



# Charlotte-Mecklenburg Planning Department

**DATE:** November 13, 2019

**TO:** Sonja Sanders  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2008-112 Westlake Holdings, LLC

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- To allow a modification of the site layout.
- Transportation improvement modifications.
- New building elevations.

Staff supports of the request because:

- The site plan complies with the conditional notes and still meets the intent of the original approval by the City Council.

**Note:**

**All other Zoning, PCSO, Subdivision, Tree Ordinances and conditional requirements still apply.**

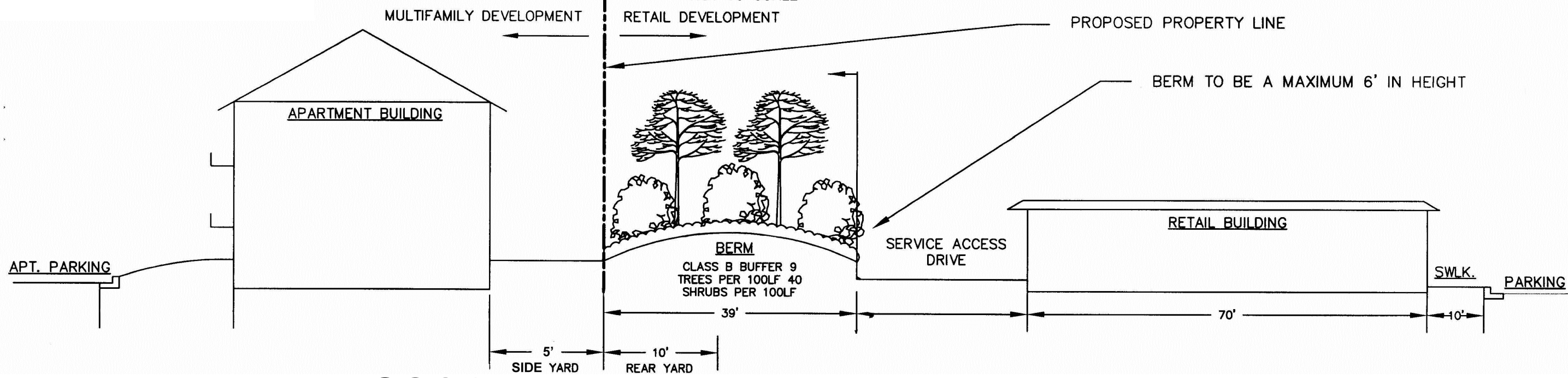
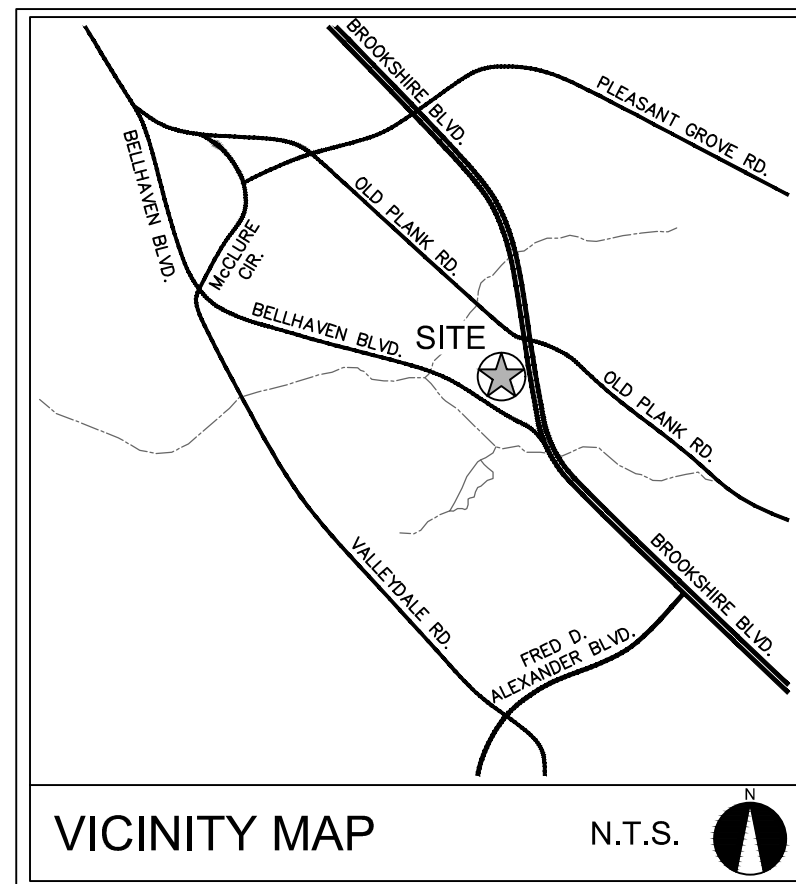
**Signage was not reviewed as part of this request.**



