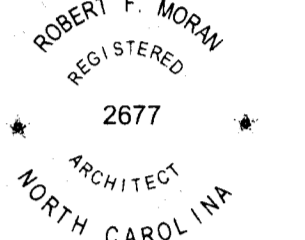


Industries of the Southern Piedmont



CERT NO. 51032
NORTH CAROLINA
Charlotte, N.C.



| No. | Revisions | Date |
|-----|-----------|------|
| | | |

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 7/18/2011 SE
BY: DEBRA D. CAMPBELL

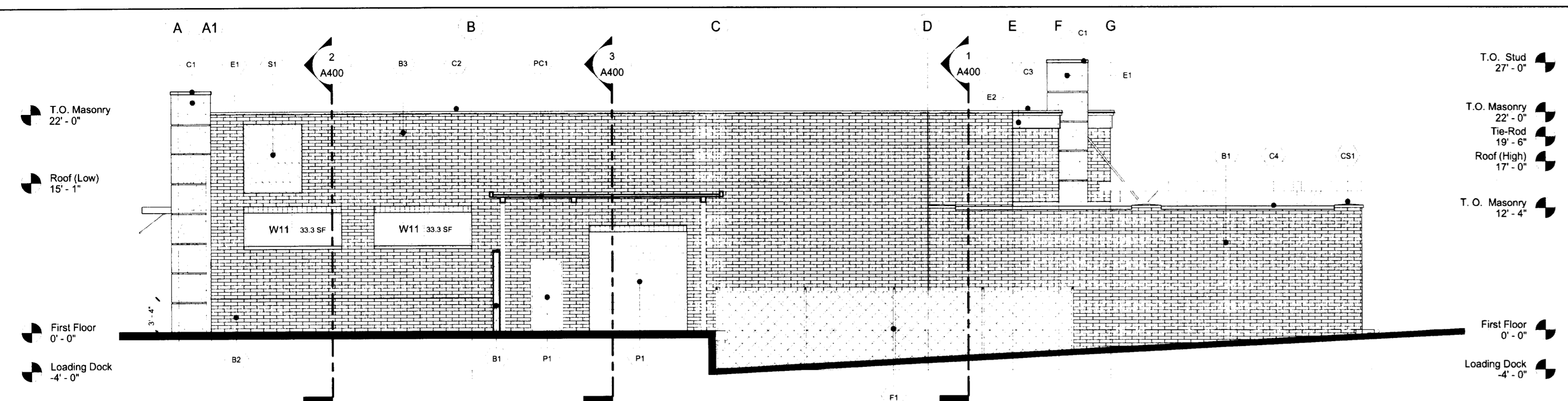
GOODWILL RETAIL STORE

CAPSTONE COMMONS
SHOPPING CENTER
CHARLOTTE, NC

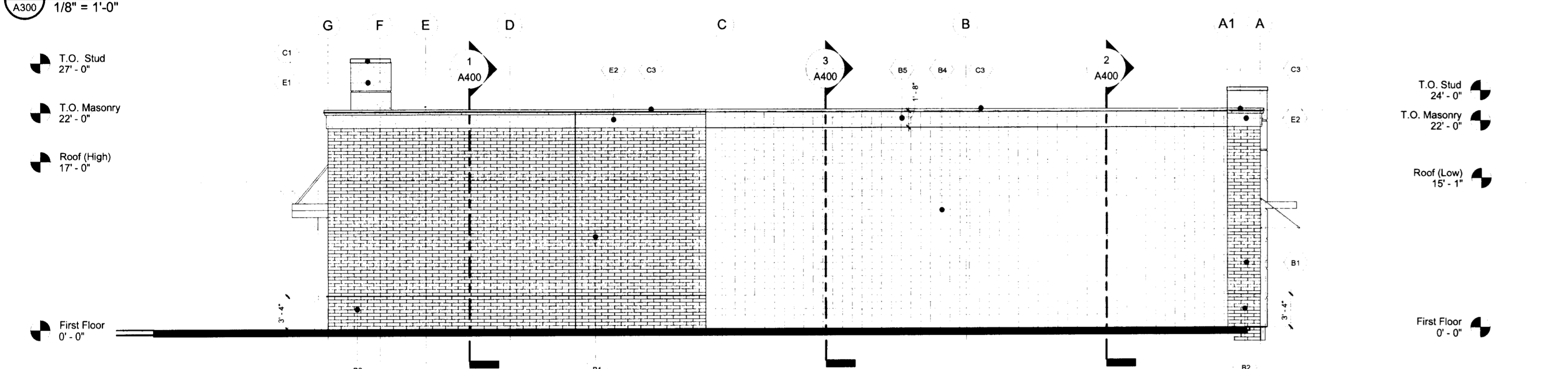
Project Number: 10015
Issued for: FOR CONSTRUCTION
Issue Date: 6/20/2011

