

**SITE DATA TABLE**

TOTAL SITE AREA (MECKLENBURG COUNTY) - 72.41

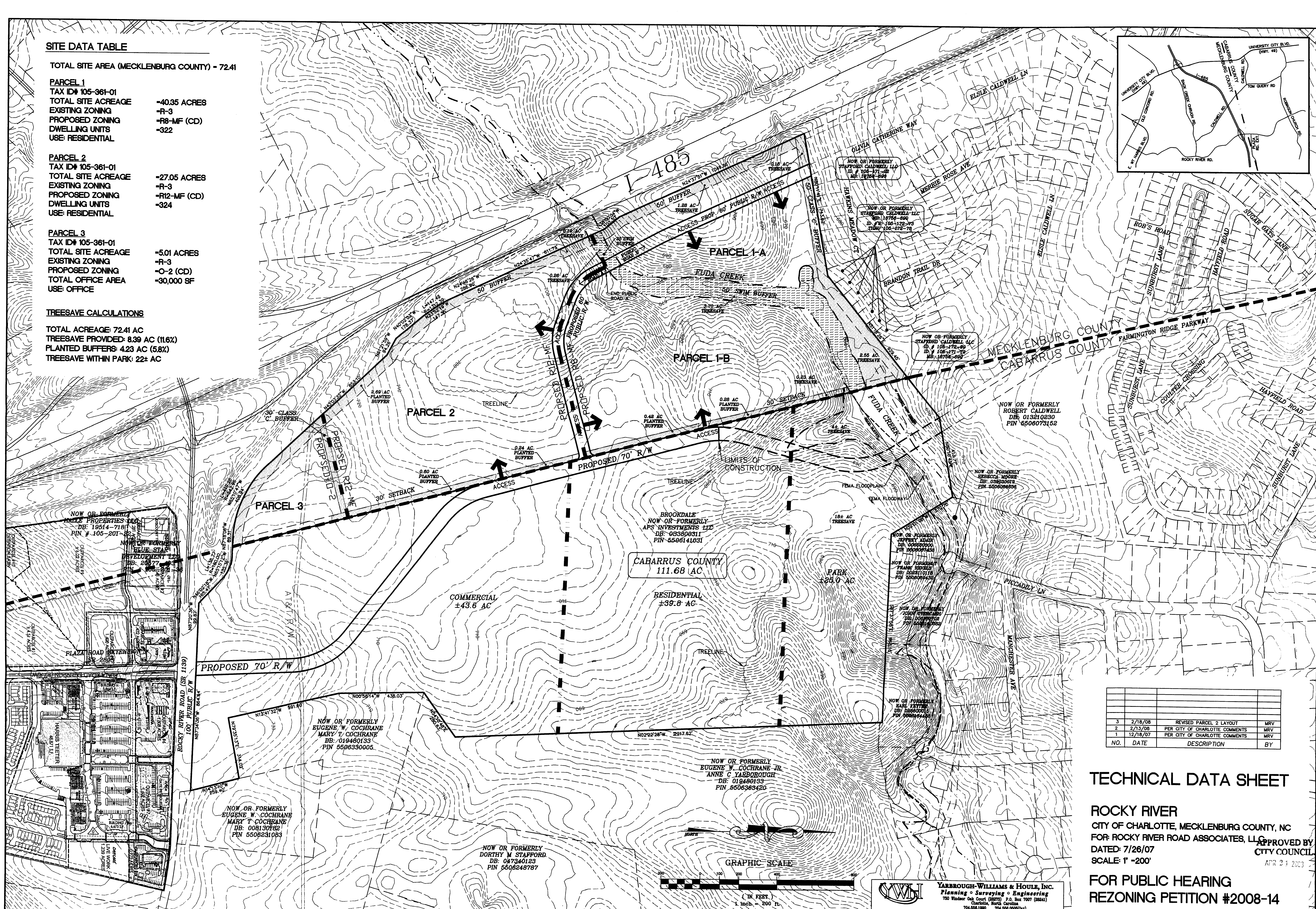
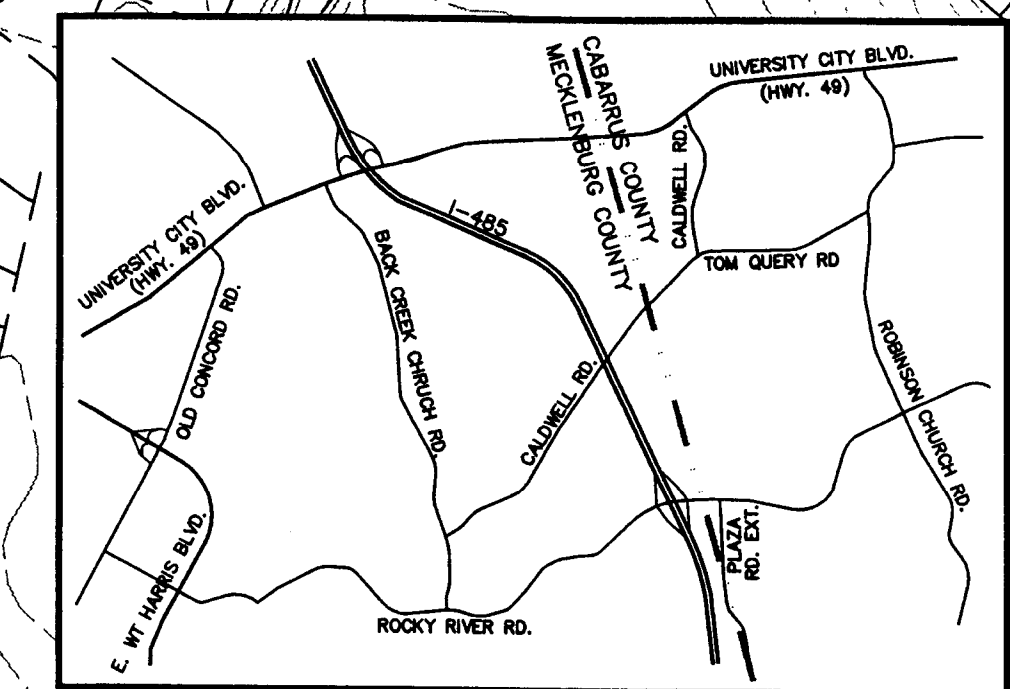
**PARCEL 1**  
 TAX ID# 105-361-01  
 TOTAL SITE ACREAGE -40.35 ACRES  
 EXISTING ZONING -R-3  
 PROPOSED ZONING -R8-MF (CD)  
 DWELLING UNITS -322  
 USE- RESIDENTIAL

