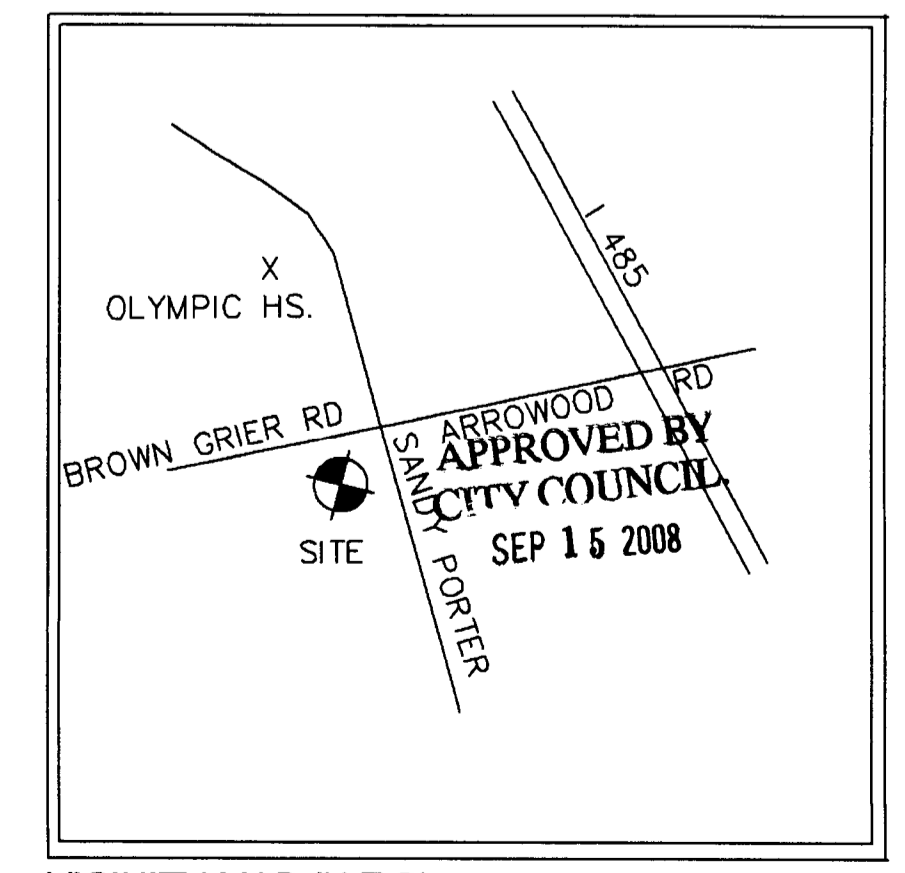


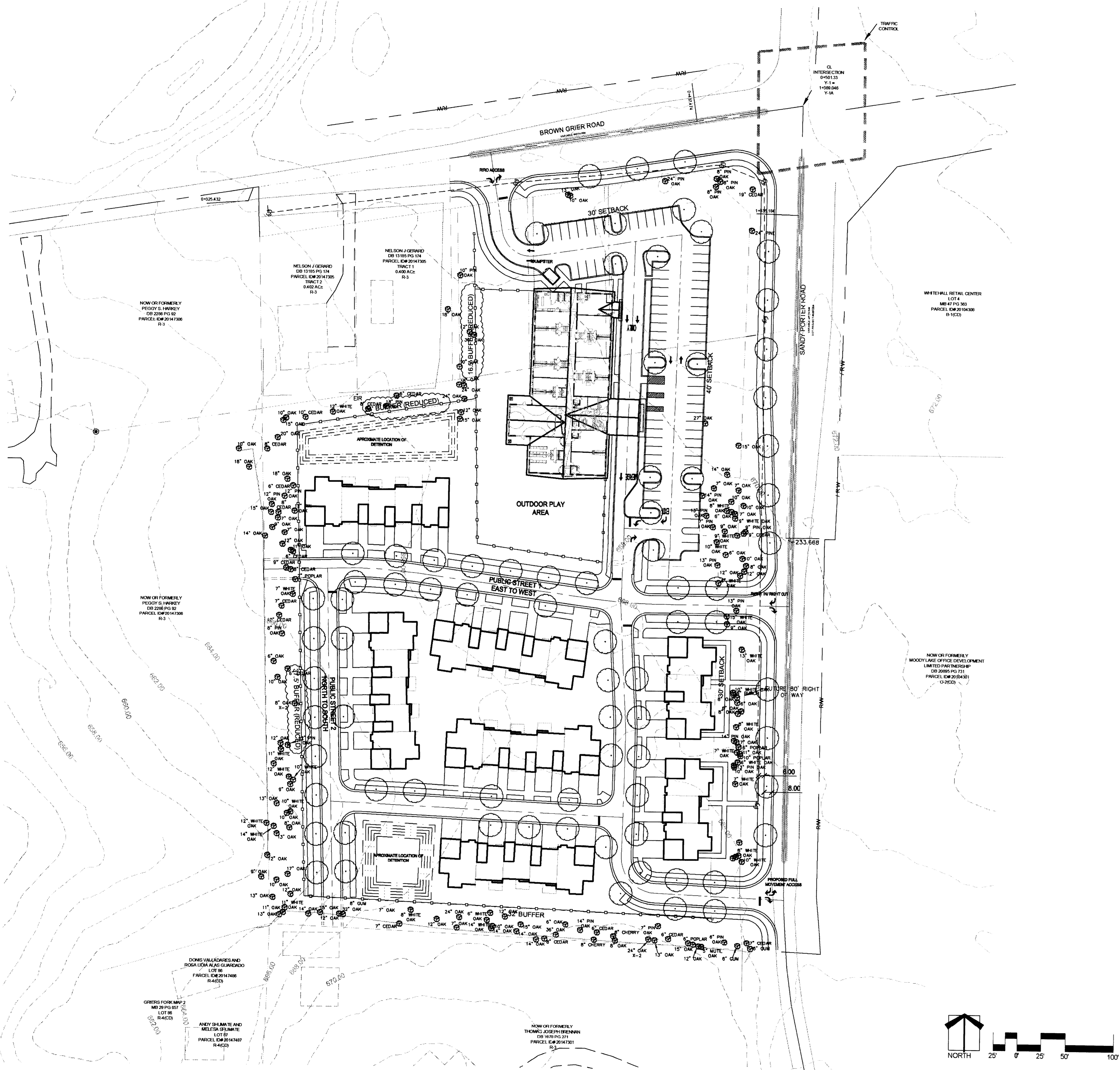
### Ruckus House Development Standards

- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed buildings and uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases.
- Access to the site will be provided from Brown-Grier Road and Sandy Porter Road as generally depicted on this site plan.
- The use of the site will be for the single-family attached homes along with related accessory uses and a day care facility along with associated parking and service areas under the district standards and the conditions of this site plan.
- All dumpsters, if provided, will be screened with solid enclosures and gates for the institutional portion of the site. Trash collection for the single family attached portion of the site will be provided by individual roll out containers by a private collection company.
- All outdoor lighting shall be full cut-off type lighting fixtures with the exception of lower, decorative lighting that may be installed along the driveways, sidewalks, and parking areas. Site lighting, if provided, will be limited to 20 feet in height and will be shielded or capped. No "wall pak" lighting will be installed but architectural lighting on building facades will be permitted.
- The proposed development will comply with all applicable Ordinance requirements for signage, screening, and landscaping and tree planting.
- Parking will be provided that meets or exceeds Ordinance requirements.
- Open space will be provided that meets or exceeds Ordinance requirements.
- Tree savs are will comprise at least 10% of the site.
- The Petitioner will coordinate with CATS on a location and will construct a waiting pad on Brown Grier Road.
- A six-foot wide sidewalk shall be provided and located along the site at Brown Grier and Sandy Porter Roads so as to provide for a minimum eight foot planting strip between the back of curb and sidewalk.
- The development of the site will comply with the post-construction storm water ordinance and will utilize a master planned water quality and detention network which will serve the entire site.
- The Petitioner reserves the right to install fencing along the western perimeter of the site. Any fencing installed within a buffer shall be located on the interior line of the buffer.
- There are buffers provided adjacent to the western edge of the site. The Petitioner reserves the right to grade within the first ten feet on the inside of this buffer but will replace any vegetation that may be removed with new vegetative material to Class B buffer standards.
- At the southern property edge, the fencing that will be constructed on the inside of the buffer will be a solid, 6' high wall. The southern face of this wall will be built per the Elevation View Option "B" brick wall as shown on the detailed drawing PD.1.0, dated July 31, 2008. Finish materials for the southern face of this wall will be brick. Finish materials for this northern face of this wall will be similar to those used in the construction of the single family attached homes and includes, but are not limited to, masonry materials such as brick, stone and stucco. This wall shall be constructed upon the earlier of the commencement of the construction of the day care center or the single family attached development.
- With regards to the buffer shown on the southern portion of the site, the Petitioner shall only - disturb the buffer for the construction of public streets and sidewalks, single family attached units and detention facilities. At no time shall more than the first ten feet of the northern edge of this buffer be disturbed. In addition, along this border, the Petitioner will revegetate disturbed areas to Class B buffer standards as part of the development of the site. Existing trees will be preserved within the buffer to the greatest extent possible. Additionally, new vegetative materials will be added to enhance buffer in areas where existing vegetation is sparse. The exact location of these vegetative materials will be agreed upon by the Petitioner and the adjoining property owner. The determination of the location for the additional vegetative material will occur prior to March 1, 2009. The quantity, type and specification of these vegetative materials will be a quantity of fifteen 6' high trees, in the family of deodara cedar, foster holly or eastern red cedar. This additional vegetative material will be planted upon the completion of the wall using established practices for the timing of such planting. All new vegetative materials planted within this buffer will include a one year warranty.