DRAWING TITLE
**EXTERIOR
ELEVATIONS**

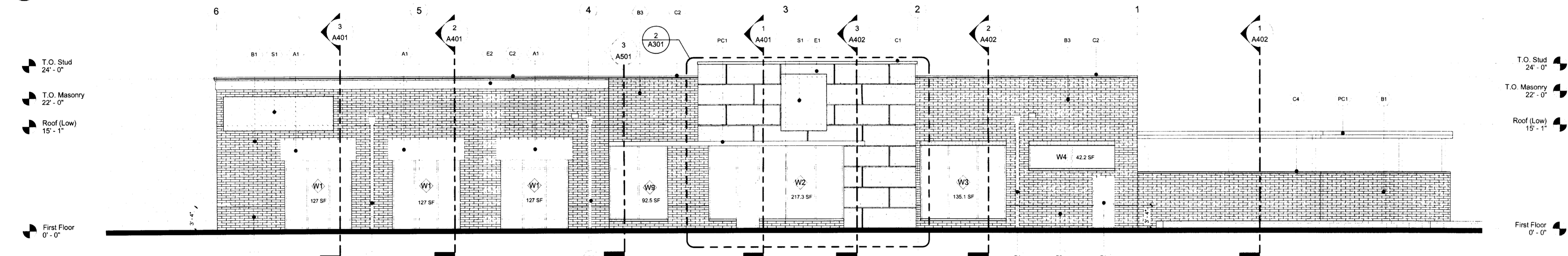
SHEET NUMBER
A300



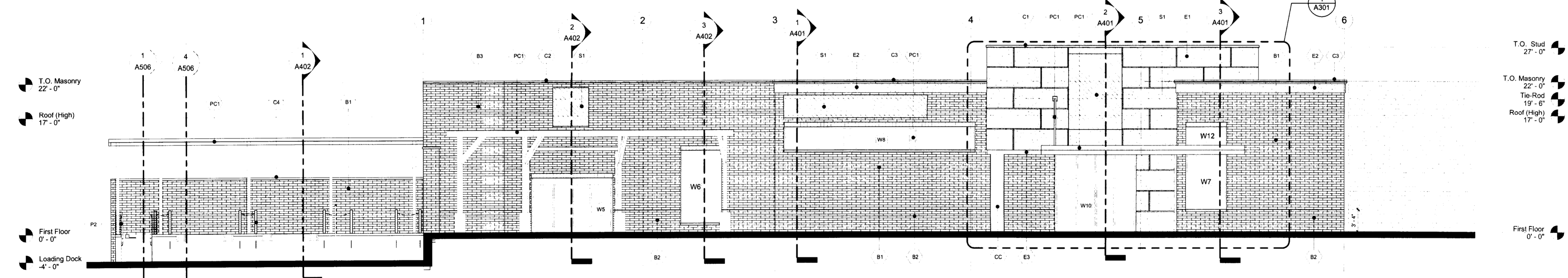
4 WEST ELEVATION - LOADING DOCK
A300 1/8" = 1'-0"



