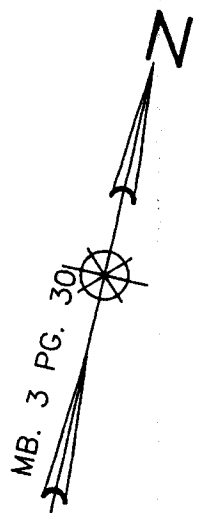
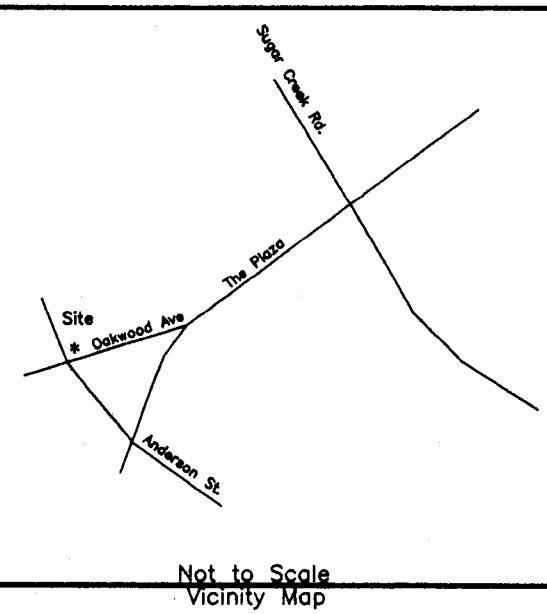


- * NOTES :
- 1) EXISTING BUILDINGS CAN ONLY BE REPLACED WITH SINGLE FAMILY RESIDENCES.
 - 2) GARAGE WILL BE ALLEY LOADED, (LOT #3)

- I, Martin L. Baucom, Registered Land Surveyor Number L-2733, Certify to To One Or More Of The Following As Indicated Thus, Or :
- A. That this plat is of a survey that creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.
 - B. That this plat is of a survey that is located in such portion of a county or municipality that is unregulated as to an ordinance that regulates parcels of land.
 - C. That this plat is of a survey of an existing parcel or parcels of land.
 - D. That this plat is of a survey of another category, such as the recombination of existing parcels, a court-ordered survey or other exception to the definition of subdivision.
 - E. That the information available to this surveyor is such that I am unable to make a determination to the best of my professional ability as to provisions contained in A. through D. above.

I, Martin L. Baucom, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book _____, Page _____; that the ratio of precision as calculated is 1:10000; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this 17th day of April, A.D., 2007.

Martin L. Baucom
 Martin L. Baucom
 L-2733
 Registration Number



A1 - Proposed Side Walk to House
(Sidewalk to be 5' WIDE
From CURB to House.)