- The Petitioner has provided building elevations for the townhomes to be constructed on the site. The building illustrations that are included with this application are intended to reflect the general mass, scale, configuration, and the architectural character of the building(s). The Petitioner may make revisions to the design and materials of the building(s) so long as the general mass, scale, configuration, building materials, and architectural style and character of the building(s) are maintained.
- Brick will be used on a minimum of 85% of the exterior of each building. Additionally, the rear elevation of the building adjacent to the southern property edge shall be 100% brick. Elevations may also incorporate additional masonry materials, including but not limited to stucco, decorative block and stone. These requirements do not apply to the exterior areas occupied by dormers, windows, doors, soffits, gable ends and/or other architectural treatments.
- The Petitioner has provided building elevations for the childcare facility to be constructed on the site. The building illustrations that are included with this application are intended to reflect the general mass, scale, configuration, and the architectural character of the building. The Petitioner may make revisions to the design and materials of the building(s) so long as the general mass, scale, configuration, and architectural style and character of the building(s) are maintained.
- The Petitioner will dedicate and convey 50 feet from the centerline of Brown Grier Road for future right-of-way if the existing right-of-way is inadequate.
- The Petitioner will dedicate and convey 35 feet from the centerline of Sandy Porter Road for future right-of-way if the existing right-of-way is inadequate.
- In conjunction with the development, the Petitioner will make the following street improvements.  
 Brown-Grier Road  
 Modify, if necessary, the existing concrete median to extend beyond the limits of the property to physically prohibit left-turning movements into the site.  
 Sandy Porter Road  
 Construct 150 feet northbound left-turn lane and appropriate bay taper at the proposed full movement access point at the southern property edge of the site.
- The Petitioner will construct "Public Street 1" to the interior edge of the buffer as generally indicated on the plans. Additionally, the Petitioner will dedicate adequate right of way to the property line and will grant any future adjacent development the right to cross this buffer in order to connect to "Public Street 1."
- The Petitioner will construct "Public Street 2" to the interior edge of the buffer as generally indicated on the plans. Additionally, the Petitioner will dedicate adequate right of way to the property line and will grant any future adjacent development the right to cross this buffer in order to connect to "Public Street 2."
- The Petitioner acknowledges that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator, and are not separate zoning conditions imposed by this site plan. Unless specifically noted in the conditions for this site plan, these other standard development requirements will be applied to the development of this site as defined by those other city ordinances.
- Throughout this Reasoning Petition, the terms "Owner", "Owners", "Petitioner" or "Petitioners," shall, with respect to the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the Site who may be involved in its development from time to time.