3 EAST ELEVATION
A300 1/8" = 1'-0"



2 NORTH ELEVATION - HIGHWAY 521
A300 1/8" = 1'-0"



1 SOUTH ELEVATION - MAIN ENTRY
A300 1/8" = 1'-0"

| TAG | ITEM | COLOR |
|-----|-----------------------------------|--|
| A1 | FABRIC AWNING | SUNBRELLA "BLACK" |
| B1 | QUICK-BRICK | WAKEFIELD (W/GZ GROUT) |
| B2 | QUICK-BRICK | MOROUS BLEND (W/GZ GROUT) (UP TO 3'-4" AFF) |
| B3 | QUICK-BRICK | EARTHTONE BLEND (W/GZ GROUT) |
| B4 | SMOOTH-FACED CMU | ELASTOMERIC WATERPROOF PAINT TO MATCH B1 |
| B5 | SMOOTH-FACED CMU | ELASTOMERIC WATERPROOF PAINT TO MATCH B1 |
| C1 | PREFINISHED MTL COPING | TO MATCH E1 |
| C2 | PREFINISHED MTL COPING | TO MATCH E2 |
| C3 | PREFINISHED MTL COPING | TO MATCH E3 |
| C4 | PREFINISHED MTL COPING | TO MATCH E1 |
| CA1 | COLUMN COVER | GOODWILL REFLECT BLUE BY KCI DULUX 1403500V ACCENT - 1403140V DULUX ULTRA GALLON BLEK SF 10.4MS 17.8 TB 11.9 "L" W/1" P.12 ULTRA EGGSHELL, INTERIOR ACRYLIC WALL/TRIM ENAMEL |
| CS1 | CAST STONE | LUCAS "LIMESTONE" |
| D1 | DOWNSPOUT & SCUPPER | KCI CLASSIC IVORY A20Y 57178 |
| D2 | DOWNSPOUT & SCUPPER | KCI DEEP SPICE K39YR 11342 |
| E1 | E.F.F.S. | DRYVIT #113 |
| E2 | E.F.F.S. | DRYVIT #C8072365 |
| E3 | E.F.F.S. | DRYVIT #121 - MOUNTAIN FOG |
| F1 | FENCE | HEAVY DUTY SOLID FABRIC PRIVACY SCREEN ATTACHED TO W/WHY COATED CHAIN LINK FENCING AND GATE. POWDER COATED POSTS TO MATCH W/WHY FENCE. |
| G1 | GROUT | HOLCIM - SHELBY TAN |
| G2 | GROUT | HOLCIM - FROSTY |
| P1 | PAINTED DOORS | KCI - WRIGHT STONE #10YV 30106 |
| P2 | PAINTED HANDRAILS, POSTS, & BOLL. | KCI MONTEREY CLIFFS #10YV 14360 |
| P3 | PRE-MANUF. CANOPY | TO MATCH CLEAR ANODIZED ALUMINUM STOREFRONTS |
| PC1 | BUILDING SIGNAGE | GC TO COORDINATE WITH SIGNAGE PACKAGE (BY OTHERS) |

- EXTERIOR ELEVATION NOTES**
- SEE GENERAL NOTES ON A600
 - REFER TO SHEET A710 FOR GLAZING TYPES
 - PROVIDE IMPACT RESISTANT EYES 48" ABOVE FINISH WALKING SURFACES, TYPICAL
 - IF W/WHY MANUFACTURED LOADING DOCK CANOPY SHALL CONSIDER OF RCOP, COLLARS, GUTTER, DOWNSPOUTS AND MATCH CLEAR ANODIZED FINISH
 - QUICK-BRICK SOLID BRICK COURSES SHALL BE 4" IN BLOCK WITH TRIPLE SCORE ON OUTSIDE FACE ONLY. INSIDE FACE SHALL BE 4" IN BLOCK WITH SMOOTH FACE. COLOR TO MATCH ADJACENT QUICK-BRICK. (SEE SECTION DETAILS)
 - QUICK-BRICK SILLS SHALL BE 4" BLOCK W/ BEVELED EDGE. COLOR TO MATCH ADJACENT QUICK-BRICK. (SEE SECTION DETAILS)
 - SIGNAGE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. TREATMENT SHALL SUBMIT FOR SIGNAGE PERMITS UNDER SEPARATE PACKAGE. GC TO COORDINATE WITH THIS PACKAGE.
 - SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION

WINDOW CALCULATIONS

HIGHWAY 521 ELEVATION = 3,088 SF
GLAZING REQUIREMENT = 30%

GLAZING REQUIRED = 926.4 SF

GLAZING TO BE CONSIDERED TOWARDS REQUIREMENT

| ELEVATION | AREA | GLAZING |
|---|----------------|----------|
| W1 | 2 X 127 SF = | 254 SF |
| W2 | 1 X 82.5 SF = | 82.5 SF |
| W3 | 1 X 217.3 SF = | 217.3 SF |
| W4 | 1 X 42.2 SF = | 42.2 SF |
| ELEVATION 4A, 300 | | |
| W11 | 2 X 33.3 SF = | 66.6 SF |
| TOTAL GLAZING TO BE CONSIDERED: 938.8 SF | | |