**PARCEL 2**  
 TAX ID# 105-361-01  
 TOTAL SITE ACREAGE -27.05 ACRES  
 EXISTING ZONING -R-3  
 PROPOSED ZONING -R12-MF (CD)  
 DWELLING UNITS -324  
 USE- RESIDENTIAL

**PARCEL 3**  
 TAX ID# 105-361-01  
 TOTAL SITE ACREAGE -5.01 ACRES  
 EXISTING ZONING -R-3  
 PROPOSED ZONING -O-2 (CD)  
 TOTAL OFFICE AREA -30,000 SF  
 USE- OFFICE

**TREESAVE CALCULATIONS**

TOTAL ACREAGE: 72.41 AC  
 TREESAVE PROVIDED: 8.39 AC (11.6%)  
 PLANTED BUFFERS: 4.23 AC (5.8%)  
 TREESAVE WITHIN PARK: 22± AC



CABARRUS COUNTY  
 111.68 AC

COMMERCIAL  
 ±43.6 AC

RESIDENTIAL  
 ±39.8 AC

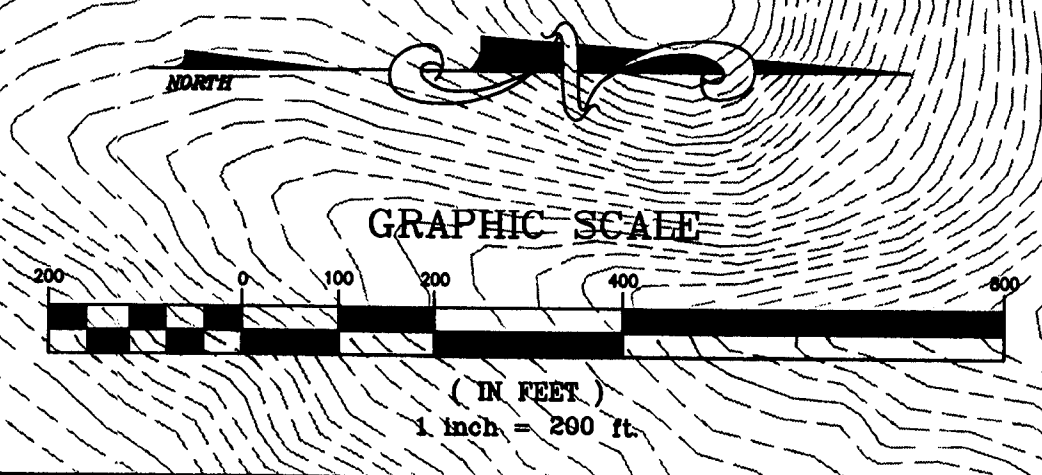
PARK  
 ±23.0 AC

NO.	DATE	DESCRIPTION	BY
3	2/18/08	REVISED PARCEL 2 LAYOUT	MRV
2	2/13/08	PER CITY OF CHARLOTTE COMMENTS	MRV
1	12/18/07	PER CITY OF CHARLOTTE COMMENTS	MRV

**TECHNICAL DATA SHEET**

**ROCKY RIVER**  
 CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC  
 FOR: ROCKY RIVER ROAD ASSOCIATES, LLC  
 DATED: 7/26/07  
 SCALE: 1" = 200'  
 APPROVED BY  
 CITY COUNCIL  
 APR 21 2008