April 21, 2008, Initial submission.  
 Revised Submission: June 23, 2008  
 Revised Submission: July 25, 2008  
 Revised Submission: September 5, 2008  
 Revised Submission: September 9, 2008  
 Revised Submission: September 11, 2008



Master Plan for Illustrative Purpose Only; Subject to Revisions For Public Hearing 2008-111

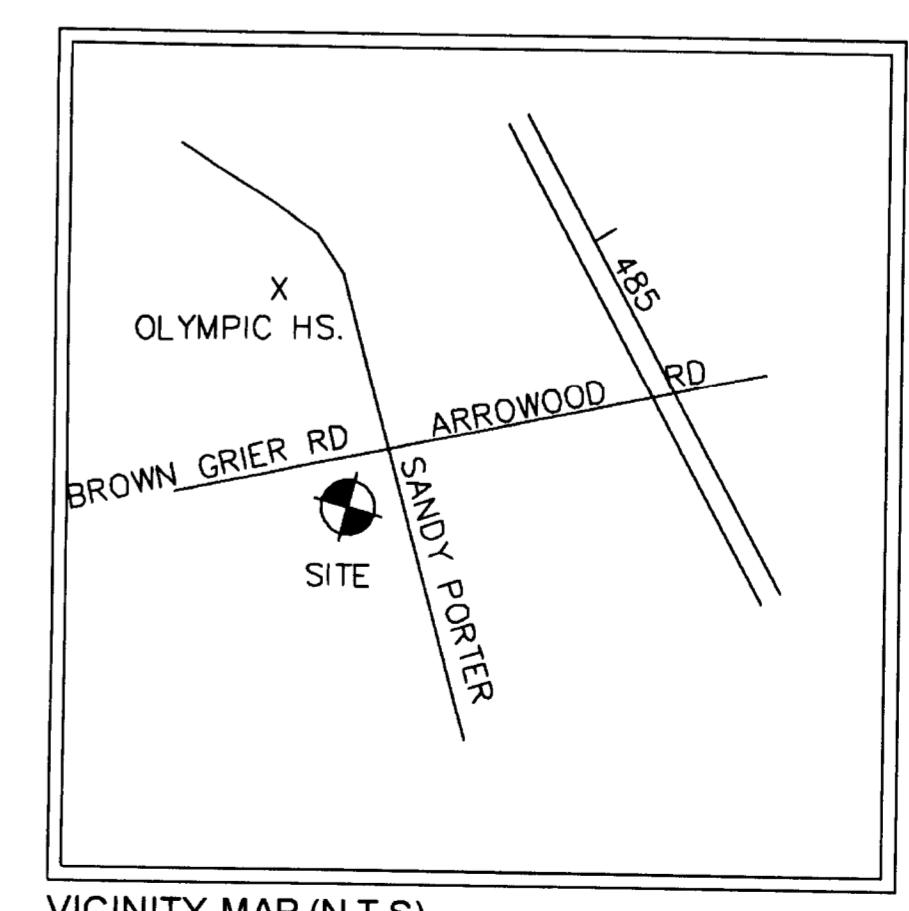


### Ruckus House and Townhome Community Site Data Table

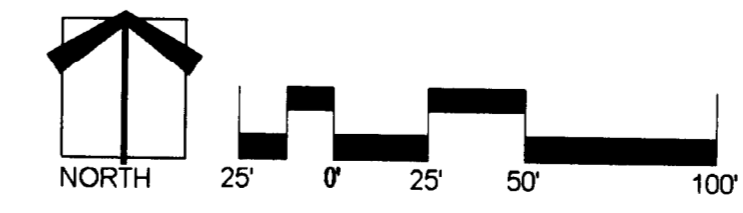
Tax Parcels: 201-47-105, 201-47-104, 201-47-103, 201-47-302  
 Total Site Area: 7.8 +/- acres  
 Existing Zoning: R-3  
 Proposed Zoning: INST (CD) and R8-MF (CD)  
 Proposed Uses: Large Child Care Facility: 19,500 square feet  
 Single Family Attached: 31 units