ZONING NOTE: EXTERIOR MASONRY COLORS SHALL COMPLEMENT THOSE OF "HUNTERS COMMONS"

This document is the property of DMR Architecture, PLLC and is not to be reproduced or copied in whole or in part. It is not to be used on any other project and is to be returned upon request. Copyright 2011 DMR Architecture, PLLC
7/13/2011 11:08:00 AM



Charlotte-Mecklenburg Planning Department

DATE: July 18, 2011

TO: Mark Fowler
Zoning Supervisor


FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 2008-093 Mecklenburg Land Development, LLC

Attached is a revised site plan for the above referenced rezoning petition. The site plan is showing the proposed elevations for a Goodwill store. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these elevations when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance and conditional requirements still apply.


ATTACHED TO ADMINISTRATIVE
APPROVAL

DATED: 3-5-2012 \$F 

BY: DEBRA D. CAMPBELL



ATTACHED TO ADMINISTRATIVE
APPROVAL

DATED: 3-5-12 \$F 

BY: DEBRA D. CAMPBELL




Charlotte-Mecklenburg Planning Department

DATE: March 05, 2012

TO: Mark Fowler
Zoning Supervisor

FROM: Debra Campbell
Planning Director

\$F 

SUBJECT: Administrative Approval for Petition No.
2008-093 Mecklenburg Land Development, LLC

Attached is a revised site plan for the above referenced rezoning petition. The site plan is showing the proposed elevations for the commercial buildings. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these elevations when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance and conditional requirements still apply.

ELEVATION NOTES

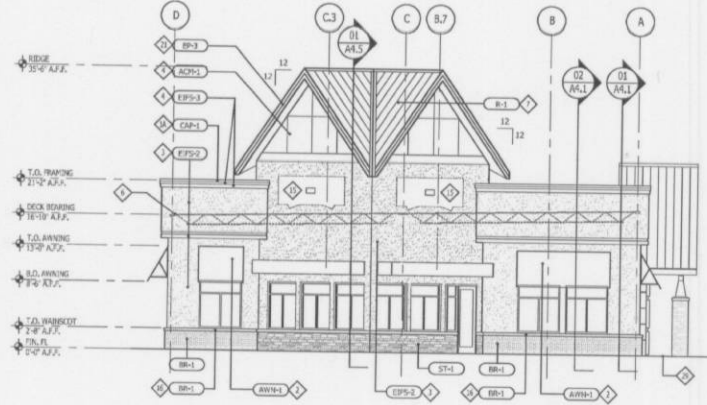
1. DOWNSPOUT ROOFS AND EXPOSED PORTIONS OF UNDERGROUND STORM WATER PIPE SHALL BE PAINTED TO MATCH DOWNSPOUTS.
2. SEE DOOR AND WINDOW SCHEDULES, SHEET A2.2, FOR ADDITIONAL INFORMATION.
3. PAINT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.
4. E.I.F.S. COLORS ARE INTEGRAL IN THE FINISH AND SHALL NOT BE A PAINTED FINISH.
5. INTERNALLY ILLUMINATED WALL SIGNS TO BE PERMITTED BY SIGNAGE VENDOR PER LOCAL ZONING REQUIREMENTS. CONTRACTOR TO PROVIDE POWER TO SIGN.
6. SIGNS ARE NOT APPROVED WITH THE SCOPE OF THIS BUILDING PERMIT. A SEPARATE SIGN LOCATION PERMIT IS REQUIRED FOR EACH SIGN.