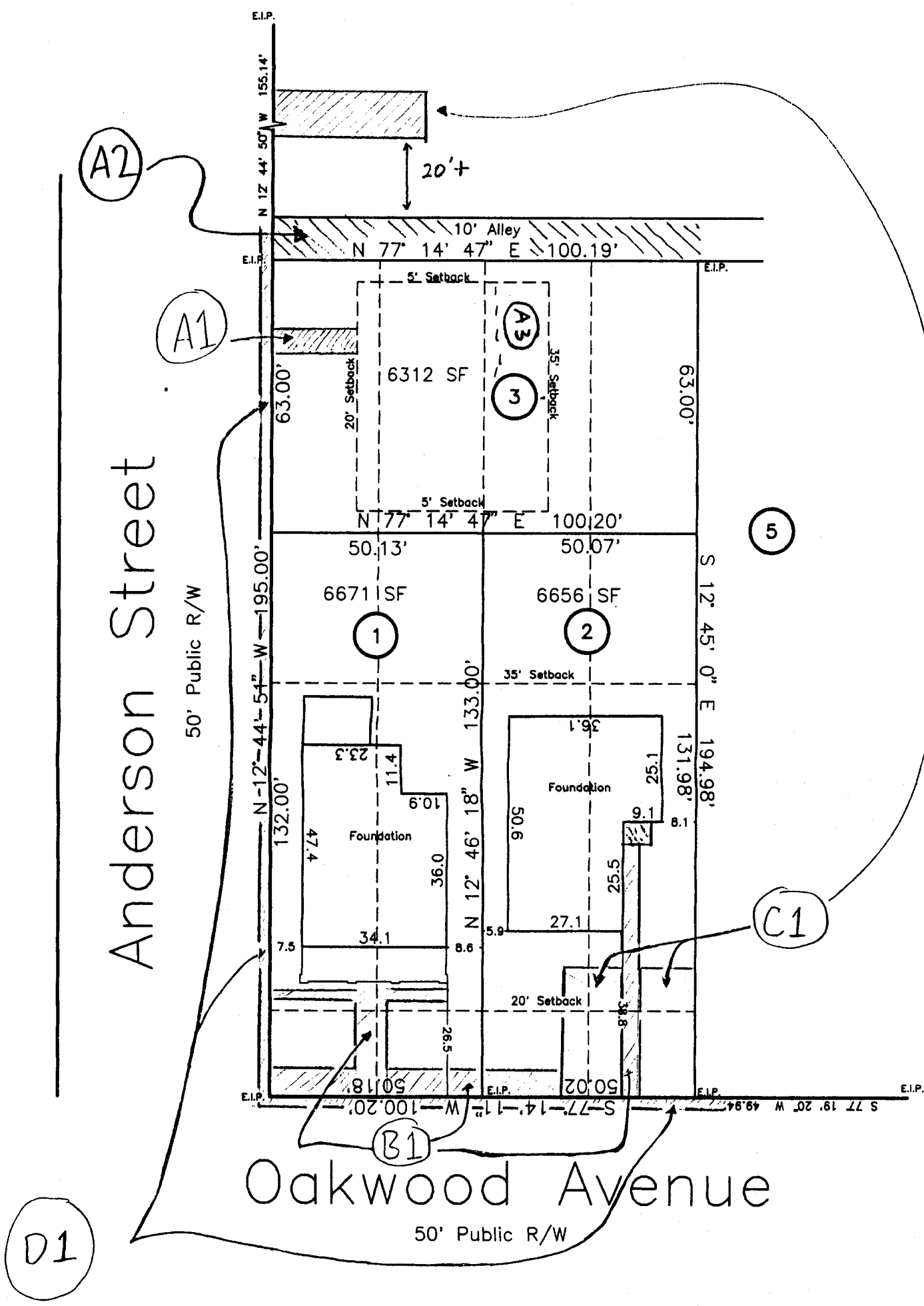
A2 - EXISTING ALLEY, TO
BE USED FOR ACCESS TO
SIDE LOAD GARAGE. - (SURFACE WILL COMPLY WITH)
CLDS
11.19.4

A3 - LOCATION OF SIDE LOAD
GARAGE

B1 - EXISTING SIDE WALKS

C1 - EXISTING PARKING PADS
(including driveway for parcel # 09106112)

D1 - EXISTING CURB/GUTTER



APPROVED BY
CITY COUNCIL.
SEP 17 2007

Property Zoned	R-8 CD
Min Lot Area	6000 Sf
Min Lot Width	50'
Min Front Setback	20'
Min Side Yard	5'
Min Rear Yard	35'
Max Height	40'

Notes

1. Tax Parcel Numbers 0910610, 09106102
2. Deed Reference 16928-642,20850-589
3. Iron Pins at all corners unless otherwise noted.
4. The purpose of this map is to redivide the lots as shown
5. Proposed Use 3 Single Family Lots WITH 1 DWELLING, PER LOT
6. SEE NOTES AT TOP OF MAP.

LEGEND
 — PROPERTY LINE
 S.I.P. RE-SET IRON PIN
 E.I.P. EXISTING IRON PIN
 CLOSURE EXCEEDS 1" IN 10,000'
 P.D.E. PUBLIC DRAINAGE EASEMENT
 E.C.M. EXISTING CONCRETE MONUMENT
 THIS PROPERTY SUBJECT TO EASEMENTS OF RECORD
 — ADJOINER PROPERTY LINE BY DEED OR PLAT
 PROPERTY IS NOT IN A DESIGNATED FLOOD HAZARD AREA

Revised Record Map
Of Lots 1,2,3, and 4 Block 3
W. Mill Mooney Property
 Charlotte, Mecklenburg County, N. C.
 Property of— Dearmon Enterprises

Scale 1"=30'	1 March 2007
Prepared By: Baucom-Davis & Associates 5100-12 Reagan Drive Charlotte, NC 28206 Phone: (704) 596-6088 Fax: 596-6189	Prepared For: Dearmon Enterprises