INST (CD):  
 Front Setback (Sandy Porter Road): 40'  
 Side Yard (Brown Grier Road): 30'  
 Side Yard (Proposed Residences): 20'  
 Rear Yard: 20'

R8-MF (CD):  
 Front Setback: 30'  
 Side Yard: 20'  
 Rear Yard: 50'



VICINITY MAP (N.T.S)



**RUCKUS HOUSE**  
 REZONING PETITION NUMBER 2008-111  
 RWB PROPERTIES  
 ILLUSTRATIVE SITE PLAN

**Kimley-Horn and Associates, Inc.**  
 4651 Charlotte Park Drive, Suite 300  
 Charlotte, NC 28217  
 (P) 704-333-5131 (F) 704-333-0845

REVISIONS:  
 09/08 REVISED PER ZONING COMMITTEE

DATE: JULY 23, 2008  
 DESIGNED BY: M.A.G.H.  
 DRAWN BY: M.A.G.H.  
 CHECKED BY: M.A.  
 CLIENT: RWB PROPERTIES  
 SCALE: 1" = 50'-0"  
 PROJECT #: 018470

SHEET #:  
**C.2.0**

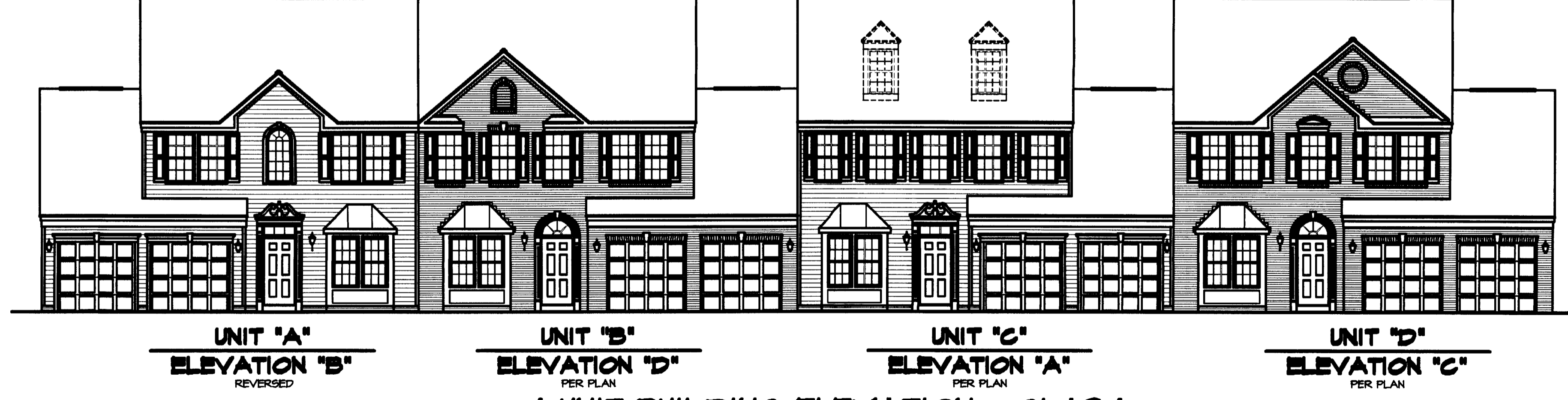


1  
A-1  
4 UNIT BUILDING ELEVATION - GLA04  
SCALE: 1/8" = 1'-0"



2  
A-1  
4 UNIT BUILDING ELEVATION - GLA24  
