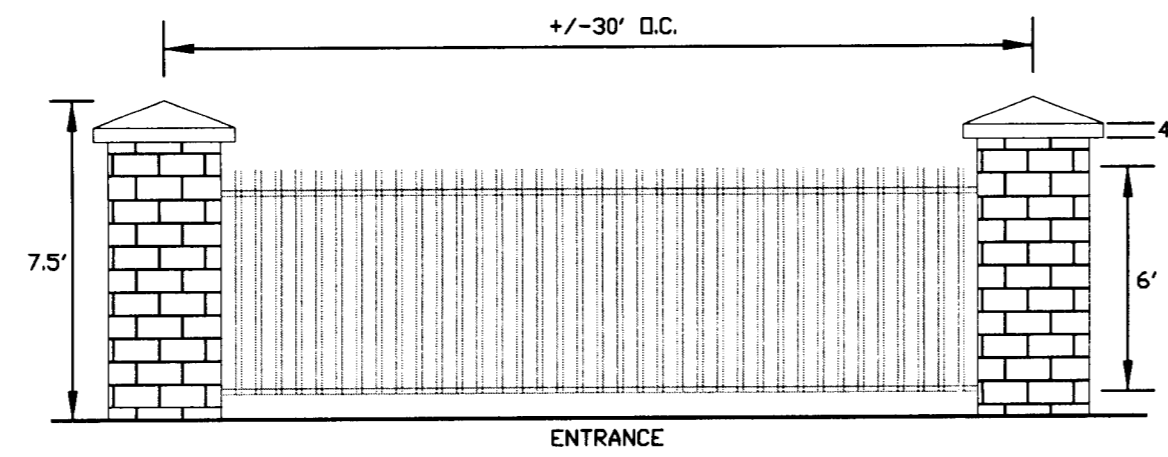
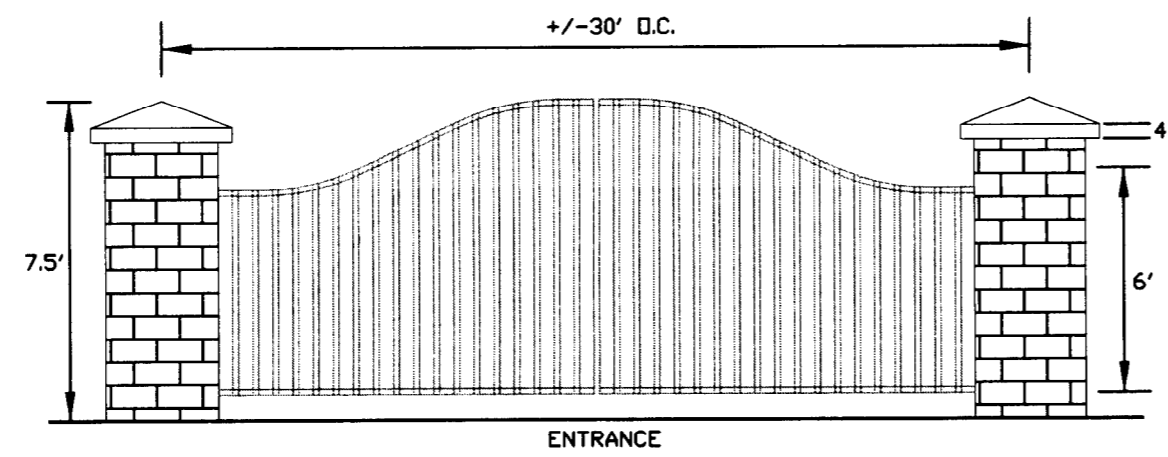