**FOR PUBLIC HEARING**  
**REZONING PETITION #2008-14**



**YARBROUGH-WILLIAMS & HOULE, INC.**  
 Planning • Surveying • Engineering  
 700 Windsor Oak Court (2007) P.O. Box 7007 (28841)  
 Charlotte, North Carolina  
 704.568.1990 704.568.0000(fax)

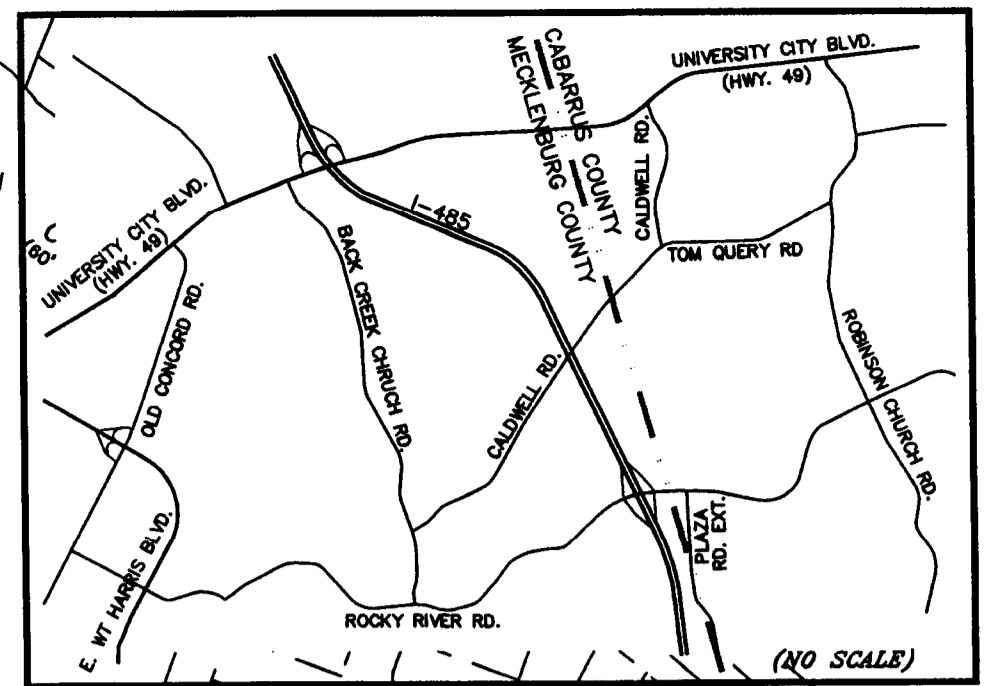
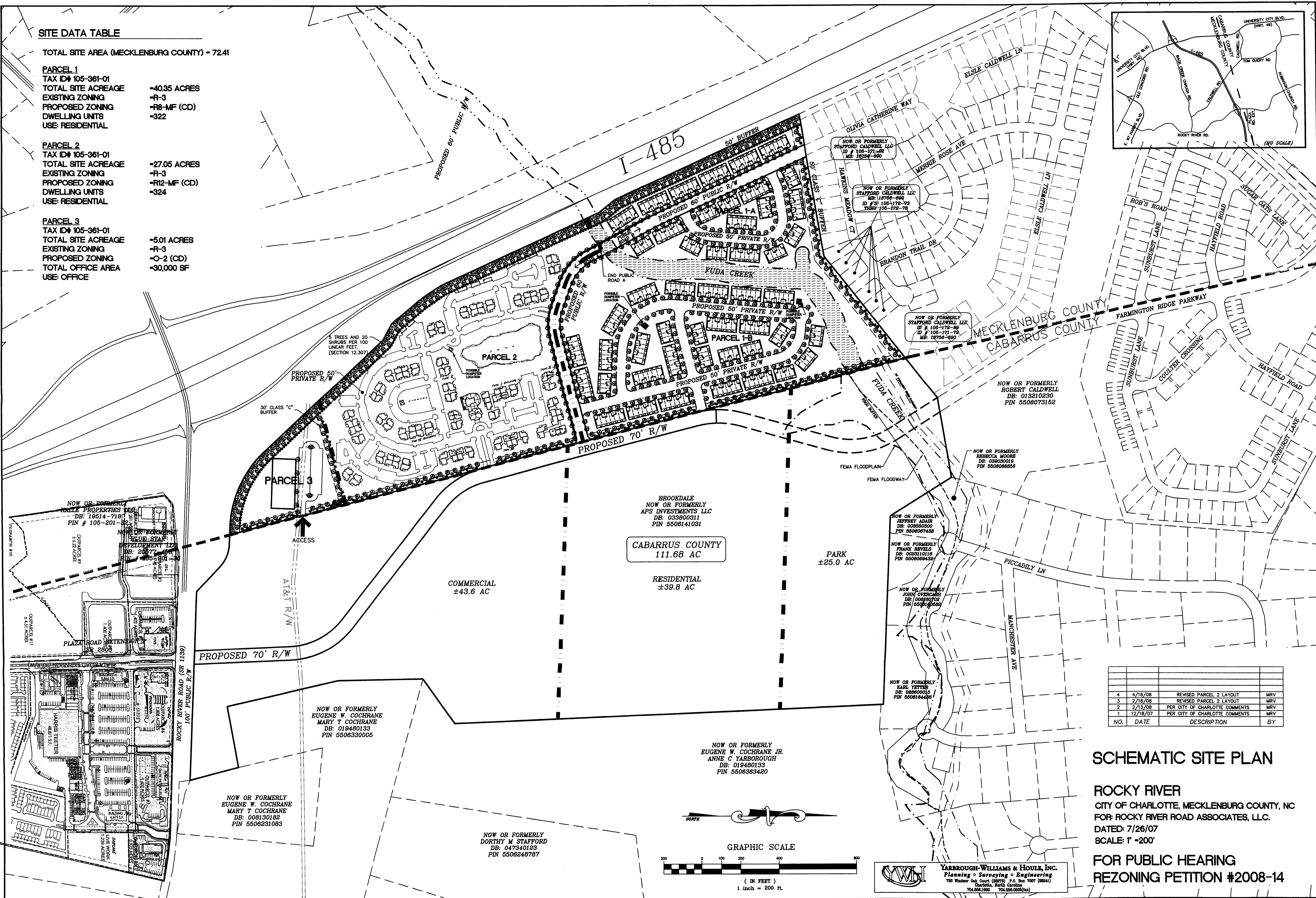
**SITE DATA TABLE**