SCALE: 1/8" = 1'-0"

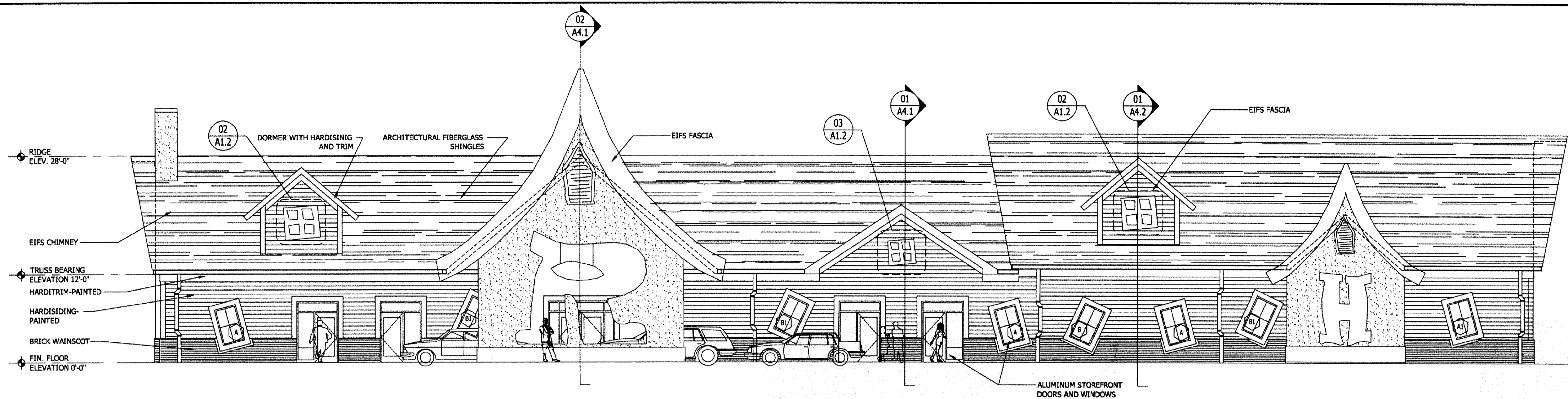
NOTE:  
OVERHANGS NOT  
AVAILABLE WITH  
TWO CAR GARAGE  
INTERIOR UNIT



3  
A-1  
4 UNIT BUILDING ELEVATION - GLA34  
SCALE: 1/8" = 1'-0"

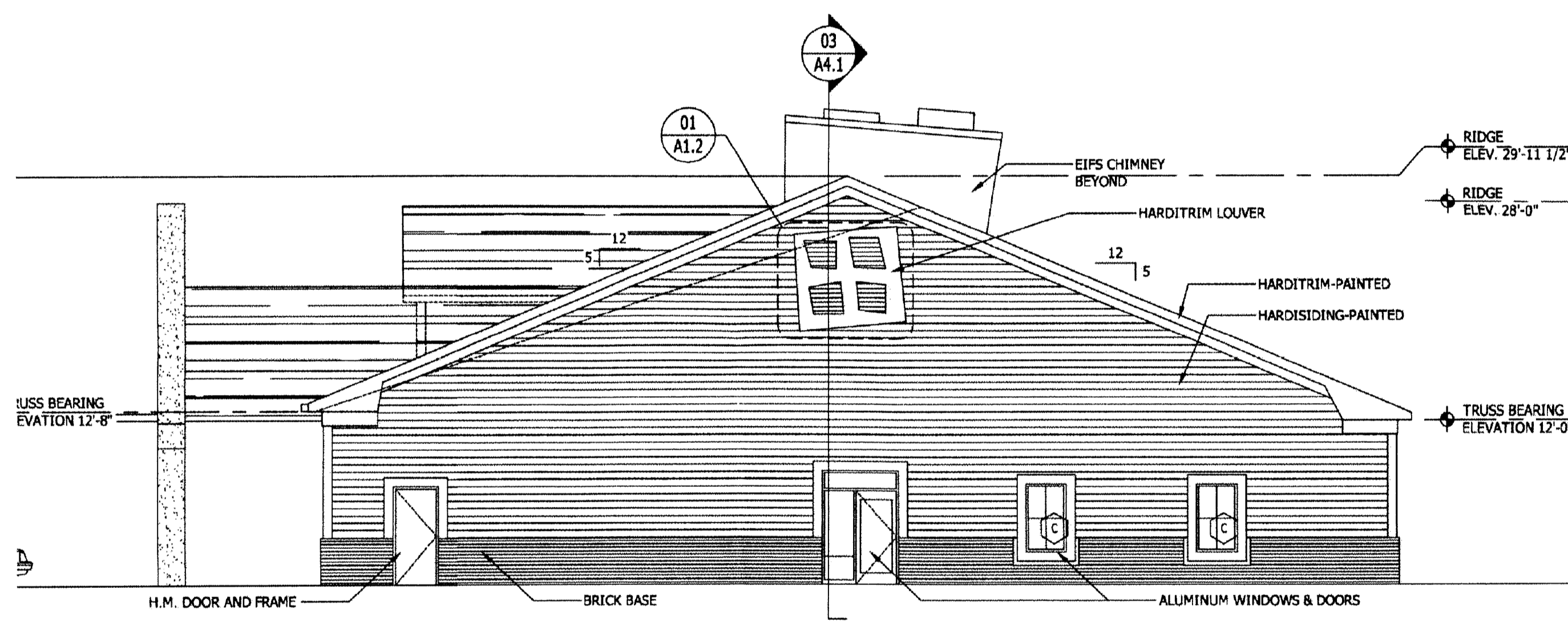
SHEET NO. <b>A-1</b>	MODEL <b>GLADSTONE</b> DRAWING TITLE <b>STRIP ELEVATION PLAN</b>	OPTION DESCRIPTION 4 UNIT ELEVATION
		DATE: 4-28-02
		DRAWN BY: MRS/JES
		SET NO. GLA04/24/B VERSION 04
REV. NO.	DATE	REMARKS
1	1-2-04	JES - ADDED ELEVATION GLA34
2	5-22-04	MRT - CREATED VERSION 03
3	1-18-06	JKL - ADDED OPTIONAL DOORERS
4	4-11-07	JES - CREATED VERSION 04
MRS, Inc. expressly reserves its common law copyright and other property rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of MRS, Inc. ISSUED FOR CONSTRUCTION BY: _____ DATE: _____		
<b>Ryan Homes</b> MRS, Inc. Architectural Services 21 Deerpark Way, A Frederick, MD 21702		