VICINITY MAP

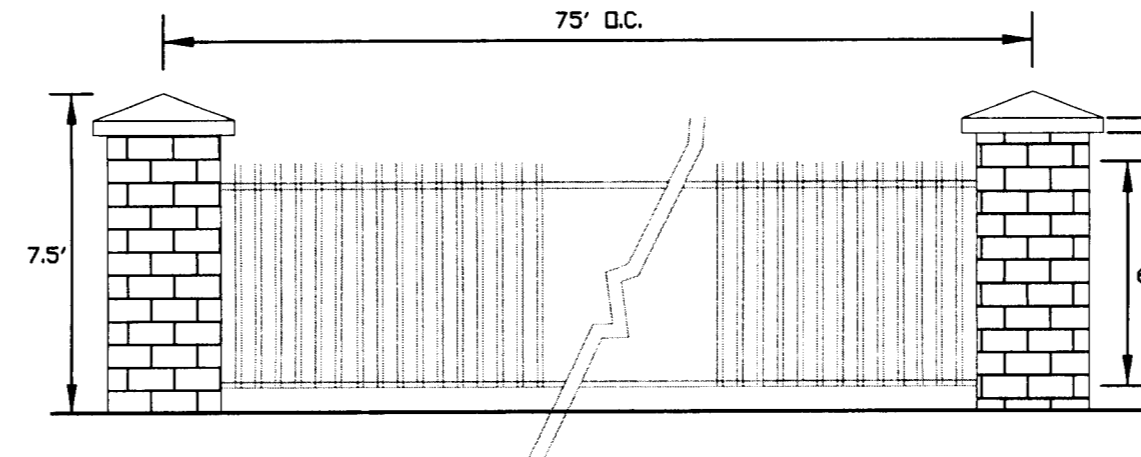
REAR GATE AND COLUMNS DETAIL AT PUBLIC ENTRANCE



FRONT GATE AND COLUMNS DETAIL AT PUBLIC ENTRANCE



FENCE AND COLUMNS DETAIL AT PUBLIC STREETS



DEVELOPMENT DATA
 TAX ID# 099-26-107
 TOTAL SITE ACREAGE = 4.61
 EXISTING ZONING = R-3 & B-2(CD)
 PROPOSED ZONING = MUDD-0
 PROPOSED USE: BED & BREAKFAST, WEDDING AND CONFERENCE CENTER

LEGEND:

- ➔ ACCESS POINT
- EXISTING TREES
- ⊗ PROPOSED TREES
- WROUGHT IRON FENCE
- BLACK VINYL CHAIN-LINK FENCE

CONDITIONAL NOTES

I. GENERAL COMMITMENT:

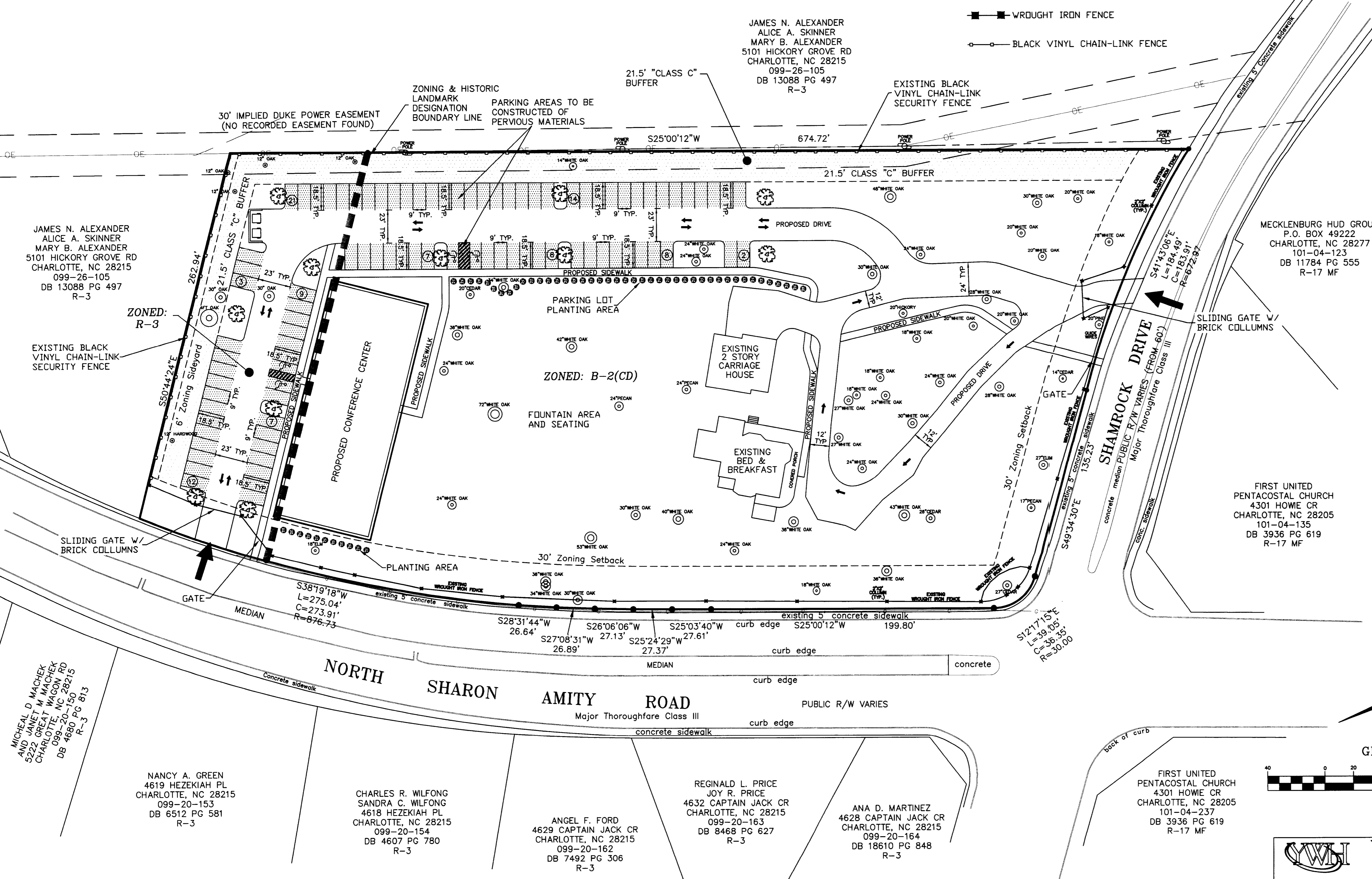
- A. Development of the real estate identified on this Technical Data Sheet, consisting of approximately 4.61 acres at the north west corner of Shamrock Drive and North Sharon Amity Drive, will be governed by the standards established under the zoning ordinance of the City of Charlotte (the "Ordinance") for the MUDD-0(CD) Zoning District unless more stringent standards are established by these Development Standards or this Technical Data Sheet.
- B. The configuration, placements, and sizes of the buildings and driveways shown on the Schematic Site Plan which accompanies this Technical Data Sheet are schematic and conceptual in nature and may be altered and/or modified based upon final design, development and construction documents and site and topographical constraints within the limitations established on this Technical Data Sheet and in accordance with Section 6.207 of the Ordinance.