TOTAL SITE AREA (MECKLENBURG COUNTY) = 72.41

**PARCEL 1**  
 TAX ID# 105-361-01  
 TOTAL SITE ACREAGE -40.35 ACRES  
 EXISTING ZONING -R-3  
 PROPOSED ZONING -R8-MF (CD)  
 DWELLING UNITS -322  
 USE: RESIDENTIAL

**PARCEL 2**  
 TAX ID# 105-361-01  
 TOTAL SITE ACREAGE -27.05 ACRES  
 EXISTING ZONING -R-3  
 PROPOSED ZONING -R12-MF (CD)  
 DWELLING UNITS -324  
 USE: RESIDENTIAL

**PARCEL 3**  
 TAX ID# 105-361-01  
 TOTAL SITE ACREAGE -5.01 ACRES  
 EXISTING ZONING -R-3  
 PROPOSED ZONING -O-2 (CD)  
 TOTAL OFFICE AREA -30,000 SF  
 USE: OFFICE



NO.	DATE	DESCRIPTION	BY
4	4/18/08	REVISED PARCEL 2 LAYOUT	MRV
3	2/16/08	REVISED PARCEL 2 LAYOUT	MRV
2	2/13/08	PER CITY OF CHARLOTTE COMMENTS	MRV
1	12/16/07	PER CITY OF CHARLOTTE COMMENTS	MRV

**SCHEMATIC SITE PLAN**

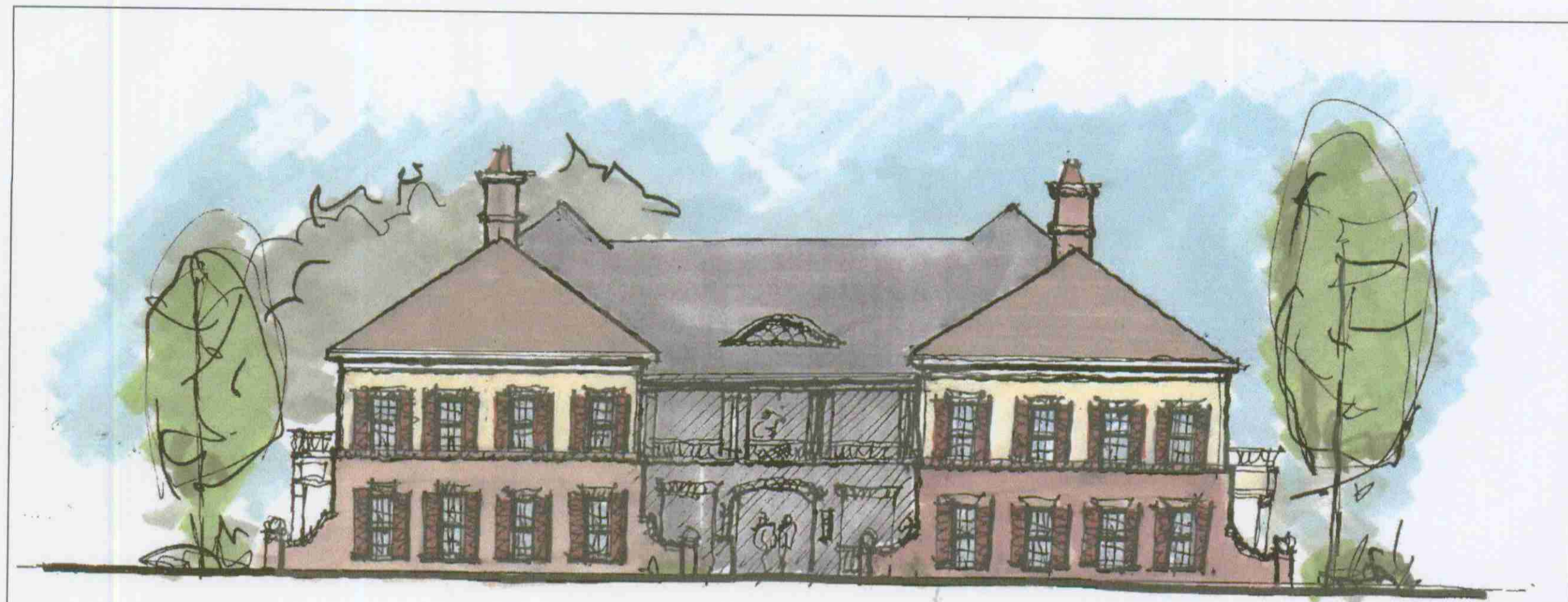
**ROCKY RIVER**  
 CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC  
 FOR: ROCKY RIVER ROAD ASSOCIATES, LLC.  
 DATED: 7/26/07  
 SCALE: 1" = 200'