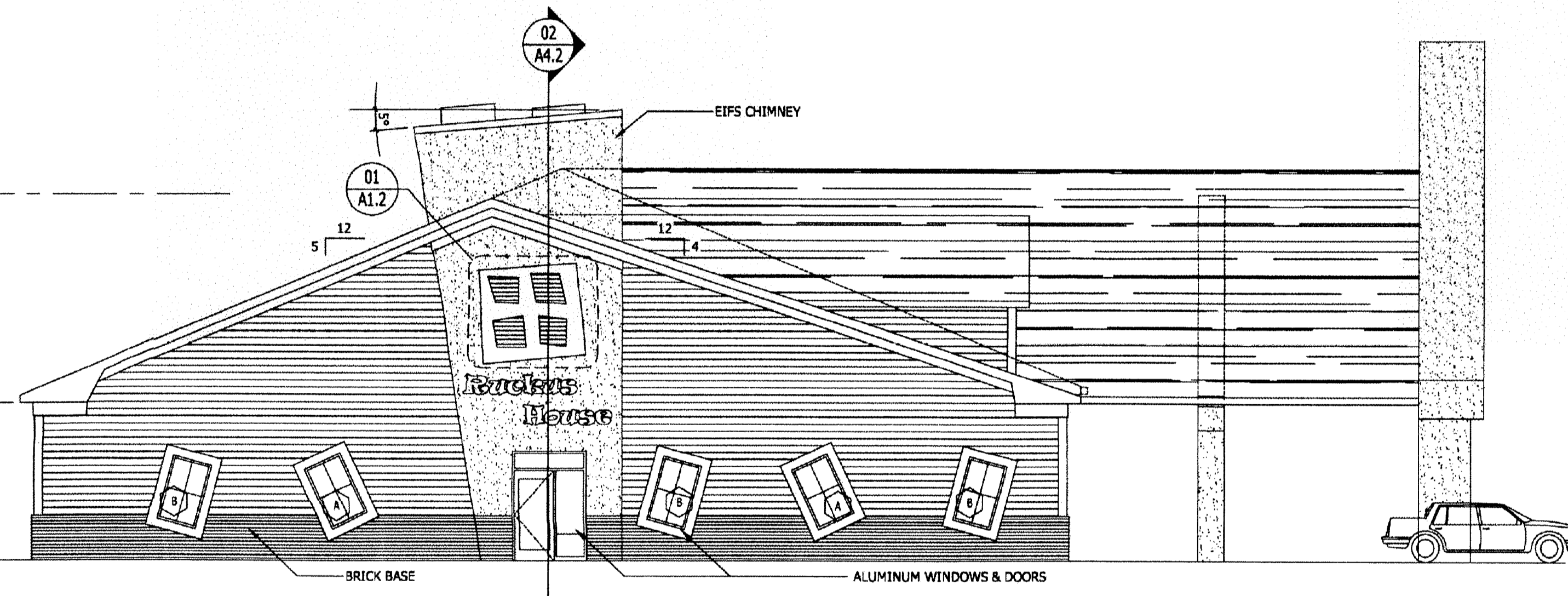
04 FRONT ELEVATION

SCALE: 1/8" = 1'-0"



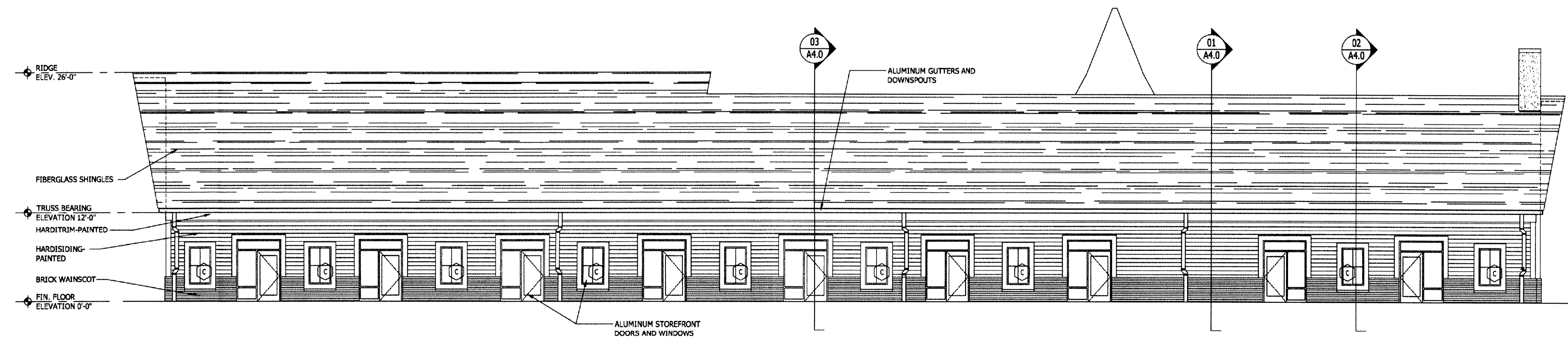
01 SIDE ELEVATION

SCALE: 1/8" = 1'-0"