Approval

Solomon A. Fortune

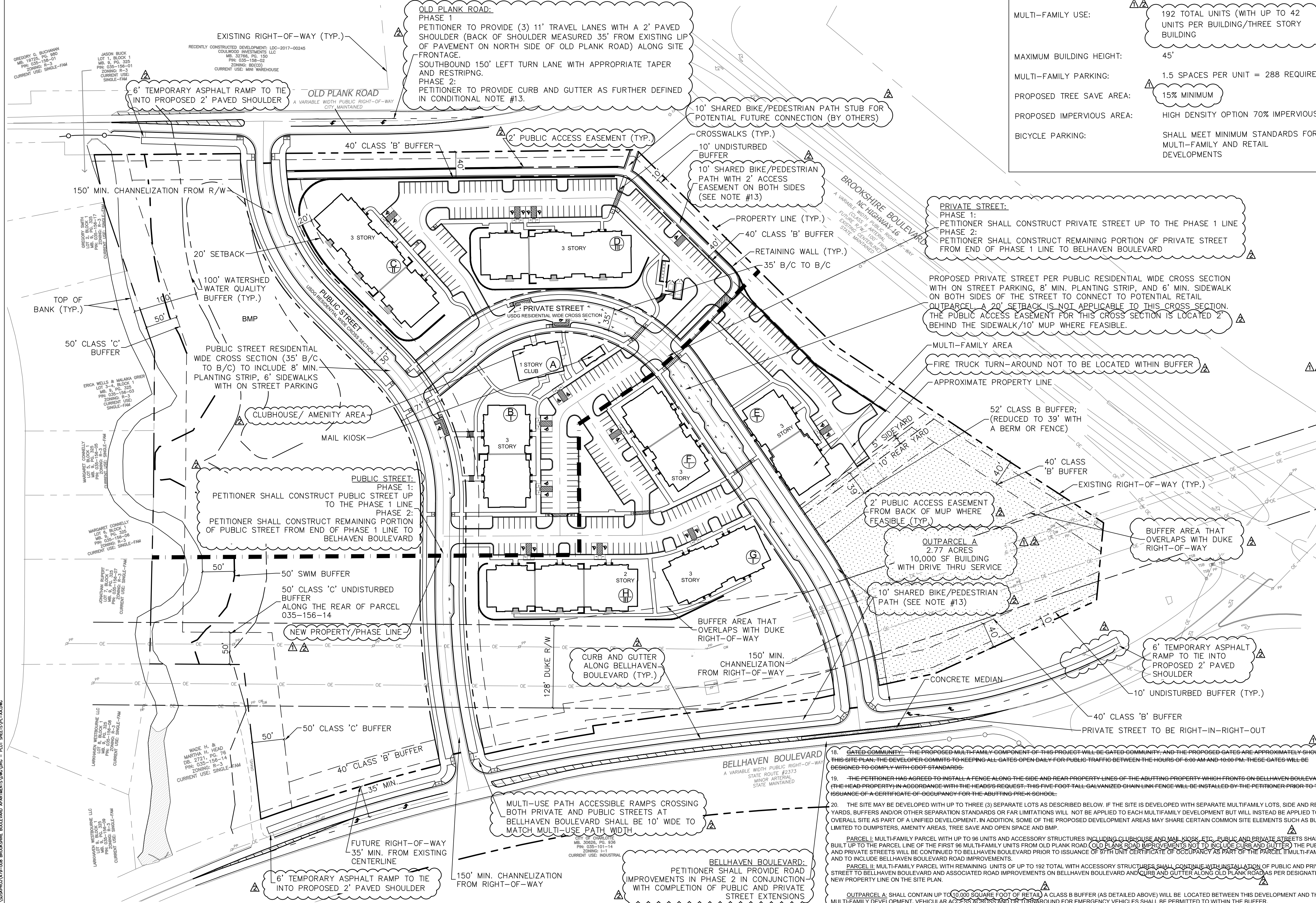
SECTION BETWEEN MULTIFAMILY AND RETAIL



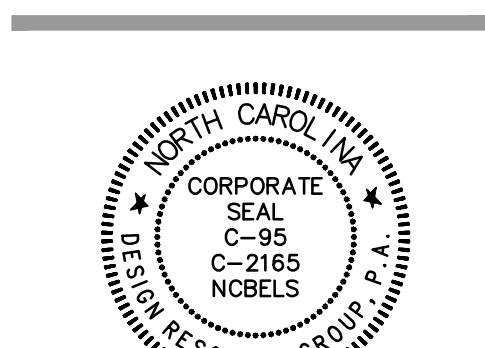
DEVELOPMENT DATA table with columns for TAX PARCEL, CURRENT ZONING, PROPOSED ZONING, TOTAL ACREAGE, BUILDING DATA, RETAIL USES, TOTAL RETAIL SQUARE FOOTAGE, RETAIL PARKING REQUIRED, MULTI-FAMILY USE, MAXIMUM BUILDING HEIGHT, MULTI-FAMILY PARKING, PROPOSED TREE SAVE AREA, PROPOSED IMPERVIOUS AREA, and BICYCLE PARKING.