KEYED NOTES

- ♦ CAP FLASHING, FACTORY PRINTED COLOR MATCH EP-6
- ♦ CAP FLASHING, FACTORY PRINTED COLOR MATCH EP-3
- ♦ AIRWING - SEE FINISH SCHEDULE FOR DETAILS
- ♦ E.I.F.S. WITH SAND FLOT TEXTURED - PROVIDE FLUID APPLIED WATER BARRIER ON EXTERIOR PLYWOOD - E.I.F.S. 350 - 3/8" LBS. IMPACT FRESH FROM T.O. 50-60 TO 81-97" INCLUDING AROUND ALL CORNICES (L.O.D.)
- ♦ E.I.F.S. SHAPED TRIM SEE SECTION FOR TRIM SIZES
- ♦ PAINT TO MATCH ADJACENT FINISH
- ♦ LINE OF ROOF DECK BEYOND - REFER TO STRUCTURAL DRAWINGS
- ♦ STANDING SEAM METAL ROOF
- ♦ 3/4" "V" GROOVE REVEAL TYPICAL FOR ALL JOINTS SHOWN
- ♦ ALUMINUM STOREFRONT, SEE SHEET A2.2 FOR ELEVATIONS
- ♦ E.I.F.S. REVEAL
- ♦ STEEL COLUMN OR BEAM
- ♦ SIGNAGE, VERIFY WITH OWNER FOR EXACT SIZE, ALL SIGNAGE UNDER SEPARATE PERMIT LOCATION, SIZE & TYPE OF SIGN WHERE IT OCCURS TO BE COORDINATED WITH SIGN CONTRACTOR
- ♦ BRICK ROWLOCK SILL
- ♦ DRY PACK AND RUBBED CONCRETE FOUNDATION - PAINT TO MATCH MATERIAL ABOVE
- ♦ KICK BOX LOCATION NEXT TO MAIN ENTRANCE, VERIFY WITH LOCAL FIRE INSPECTOR
- ♦ ROOF DRAIN, CONNECT TO STORM DRAIN SYSTEM OR DAYLIGHT AS REQUIRED - COORDINATE WITH SITE REQUIREMENTS
- ♦ OVERFLOW SCUPPER
- ♦ FASCIA / WOOD TRIM
- ♦ STOREFRONT DOOR/WINDOW WITH CLEAR GLASS - GLAZING TO RECEIVE OPAQUE GRAPHIC FILM BY TENANT
- ♦ 4" WIDE X 1" REVEAL
- ♦ PROVIDE METAL SBID STOP CLOSURE @ REVEAL & CAN (BOTH SIDES OF SIGN)
- ♦ GRADE SHOWN HERE IS LEVEL - ACTUAL SITE CONDITIONS WILL VARY BELOW THIS LINE - SEE SITE PLAN FOR ACTUAL GRADES
- ♦ GALVANIZED PLASTER REVEAL, RYFE # DCS-423-600, PAINTED
- ♦ E.I.F.S. SHAPED PLASTER