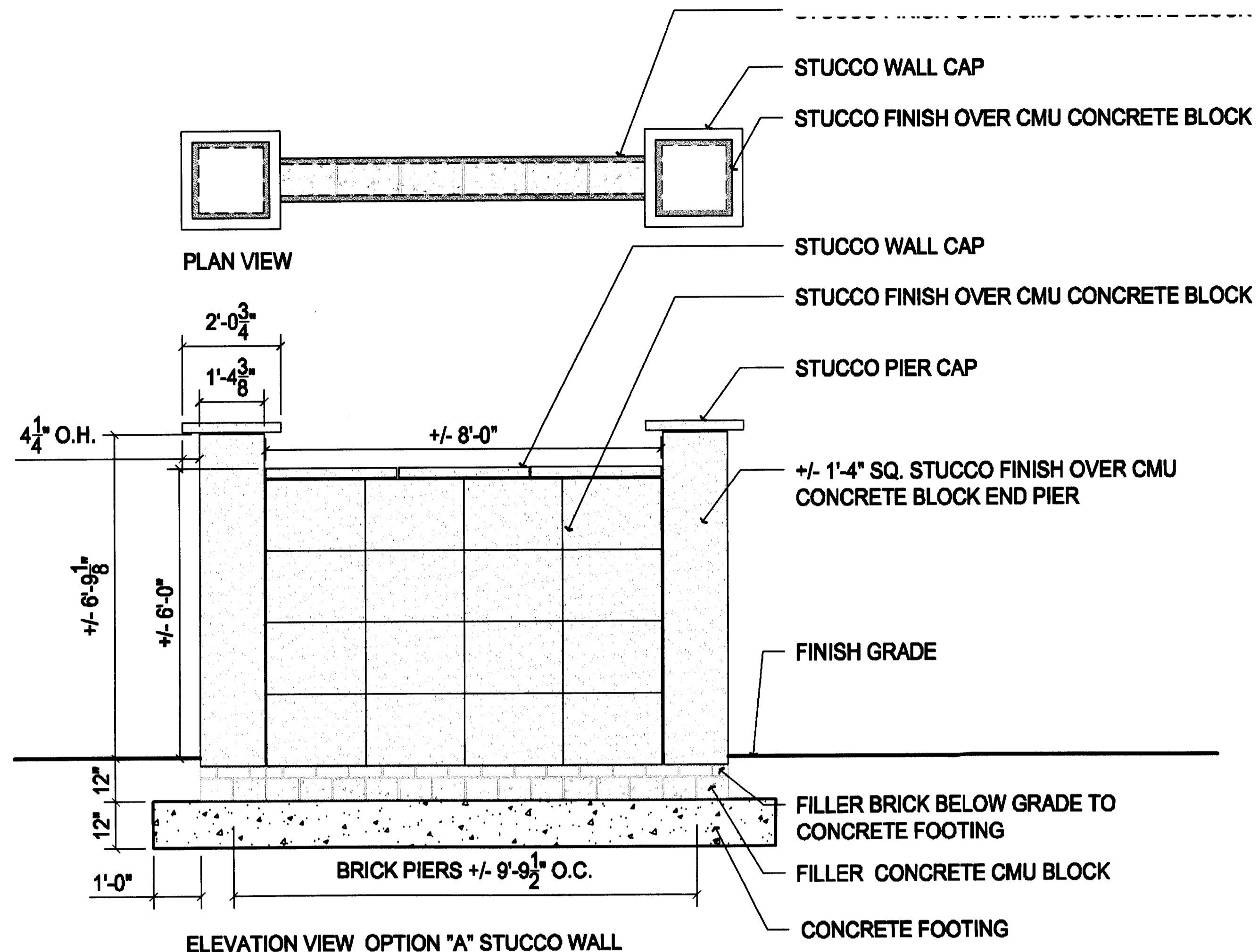
02 SIDE ELEVATION

SCALE: 1/8" = 1'-0"