CONDITIONAL NOTES

- 1. USES: SHALL BE LIMITED TO THOSE ALLOWABLE IN THE B-1 DISTRICT...
2. MAXIMUM ALLOWABLE SQUARE FOOTAGE: THE PRIMARY DEVELOPMENT AREAS SHALL CONSIST OF A MAXIMUM OF 10,000 SQUARE FEET...
3. LIGHTING: SITE LIGHTING FOR THE MULTI-FAMILY, RETAIL AND DRIVE THRU DEVELOPMENTS SHALL BE INWARDLY DIRECTED...
4. DRIVEWAYS: SHALL BE AT THE APPROXIMATE LOCATIONS AS SHOWN ON THIS SITE PLAN...
5. STREET BUFFERS: THE PETITIONER AGREES TO A 40' CLASS B BUFFER ADJACENT TO OLD PLANK ROAD...
6. DUKE ENERGY RIGHT-OF-WAY: ANY USE OF PROPERTY WITHIN THE DUKE ENERGY RIGHT-OF-WAY SHALL BE SUBJECT TO THE APPROVAL BY DUKE ENERGY COMPANY...
7. STORM WATER CONTROL: OF STORM WATER AND WATER QUALITY FROM THE SITE SHALL CONFORM TO THE REGULATIONS SET FORTH IN THE CURRENT EDITION OF THE CITY OF CHARLOTTE'S POST CONSTRUCTION STORM WATER ORDINANCE...
8. CONCEPT OF DEVELOPMENT: THE SITE PLAN DEPICTS A FIRM CONCEPT OF DEVELOPMENT...
9. ARCHITECTURAL DESIGN: THE RETAIL DEVELOPMENT SHALL BE BUILT OUT OF DECORATIVE MASONRY BRICK, SPECIALTY MASONRY MATERIALS, STUCCO OR OTHER SIMILAR MATERIALS...
10. SCREENING: SCREENING OF THE PARKING AND SERVICE AREAS, AND THE BERM AND LANDSCAPE IMPROVEMENTS ASSOCIATED WITH THE CLASS B AND C BUFFERS...
11. ALL DUMPSTER/RECYCLE CONTAINERS: SHALL BE ENCLOSED WITH A SOLID SCREEN FENCE AND GATE OR LOCATED WITHIN AN ENCLOSED SERVICE AREA...
12. SIGNAGE: ALL PERMANENT SIGNS ERRECTED ON THE PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ZONING ORDINANCE...
13. OFF SITE ROAD IMPROVEMENTS: THE DEVELOPER WILL INSTALL LEFT TURN LANES ON OLD PLANK ROAD...
14. ENVIRONMENTAL IMPACTS: THE DESIGN OF THIS DEVELOPMENT STRIVES TO MINIMIZE THE NEGATIVE ENVIRONMENTAL IMPACTS ON THE AIR, LAND AND WATER RESOURCES...
15. CATCH BASIN STOP: UPON APPROVAL BY, AND COORDINATION WITH, THE CHARLOTTE AREA TRANSIT SYSTEM (CATS), THE DEVELOPER WILL INSTALL A CONCRETE BUS STOP PAD OUTSIDE THE PUBLIC RIGHT-OF-WAY...
16. SOLID WASTE MANAGEMENT: THE PETITIONER AGREES TO PROVIDE A SOLID WASTE MANAGEMENT PLAN PRIOR TO INITIATING LAND CLEARING, DEMOLITION, AND/OR CONSTRUCTION ACTIVITY...
17. WATERSHED NOTE: SITE PLAN WILL COMPLY WITH LAKE WYLIE PROTECTED AREA WATERSHED REGULATIONS (HIGH DENSITY OPTION)



LANDSCAPE ARCHITECTURE CIVIL ENGINEERING TRANSPORTATION PLANNING

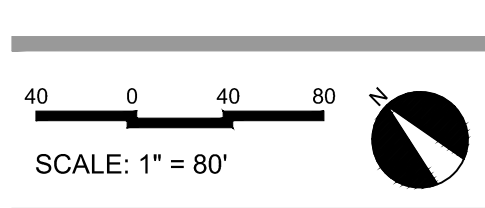


ADMIN APPROVAL PETITION #2008-112



BROOKSHIRE BLVD. APTS CHARLOTTE, NORTH CAROLINA LAUREL STREET RESIDENTIAL 511 EAST BOULEVARD CHARLOTTE, NORTH CAROLINA 28203 704-561-5225