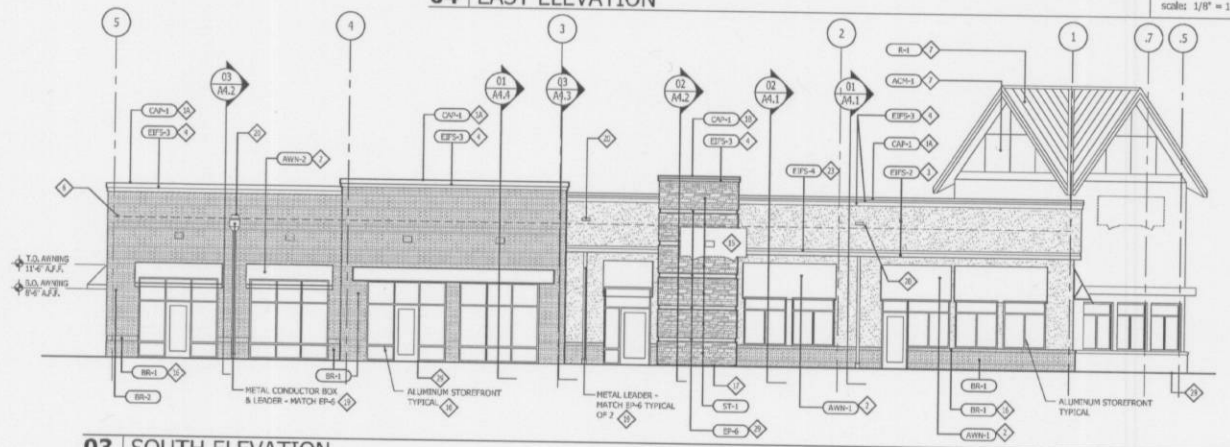
EXTERIOR FINISH SCHEDULE

| KEY | DESCRIPTION | COLOR |
|-------|---------------------------------|--|
| ST-1 | STOREFRONT WINDOW SYSTEM | LAMINATE - SEE STOREFRONT ELEVATIONS FOR COLOR |
| BT-1 | TAYLOR BRICK | MODULAR "TAYLOR BLEND" #372 |
| BT-2 | TAYLOR BRICK | MODULAR "RED" #371 |
| ST-4 | STONE VENEER | CALABRO DIONE - "DIP-TONE" "OLDEN BUCKET" 3/8" x 8" - DIVERS CORING |
| EP-1 | EXTERIOR PAINT | GLIDDEN PRO - DEVICE HIGH PERF. COATINGS - HAMB "PHANTOM BLUE" SATN FINISH 7200 07208 |
| EP-2 | EXTERIOR PAINT | GLIDDEN PRO - DEVICE HIGH PERF. COATINGS - HAMB "CLASSIC LIBERTY RED" SATN FINISH 1078 07320 |
| EP-3 | EXTERIOR PAINT | GLIDDEN PRO - DEVICE HIGH PERF. COATINGS - HAMB "ONEMIN" PERL. SATN FINISH 1211 07317 |
| EP-4 | EXTERIOR PAINT | GLIDDEN PRO - DEVICE HIGH PERF. COATINGS - HAMB "TRUSSETT" PERL. SATN FINISH 1211 07317 |
| EP-5 | EXTERIOR PAINT | GLIDDEN PRO - DEVICE HIGH PERF. COATINGS - HAMB "BLENDED" PERL. SATN FINISH 1211 07317 |
| EP-6 | EXTERIOR PAINT | GLIDDEN PRO - DEVICE HIGH PERF. COATINGS - HAMB "BLENDED" PERL. SATN FINISH 1211 07317 |
| EP-7 | EXTERIOR PAINT | GLIDDEN PRO - DEVICE HIGH PERF. COATINGS - HAMB "BLENDED" PERL. SATN FINISH 1211 07317 |
| EPS-1 | DRYVT SYSTEM | MATCH # SHOP 021015 - STRATOTONE - (SANDGRABBLE FINISH) |
| EPS-2 | DRYVT SYSTEM | MATCH # SHOP 021015 - STRATOTONE - (SANDGRABBLE FINISH) |
| EPS-3 | DRYVT SYSTEM | MATCH # SHOP 021015 - STRATOTONE - (SANDGRABBLE FINISH) |
| EPS-4 | DRYVT SYSTEM | MATCH # SHOP 021015 - STRATOTONE - (SANDGRABBLE FINISH) |
| EPS-5 | DRYVT SYSTEM | MATCH # SHOP 021015 - STRATOTONE - (SANDGRABBLE FINISH) |
| EPS-6 | DRYVT SYSTEM | MATCH # SHOP 021015 - STRATOTONE - (SANDGRABBLE FINISH) |
| AC-1 | REFINISHED METAL PANEL | ALCOA METALCO SERIES 50 AMP COPPER PANE, COLORWELD 9002 |
| CP-1 | REFINISHED METAL COPIING | COLOR TO MATCH VENEER/BRICK AT EPS AND BRICK |
| AW-1 | FABRIC AIRWING ON RAILS, TUBING | SUNBELLA - FINEST #1000-800 BLACK PULVICLEAR HELL FINISH |
| AW-2 | FABRIC AIRWING ON RAILS, TUBING | SUNBELLA - FINEST #1000-800 BLACK PULVICLEAR HELL FINISH |
| BR-1 | BRICK ROWLOCK SILL | MILKLOD METAL ROWLOCK SILL WITH 500 PAINT EP-1 COLOR |
| CA-1 | REFINISHED METAL COPIING | KNALL 300 "SLIGHT" BRICK |



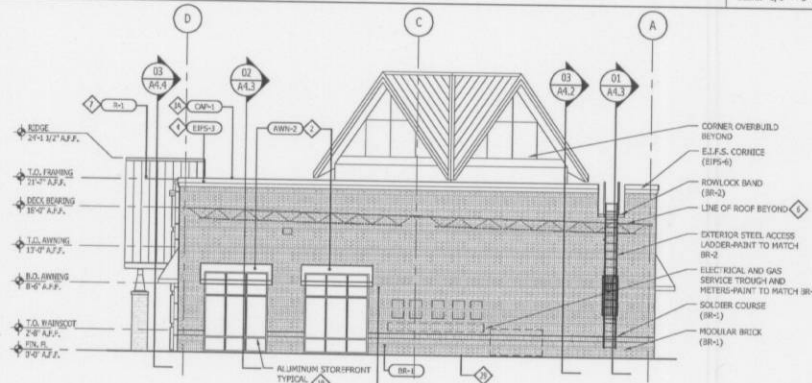
04 | EAST ELEVATION

scale: 1/8" = 1'-0"