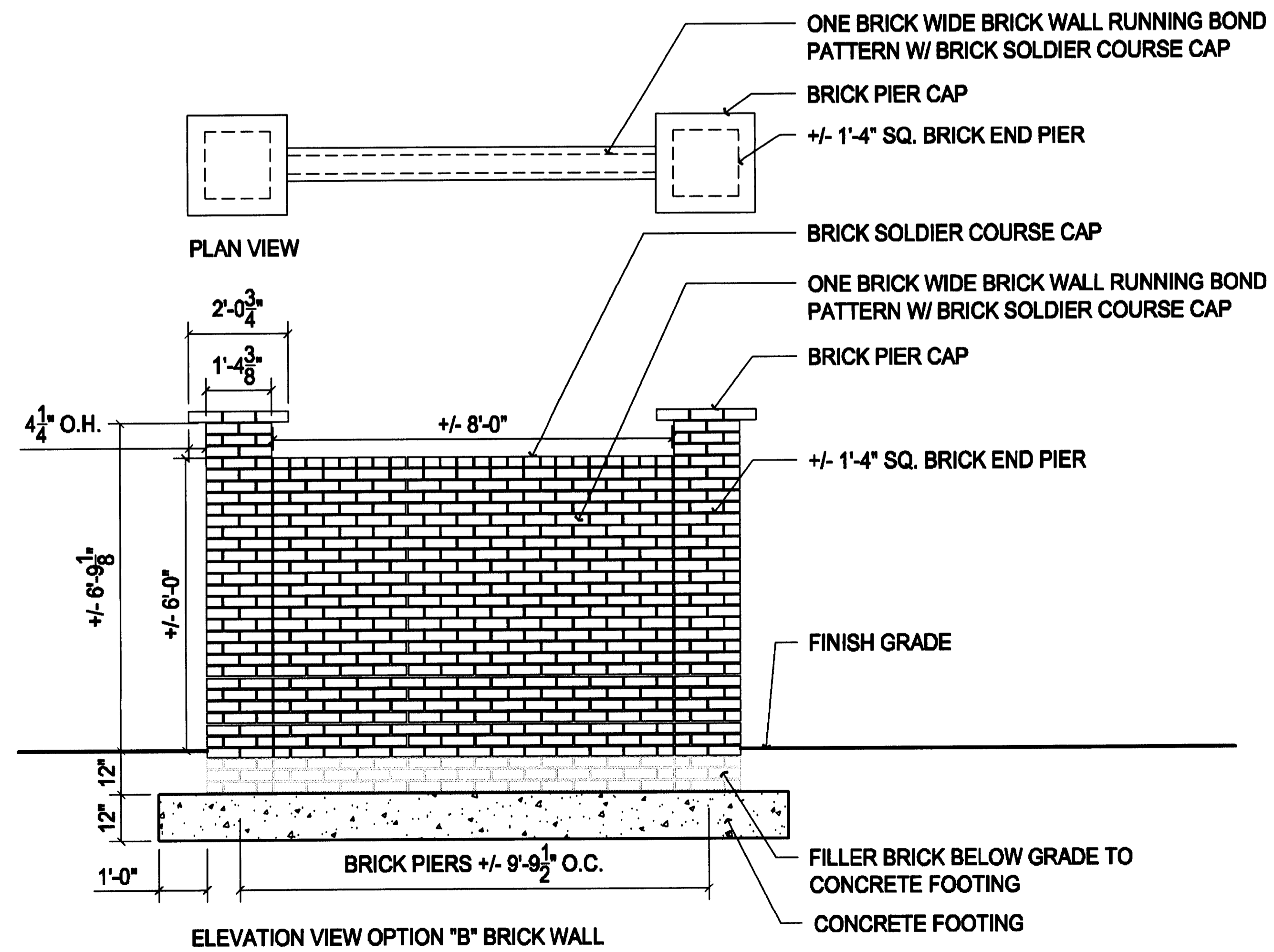


01 REAR ELEVATION

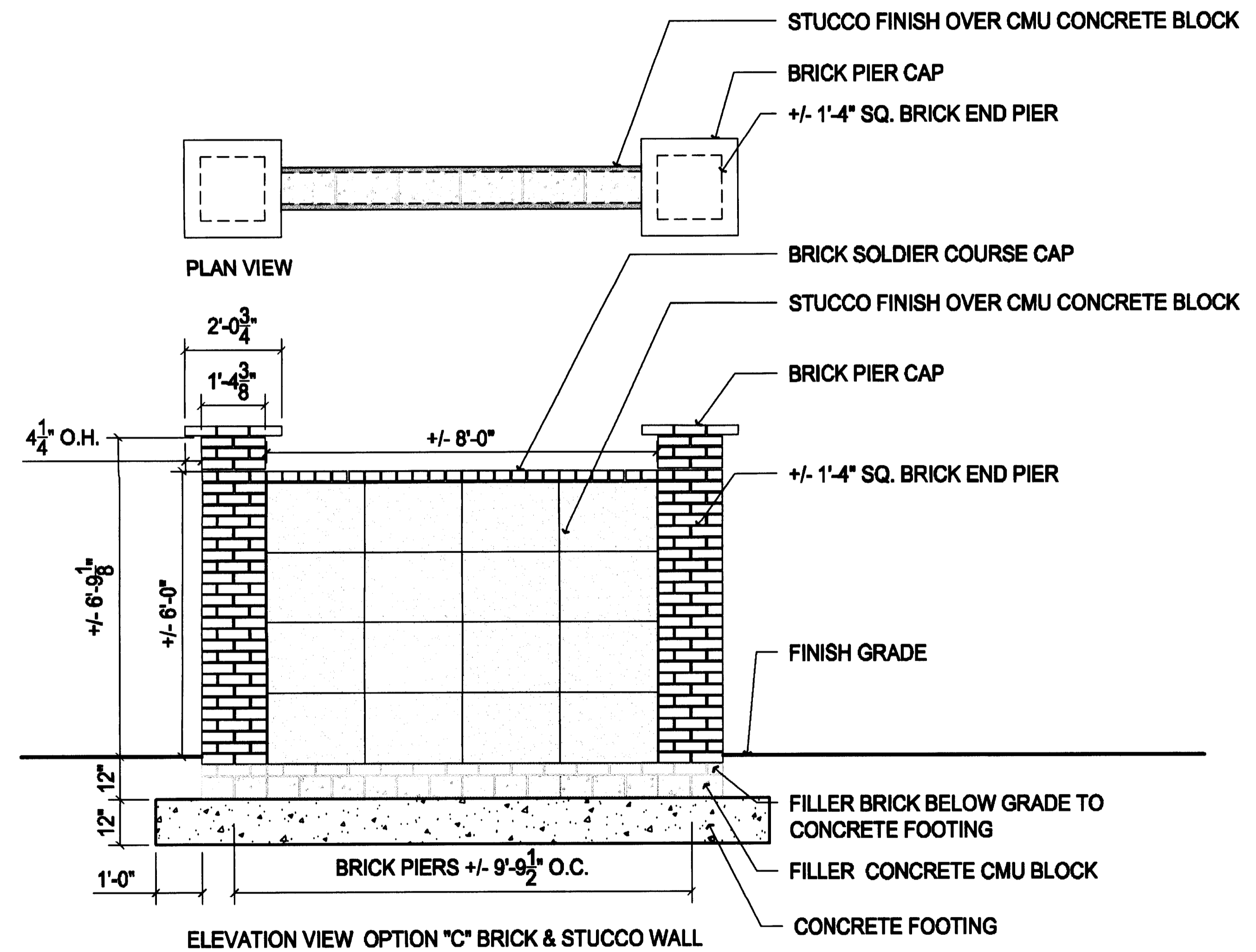
SCALE: 1/8" = 1'-0"



ELEVATION VIEW OPTION "A" STUCCO WALL



ELEVATION VIEW OPTION "B" BRICK WALL



ELEVATION VIEW OPTION "C" BRICK & STUCCO WALL

NOT FOR CONSTRUCTION CONCEPT DETAIL ONLY