II. VEHICULAR ACCESS POINTS/RIGHT-OF-WAY DEDICATION:

- The access points to/from the Site shall be limited to the ones shown on the Technical Data Sheet. The access points shall be right in/right out.
- The access points shall be located in the general area depicted on this Technical Data Sheet. Final location of the access points are subject to any modifications required to accommodate final site and construction plans/design, and site/topographic constraints.
- At the time that building permits are submitted for construction of the conference center, applications for commercial driveway permits will be submitted.
- Per signed agreement between CDOT and the Naysmiths, CDOT has reserved the right to evaluate the Shamrock Drive median related access point at a later point in time.

III. DESIGN GUIDELINES:

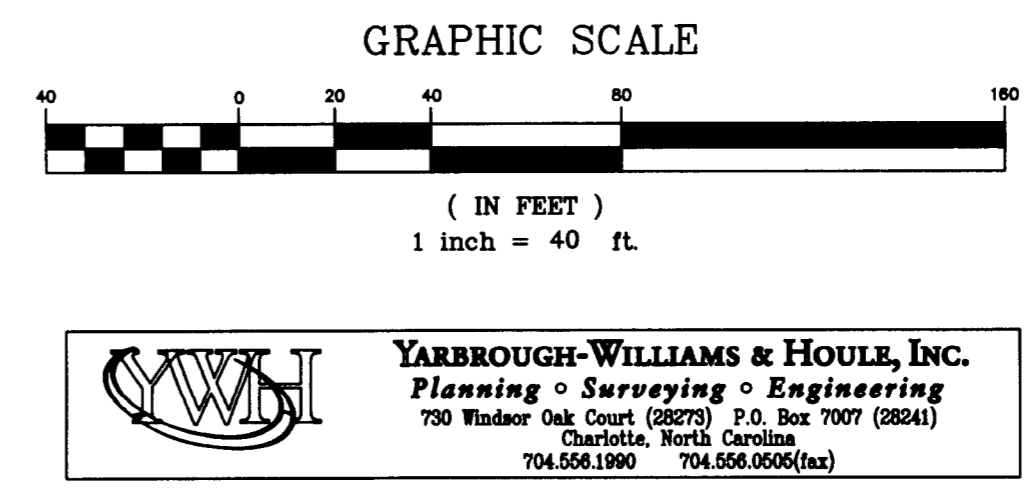
- A. Building and Architectural Restrictions
 - Building architecture within the site shall include the use of brick, stone or other materials as approved by the Charlotte Mecklenburg Historic Landmarks Commission. Final architectural plans will be subject to review and approval of the Charlotte Mecklenburg Historic Landmarks Commission prior to issuance of building permits.
 - A Historic Preservation Agreement has been recorded against the 4.61 AC subject property to protect the N.S. Alexander home. The agreement restricts changes to the physical structure of the historic home.
 - Building elevations to be reviewed by the Landmarks Commission at the time of permit.
 - Bed and Breakfast facility to have no more than five bedrooms. There will be no retail sales. Sales will be restricted to functions (e.g. weddings, conference) produced at the site and hosting of overnight guests per Section 12.521.
- B. Yard Restrictions
 - In every instance the side yard, setback, and rear yard requirements imposed under the Ordinance will be satisfied with the respect to the development taking place within the Site, unless more stringent requirements are established under these Developmental Standards.
- C. Tree Ordinance
 - Development on the Site shall adhere to the requirements of the Tree Ordinance. We are committed to preserving all trees 4 inches in diameter or larger that are not located within designated parking lot, driveway, sidewalk or building areas, including a 5 foot buffer around these areas. Reserving the ability to hand clear brush up to 2" in diameter. Please note that the removal of trees is not necessary for construction of the carriage house and plans for a wedding and conference center building with a smaller footprint are being considered.
- D. Water Quality
 - This site will adhere to the Post Construction Controls Ordinance.
- E. Variances
 - Petitioner will apply for variances for the following:
 1. Waiver of requirement to extend internal sidewalks to the existing sidewalks located along Shamrock Dr. and Sharon Amity Rd.
- F. Additional Notes:
 1. No amplified music will be played outside after 11:00pm or before 10:00am.
 2. Existing sidewalks measure 5' in width.
 3. Directional ramps are not the responsibility of petitioner as they have been previously constructed and currently exist on the corner of Shamrock Drive and Sharon Amity Rd.
 4. Fire Hydrant exists within 750' of most remote point of building as truck travels.
 5. The petitioner acknowledges that the other standard development requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist. Those criteria (for example, those that require buffers, regulate streets, sidewalks, trees, storm water, and site development, etc.), will apply to the development site. This includes chapters 8, 9, 12, 17, 18, 19, 20 and 21 of the city code. Conditions set forth in this petition are supplemental requirements imposed on the development in addition to other standards. Where conditions on this site differ from ordinances, standards, policies, and approaches in existence at the time of formal engineering plan review submission, the stricter condition or existing requirements shall apply.
 6. The petitioner agrees to provide 90 parking spaces.
- G. Optional Provision:
 - Site will maintain existing sidewalk configuration along Sharon Amity Road and Shamrock Drive.



SCHMATIC SITE PLAN

N.S. ALEXANDER
 BED & BREAKFAST, WEDDING AND
 CONFERENCE CENTER
 CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC
 FOR: DON AND CAROLINE NAYSMITH
 DATED: 4/11/08
 SCALE: 1" = 40'
 FOR PUBLIC HEARING
 REZONING PETITION #2008-99

APPROVED BY
 CITY COUNCIL



MICHAEL D. MICHEK
 AND JANEET M. WACHEK
 5220 GREAT WAGON RD
 CHARLOTTE, NC 28215
 DB 4660 PG 813
 R-3

NANCY A. GREEN
 4619 HEZEKIAH PL
 CHARLOTTE, NC 28215
 099-20-153
 DB 6512 PG 581
 R-3

CHARLES R. WILFONG
 SANDRA C. WILFONG
 4618 HEZEKIAH PL
 CHARLOTTE, NC 28215
 099-20-154
 DB 4607 PG 780
 R-3

ANGEL F. FORD
 4629 CAPTAIN JACK CR
 CHARLOTTE, NC 28215
 099-20-162
 DB 7492 PG 306
 R-3

REGINALD L. PRICE
 JOY R. PRICE
 4632 CAPTAIN JACK CR
 CHARLOTTE, NC 28215
 099-20-163
 DB 8468 PG 627
 R-3

ANA D. MARTINEZ
 4628 CAPTAIN JACK CR
 CHARLOTTE, NC 28215
 099-20-164
 DB 18610 PG 848
 R-3

FIRST UNITED
 PENTACOSTAL CHURCH
 4301 HOWIE CR
 CHARLOTTE, NC 28205
 101-04-237
 DB 3936 PG 619
 R-17 MF