W	86.85
L164	N84°48'56"W	63.88	L213	S38°25'09"W	86.85
L165	S79°14'47"W	189.11	L214	S43°34'35"W	38.99
L166	N83°43'42"W	61.97	L215	S23°30'05"W	54.76
L167	S88°24'38"W	61.86	L216	S03°39'28"W	54.86
L168	S78°43'08"W	54.78	L217	S00°04'28"E	101.31
L169	S87°24'01"W	100.92	L218	S03°33'58"E	49.55
L170	S48°46'17"W	208.21	L219	S10°43'30"W	55.72
L171	S32°52'54"W	228.79	L220	S17°34'14"W	40.29
L172	S24°27'43"W	198.41	L221	S09°04'47"W	58.22
L173	S09°51'35"W	99.60	L222	S73°18'30"W	107.27
L174	S31°13'10"W	77.73	L223	S87°35'29"W	104.22
L175	S52°20'42"W	90.59	L224	N71°18'40"W	45.86
L176	S77°42'38"W	139.25	L225	N45°00'00"W	37.86
L177	S84°12'29"W	157.18	L226	N45°00'00"W	37.86
L178	N84°48'06"W	89.33	L227	N45°13'37"W	40.29
L179	N45°51'51"W	172.02	L228	N47°02'27"W	15.05
L180	N47°40'23"E	147.83	L229	N47°40'23"E	17.56
L181	N02°52'45"E	103.04	L230	N33°01'32"W	23.80
L182	S02°52'45"E	102.03	L231	N33°01'32"W	73.37
L183	S47°40'23"W	11.71	L232	S73°14'47"E	59.84
L184	N33°15'16"W	42.02	L233	N30°00'00"E	61.44
L185	S73°12'29"W	4.28	L234	N19°51'50"E	12.56
L186	S73°14'47"E	16.97	L235	N19°51'50"E	43.88
L187	S70°49'42"E	2.16	L236	N84°39'02"W	27.43
L188	N60°34'28"W	47.74	L237	N08°34'22"W	55.45
L189	S55°48'41"E	26.84	L238	N01°35'44"W	34.03
L190	S35°52'25"E	33.90	L239	N22°48'50"E	47.72
L191	S37°42'29"W	41.72	L240	S72°51'04"E	39.55
L192	S37°42'29"W	25.35	L241	S71°06'59"W	39.41
L193	S55°38'11"W	47.88	L242	S72°51'04"E	38.20
L194	S73°06'45"W	53.29	L243	S17°08'56"W	62.12
L195	S84°32'28"E	72.21	L244	S71°03'22"E	41.00
L196	N86°28'23"W	54.88	L245	S28°28'32"W	19.13
L197	N65°31'28"W	41.35	L246	S28°28'32"W	58.55
L198	N59°20'08"W	37.09			
L199	N68°52'27"W	33.78			
L200	S85°10'04"W	41.28			
L201	S69°39'15"W	37.81			

Certificate of Ownership and Dedication
Pavilion Village, LLC

I hereby certify that I am the owner of the property shown and described hereon and that I hereby adopt this plan of subdivision with my free consent, dedicate all streets, and easements to public or private use as noted.

6/18/16
Date: *June 18, 2016*
Book 59 Page 471
#2016 073364
State of N.C.
County of Mecklenburg

I, *Alonso S. Nunez*, Notary Public of Mecklenburg County, North Carolina, do hereby certify that *Jim L. Homan* personally appeared before me this day and acknowledged the execution of the foregoing instrument for the purpose and intents therein expressed. My commission expires: *April 15, 2017*

Alonso S. Nunez
Notary

The purpose of this map is to record required Tree Save Area per the Charlotte Tree Ordinance and revise the Dedicated Greenway Area. This map replaced and supersedes the Tree Save Area and the Dedicated Greenway Area as shown on that map recorded in Map Book 59, Page 116.

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Tree Save & Greenway Dedication - Final Plat
Pavilion Village, LLC (Owner)
City of Charlotte
Mecklenburg County, North Carolina
Orig. scale: 1"=100' Date: 11/09/2015 Drawn By: J.L.H.

Job No. 1728 Drawing file: 1728-Tree Save 5-2-16.dwg Drawing no. 16/026

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