**FOR PUBLIC HEARING**  
**REZONING PETITION #2008-14**

**YARBROUGH-WILLIAMS & HOULE, INC.**  
 Planning & Surveying & Engineering  
 750 Windsor Oak Court (2227) P.O. Box 7007 (28241)  
 Charlotte, North Carolina  
 704.556.1990 704.556.0506(fax)



FRONT ELEVATION  
16 UNIT BLDG  
ALT. A.



FRONT ELEVATION  
3 UNIT BLDG



FRONT ELEVATION  
16 UNIT BLDG  
ALT. B



SIDE ELEVATION  
3 or 16 UNIT BLDG



REAR ELEVATION  
3 UNIT BLDG

Rocky River  
8.31.08



TYP. 3 STORY BUILDING

NO.	DATE	DESCRIPTION	BY

**YWBH**  
YARBROUGH-WILLIAMS & HOULE, INC.  
Planning • Surveying • Engineering  
700 Windsor Oak Court (28270) P.O. Box 7007 (28241)  
Charlotte, North Carolina  
704.556.1900 704.556.0500 (fax)

**BUILDING ELEVATIONS**

ROCKY RIVER  
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC  
FOR: ROCKY RIVER ROAD ASSOCIATES, LLC.  
DATED: 7/26/07

FOR PUBLIC HEARING  
REZONING PETITION #2008-14

# DEVELOPMENT STANDARDS

## 1. GENERAL PROVISIONS

Unless more stringent standards are established by the Rezoning Plan or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the O-2, R-12MF and R-8MF zoning districts shall be followed in connection with development taking place on this approximately 72.41 acre site located on the northeasterly quadrant of the interchange at Interstate 485 and Rocky River Road (the "Site"), which Site is more particularly depicted on the Technical Data Sheet.

The Technical Data Sheet is accompanied by two conceptual site plans for development within the Site, referred to in these Development Standards as the "Schematic Site Plans." Detailed site planning and building design for the Site has not been finalized. The development depicted on the Schematic Site Plans is schematic in nature, and except as otherwise specified in these Development Standards, is intended only to describe the possible arrangements of uses and building elements and the schematic depictions of the uses, structures and building elements set forth on the Schematic Site Plans should be reviewed in conjunction with the provisions of these Development Standards. Consequently, except as otherwise expressly specified on the Technical Data Sheet and in these Development Standards, the ultimate layout of the development proposed, the exact alignments of streets, points of access, the numbers, the size, configuration and placements of buildings, the size, configuration and placements of parking areas, and the heights and masses of buildings have not been finally determined, and depictions of such elements on the Schematic Site Plans and schematic building elevations are not intended to be specific site development plans but rather preliminary graphic representations of the types and quality of development proposed. They may, therefore, be altered or modified during design development and construction document phases within the maximum building/ parking envelope lines established on the Technical Data Sheet and subject to the accompanying Development Standards and Section 6.206 (2) of the Ordinance. As described in Section 3.1 below, the Site shall be viewed as a unified development plan in accordance with the provisions set forth therein.

