



Charlotte-Mecklenburg Planning Department

DATE: April 5, 2016

TO: Donald Moore
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

SF eg

SUBJECT: Elevation Approval for Petition No. 2007-079 Charter Properties.

Attached are the approved elevations for the petition above. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Proposed building elevations changes for a new retail building (Wal-Mart).

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances, conditional requirements, and Building Codes still apply.

Signage was note reviewed as part of this request.

PLANNING DEPARTMENT REVIEW
APPROVED: [Signature]
TELEPHONE: 704-336-2205
DATE: 4/5/2016

JOHN HOWARD HEIMAN
REGISTERED ARCHITECT
12803
NORTH CAROLINA
TULSA, OK
09/11/15

SGA DESIGN GROUP, P.C.
Registered Architectural Corporation
51720
North Carolina
TULSA, OK



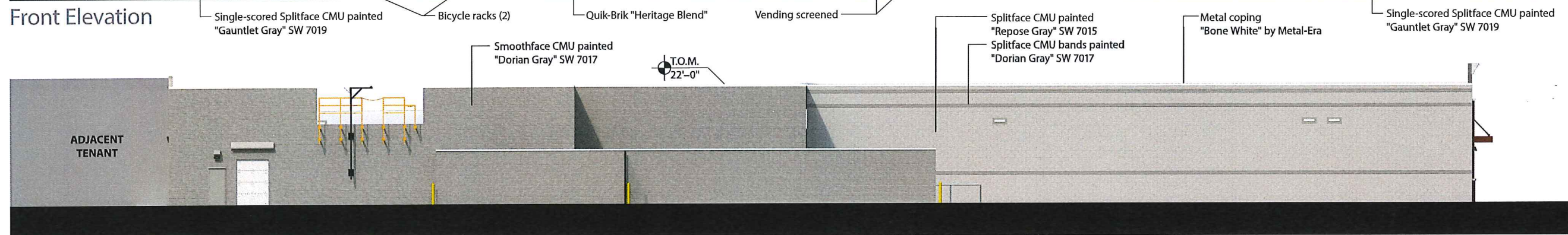
SGA Design Group, P.C. 

September 11, 2015

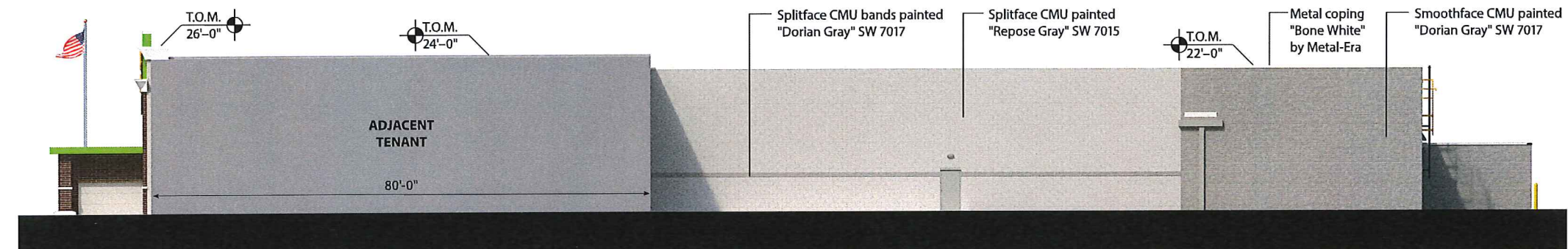
Charlotte (Tryon), North Carolina #6233 - New Store Neighborhood Market



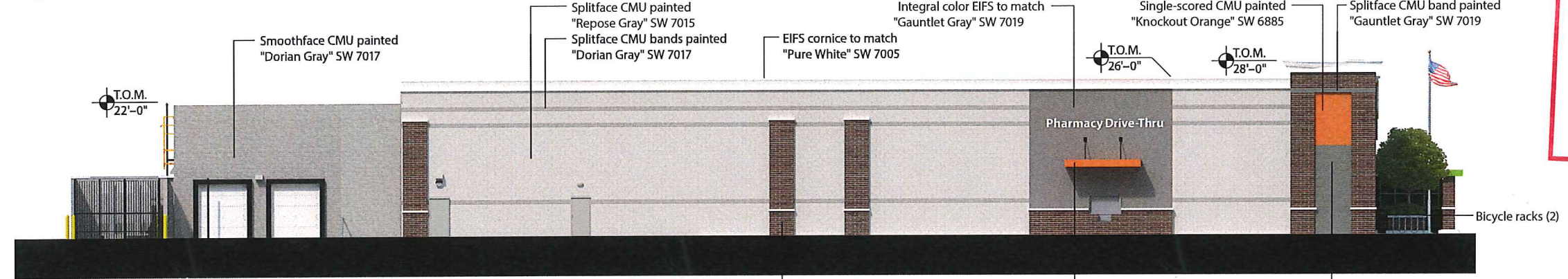
Front Elevation



Back Elevation



Right Elevation



Left Elevation

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DESIGN REPRESENTATION ONLY - NOT FOR CONSTRUCTION The building images shown are a representation of the current design intent only. The building images may not reflect variations in color, tone, hue, tint, shading, ambient light intensity, materials, texture, contrast, font style, construction variations required by building codes or inspectors, material availability or final design detailing.