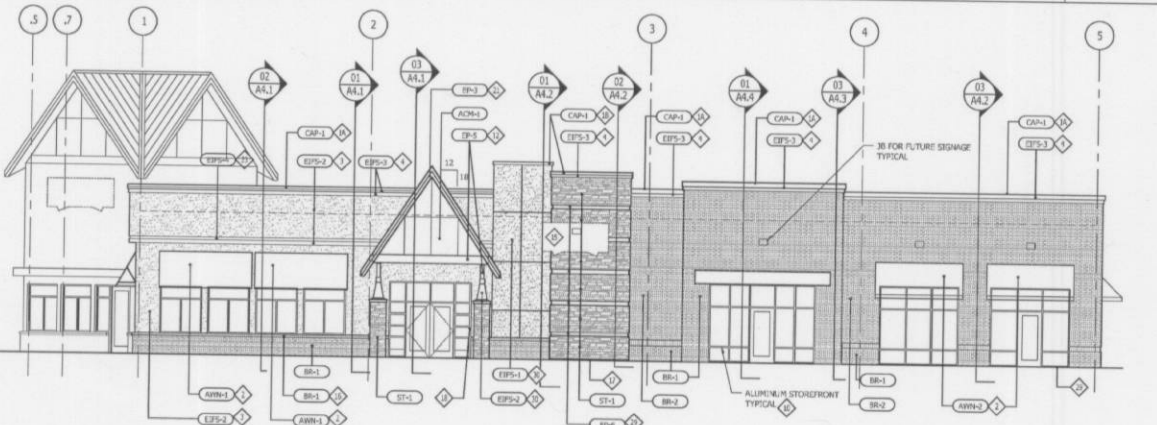
03 | SOUTH ELEVATION

scale: 1/8" = 1'-0"



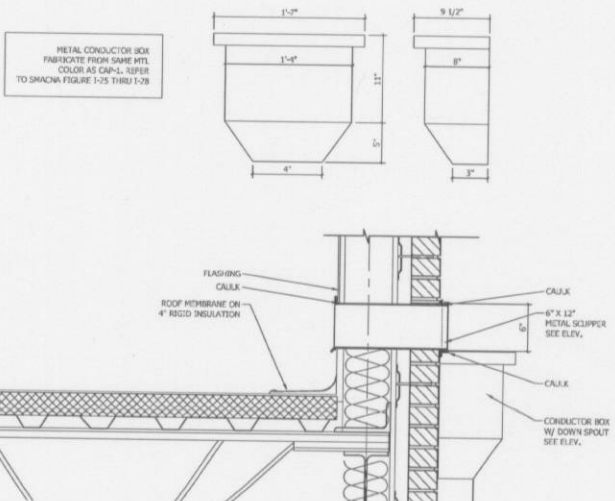
02 | WEST ELEVATION

scale: 1/8" = 1'-0"



01 | NORTH ELEVATION

scale: 1/8" = 1'-0"



05 | CONDUCTOR BOX & SCUPPER DETAIL

scale: 1 1/2" = 1'-0"

ODA
overcash demmitt

2010 south tryon st. suite 1a
charlotte north carolina 28203
office.704.332.1615
web.www.odarch.com

Mecklenburg
Land
Development

CAPSTONE
COMMONS

16025 Lancaster Highway
Matthews, NC

| ISSUED | MM/DD/YY |
|------------------|----------|
| FOR CONSTRUCTION | 02-09-12 |
| ... | ... |
| ... | ... |
| ... | ... |
| ... | ... |
| ... | ... |
| ... | ... |
| ... | ... |
| ... | ... |
| ... | ... |

**EXTERIOR
ELEVATIONS**

A2.1
Copyright 2012 Overcash Demmitt Architects
ODA No. 01156801 A2-1.dwg 01156801 A2-1.dwg