## 2. PERMITTED USES AND BUILDING AREA RESTRICTIONS

- 2.1 This proposal is intended to accommodate the development of office and residential uses which will be interconnected with open space, pedestrian and vehicular linkages.
  - 2.2 Parcel One as generally depicted on the Technical Data Sheet may be devoted to the following uses:
    - (a) Up to 322 for sale residential units, and
    - (b) Associated parking spaces and accessory uses as permitted under the Ordinance.
  - 2.3 Parcel Two as generally depicted on the Technical Data Sheet may be devoted to the following uses:
    - (a) Up to 324 multi family residential units, and
    - (b) Associated parking spaces and accessory uses as permitted under the Ordinance.
- Note: The units within Parcel Two may include studios, one bedroom, two bedroom and three bedroom units. However, in no event will more than nine percent of the units include three bedrooms.
- 2.4 Parcel Three as generally depicted on the Technical Data Sheet may be devoted to the following uses:
    - (a) Up to 30,000 square feet of gross floor area of office uses, and
    - (b) Associated parking spaces and accessory uses as permitted under the Ordinance.

For purposes of the development limitations set forth in this Paragraph 2.4, the term "gross floor area" shall mean and refer to the sum of the gross horizontal areas of each floor of a principal building, and any accessory buildings or structures on the site, measured from the outside of the exterior walls or from the center line of party walls; provided, however, such term shall exclude mezzanine space, any surface parking facilities or related access areas and areas used for building and equipment areas (such as stairs, elevator shafts and maintenance crawl spaces), and provided, further, that areas devoted to outdoor dining shall not be included in the calculation of gross floor area.

In the event a financial institution(s) is located on Parcel Three, it may include drive-in service lanes/windows as an accessory use in accordance with the requirements of Section 12.413 of the Ordinance.

## 3. SETBACK, SIDE YARDS AND REAR YARDS

- 3.1 All buildings and parking areas constructed on the Site will satisfy or exceed the setback, side yard and rear yard requirements established under the Ordinance for the zoning district in which they are more particularly depicted on the Technical Data Sheet, provided, however, that all buildings and parking areas shall be placed a minimum of 50 feet back from the right-of-way associated with I-485. The development depicted on the Technical Data Sheet shall be viewed as a unified development plan. Therefore, interior yards will not be required between buildings located on the Site. The Petitioner reserve the right to subdivide the Site and to create separate lots within the interior of the development with no public street frontage or side and/or rear yards as part of a unified development plan.
- 3.2 The 50 foot landscape strip along I-485 shall meet or exceed the standards of Section 12.307 of the Ordinance and will include a minimum of 6 trees and 30 shrubs per each 100 linear feet of frontage. Existing trees within this landscape strip will be preserved and shall count toward this landscape requirement.
- 3.3 The setback areas extending around the perimeter of the Site are to remain as open space and, except to the extent necessary to accommodate pedestrian pathways, walls, berms, fences, grading, signs, graphics or utility construction and, where indicated, vehicular access, will be restricted from future development. No buildings or parking lots or storm water detention basin (actual water surface area) may be placed within any setback as required by the Ordinance.

## 4. SCREENING AND LANDSCAPING

- 4.1 Screening will conform to the applicable standards of Section 12.303 of the Ordinance.
- 4.2 Landscaping shall meet or exceed the requirements of the Ordinance and the City of Charlotte Tree Ordinance.
- 4.3 Dumpster areas will be enclosed by a brick wall with one side being a decorative wooden gate. If one or more sides of a dumpster area adjoin a side or rear wall of a building, then the side or rear wall may be substituted for a side.
- 4.4 A minimum of 17.5 % of the Site will be devoted to a combination of tree save areas and/or areas to be newly landscaped with trees. Of that total Site percentage, a minimum of 8.39% will be devoted to tree save areas.
- 4.5 The two access points into the Site from Plaza Road Extension will include a tiered landscape treatment including large maturing trees, small ornamental trees, low-lying shrubs, and ground covers.

## 5. PARKING

- 5.1 Off street parking will meet or exceed the minimum standards established under the Ordinance and will not be allowed within the required setbacks.
- 5.2 Bicycle parking shall be provided in accordance with the Ordinance.
- 5.3 Garages shall comply with Section 12.206(3) of the Ordinance.

## 6. LIGHTING

- 6.1 Freestanding lighting fixtures shall not exceed 20 feet in height and shall be fully capped and shielded.
- 6.2 Pedestrian scale lighting will be installed along the internal public and private streets within the Site. Such lighting will be uniform in design, fully shielded, made of aluminum and coated in order to provide a wrought iron type appearance. The lighting fixtures will be located an average of 100 feet on center along streets within the Site.
- 6.3 No cobra style lighting fixtures may be used on the Site.
- 6.4 No wall "pak" type lighting will be allowed facing public streets. Any wall "pak" type lighting will be downwardly directed. Decorative wall lighting is permitted.

## 7. SIGNS

- 7.1 All signs placed on the Site will be erected in accordance with the requirements of the Ordinance and all detached signs shall not exceed 10 feet in height.
- 7.2 No pylon type detached signs shall be permitted. Detached signage may be located within building setbacks and other locations throughout the Site in accordance with the Ordinance.

## 8. SIDEWALK

Interior sidewalks shall be installed in accordance with the Ordinance. Sidewalks may be installed in phases along with the development of parcels at the time such parcels are developed.

## 9. STORM WATER MANAGEMENT

- 9.1 Storm water runoff will be managed through proven techniques which satisfy the standards imposed by the City of Charlotte Ordinances and the Charlotte Mecklenburg Storm Water Design Manual. Surface level storm water detention, if provided, shall not be located in the setback required by the ordinance.
- 9.2 The detention shall tie-in to the existing abutting storm water system(s). The Petitioner shall have the receiving drainage system abutting the Site analyzed to ensure that it will not be taken out of standard due to this development. If it is found that the development will cause the receiving storm drainage system to be taken out of standard, the Petitioner shall provide adequate detention to prevent this from occurring. Should the existing, receiving drainage system be deemed to be out of standard prior to development of its Site, the Petitioner agrees to provide adequate detention to ensure that the system will not be additionally overburdened.
- 9.3 Storm water and peak control will be as follows:
  - (a) For projects with defined watersheds greater than 24% built-upon area, control the entire volume for the 1-year, 24-hour storm. Runoff volume drawdown time shall be a minimum of 24 hours, but not more than 120 hours.
  - (b) For residential projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-year and 25-year, 6-hour storms or perform a downstream analysis to determine whether peak control is needed, and if so, for what level of storm frequency. "Residential" shall be defined as "A development containing dwelling units with open yards on at least two sides where land is sold with each dwelling unit."
  - (c) For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-yr, 6-hr storm and perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency, or if a downstream analysis is not performed, control the peak for the 10-yr and 25-yr, 6-hour storms. For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control the peak to match the predevelopment runoff rates for the 2 and 10-yr, 6-hr storm.
- 9.4 The Petitioner will construct water quality best management practices (BMP's) for the entire post development runoff volume for the runoff generated from the first 1-inch of rainfall. BMP's will be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources Best Management Practices Manual, April 1999, that have been designed to achieve 85% Total Suspended Solids (TSS) removal. Use of Low Impact Development techniques is optional.

## 10. VEHICULAR ACCESS AND ROADWAYS; TRANSPORTATION COMMITMENTS

- 10.1 Vehicular access to the Site shall be as generally depicted on the Technical Data Sheet.
- 10.2 The placements and configurations of these access points are subject to any modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation.
- 10.3 Development of the Site will be phased based upon the construction of the following roadway improvements:
  - (a) That portion of Plaza Road Extension extending from Rocky River Road to the intersection of Plaza Road Extension and Proposed Public Street A will be constructed as a minor thoroughfare prior to the issuance of certificates of occupancy (or final plats, as applicable) for development located on Parcel 2 or Parcel 3 of the Site. That portion of Plaza Road Extension extending from the intersection of Plaza Road Extension and Proposed Public Street A to the point noted on the Technical Data Sheet as "limits of construction" will be constructed as a minor thoroughfare prior to the approval of certificates of occupancy (or final plats, as applicable) for development located on Parcel 1-B of the Site.
  - (b) Public Street A will be constructed to residential collector street standards prior to the issuance of certificates of occupancy (or final plats, as applicable) for uses permitted within Parcel 1-B or Parcel 2.
  - (c) Public Street B will be constructed to residential collector street standards prior to the issuance of certificates of occupancy (or final plats, as applicable) for uses permitted within Parcel 1-A.
  - (d) The following improvements will be made to the intersection of Rocky River Road and Plaza Road Extension prior to the issuance of certificates of occupancy for any development taking place on the Site:
    - Restripe the existing northbound right turn lane on Plaza Road Extension to a through lane,
    - Construct an exclusive northbound right turn lane on Plaza Road Extension commencing at the northernmost driveway of the existing shopping center located on the southeast quadrant of the intersection (approximately 200 feet of storage),
    - Construct an exclusive westbound right turn lane on Rocky River Road with 150 feet of storage and a 100 foot bay taper,
    - Construct the north leg of the intersection with one entering lane and three exit lanes: a separate southbound left turn lane with 150 feet of storage, a southbound through lane, and a southbound right turn lane with 150 feet of storage and
    - Modify the traffic signal timings to include this new leg of the intersection.
  - (e) Prior to the completion of the currently planned improvement of the intersection of Rocky River Road and Back Creek Church Road (by others) and the approval of such intersection improvement by the City, development on the Site will be limited such that its traffic generation does not exceed that which could be generated under R-3 zoning. In the event the planned improvements are not completed or under construction at the time of development of the remainder of the Site, the subdivision plans for the remaining development will include installation of the southbound left turn lane on Back Creek Church at Rocky River Road.
- 10.4 Vehicular access to Parcel 3 will be provided through the adjacent property to the east rather than through Parcel 2.
- 10.5 Notwithstanding the foregoing, the designs of the public streets described above may be adjusted or narrowed during the subdivision process to a lesser standard acceptable to the Petitioner and CDOT as may be set forth in the City of Charlotte Urban Street Design Guidelines.
- 10.6 If this Rezoning Petition is approved, the Petitioner commits to dedicate and convey (by quitclaim deed) to CDOT the rights-of-way associated with Public Street A and Public Street B within sixty (60) days of completion of the improvements associated with such streets.
- 10.7 The internal private streets within the development will not be barricaded.

## 11. ARCHITECTURAL TREATMENT

- 11.1 The following architectural treatments shall apply to buildings located on the Site:
  - (a) Buildings on the Site will feature four-sided architecture.
  - (b) The portions of the building exteriors located below the roof line (excluding areas devoted to windows, doors, garage doors, architectural accents and signage) shall be composed of a combination of brick, stone and similar masonry products, and hardi-plank/fiber cement board. Notwithstanding the foregoing, vinyl and/or wood may be utilized on the soffits and trim areas of the buildings and on any railings. Except as provided above, vinyl shall not be a permitted exterior building material.
  - (c) Dormers, pitched roofs, architectural fenestrations and accents shall be incorporated into the building design.
  - (d) Doors and/or windows shall be located at least every 20 feet on every side of the building in order to avoid blank walls.
- 11.2 The following additional architectural treatments shall apply to residential buildings located within Parcel Two and the attached elevations reflect the general design concept for these buildings:
  - (a) A minimum of 10% of the units will have access to a garage that may be either connected to a principal building or located within a detached building,
  - (b) Main roofs will have a minimum slope of 6:12,
  - (c) Windows will be at least five feet in width,
  - (d) Soffits will be at least one foot,
  - (e) Fascia will be at least 1 foot x 8 feet,
  - (f) Frieze board will be placed at all soffits,
  - (g) Ceilings will be at least nine feet,
  - (h) Main roofs will include 25 year fiberglass roof shingle,
  - (i) Window and door head and jamb trim will be at least 1 foot by 3 feet,
  - (j) Landscaped courtyards will be provided on the two story buildings next to proposed roadways.
  - (k) Buildings will include window trims and hinged patio doors.
  - (l) The clubhouse and the two story buildings which are visible from the future proposed roadways will be constructed with a minimum 70 percent brick facade.
  - (m) The three story buildings will be constructed with a minimum 20 percent brick facade.
  - (n) All chimneys will be brick in appearance.
  - (o) Brick coloration will be generally consistent with local neighborhood examples.
  - (p) The paint schemes on all four sides of all buildings will be conceptually similar to that depicted on the attached elevations.

## 12. STREETScape TREATMENTS

- 12.1 Plaza Road Extension will include 8 foot planting strips and 5 foot sidewalk along the westerly side of Plaza Road Extension immediately abutting the Site.
- 12.2 The streetscape treatment along Public Street A and Public Street B will include 8 foot planting strips and 5 foot sidewalks. Tree plantings along the public streets will conform to the Tree Ordinance.
- 12.3 The streetscape treatment along the internal private streets will include 6 foot planting strips and 5 foot sidewalks. Large maturing trees spaced an average of forty feet on center will be installed along the internal private streets.

## 13. SITE AMENITIES

Amenities provided within the Site will include a resident fitness and business center, a resident clubhouse and a pool. The Site amenities will be constructed prior to the issuance of final plats for more than 300 dwelling units.

## 14. PUBLIC UTILITY SERVICE

The Site will be served by either the Charlotte Mecklenburg Utilities District (CMUD) and/or the Water and Sewer Authority of Cabarrus County (WSACC).

## 15. AMENDMENTS TO REZONING PLAN

Future amendments to the Technical Data Sheet and these Development Standards may be applied for by the then owner or owners of the applicable parcel or parcels affected by such amendment in accordance with Section 6 of the Ordinance.

## 16. BINDING EFFECT

- 16.1 If this Rezoning Petition is approved, the development program established under these Development Standards and the Technical Data Sheet shall, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and the owners (from time to time) and their respective heirs, devisees, personal representatives, successors in interest and assigns.
- 16.2 Throughout this Rezoning Petition, the terms "Petitioner", "Owner" or "Owners," shall, with respect to each parcel within the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the Site who may be involved in its development from time to time.

NO.	DATE	DESCRIPTION	BY
5	4/23/08	PER CITY OF CHARLOTTE COMMENTS	MRV
4	4/18/08	PER CITY OF CHARLOTTE COMMENTS	MRV
3	2/18/08	PER CITY OF CHARLOTTE COMMENTS	MRV
2	2/13/08	PER CITY OF CHARLOTTE COMMENTS	MRV
1	12/18/07	PER CITY OF CHARLOTTE COMMENTS	MRV

# DEVELOPMENT STANDARDS

**ROCKY RIVER**  
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC  
FOR: ROCKY RIVER ROAD ASSOCIATES, LLC.  
DATED: 7/26/07

**FOR PUBLIC HEARING**  
**REZONING PETITION #2008-14**