SITE PLAN



PROJECT #: 479-008 DRAWN BY: JN CHECKED BY: SK

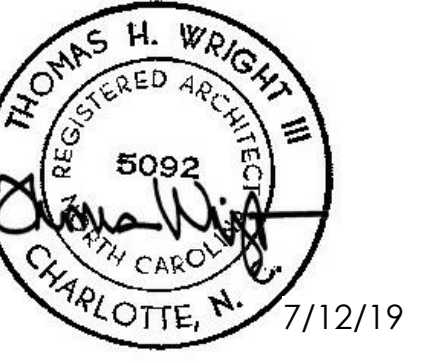
JULY 16, 2019

REVISIONS: 10.22.19 - PER STAFF COMMENTS

Vertical text on the left margin: 10/22/19 09:08 BROOKSHIRE\_BLDG\_Apts\_#ADMINISTRATIVE\_02.dwg - 10/22/19 09:08



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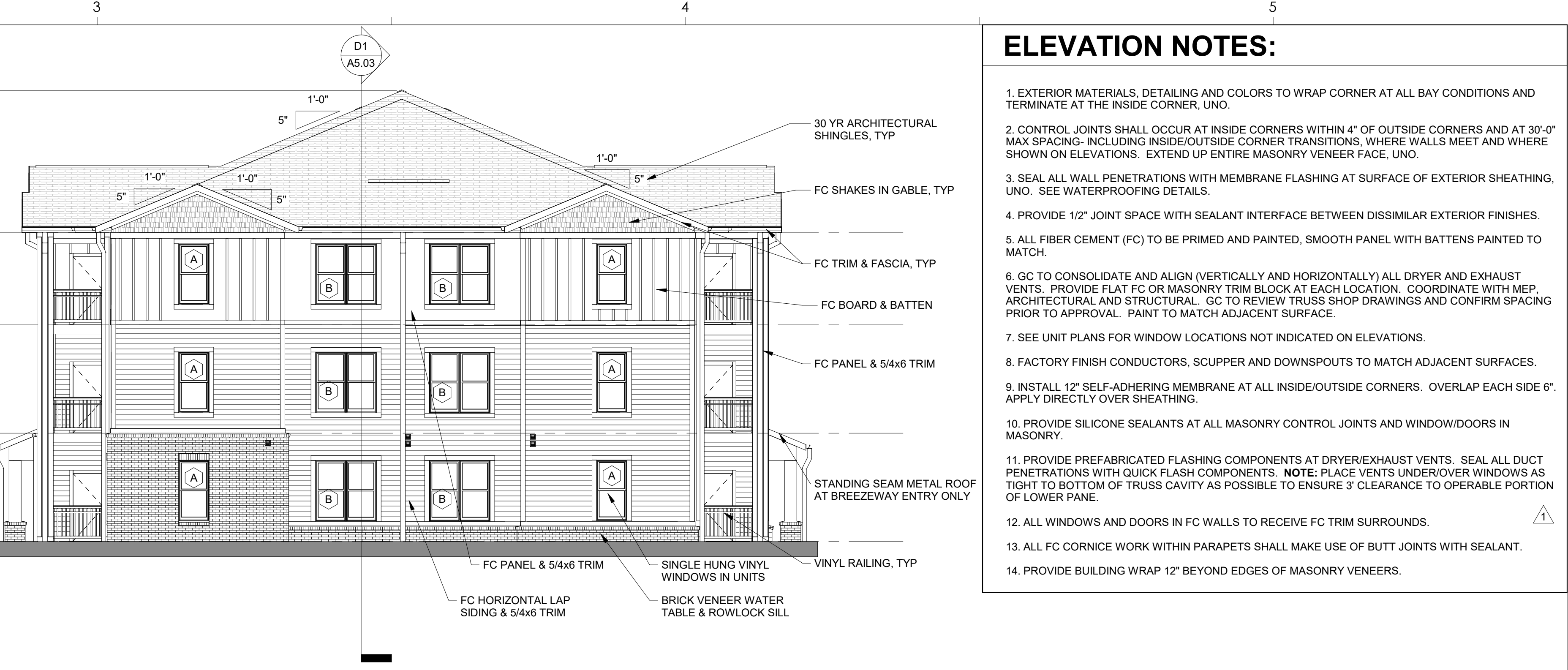
7/12/19

**ELEVATION NOTES:**

1. EXTERIOR MATERIALS, DETAILING AND COLORS TO WRAP CORNER AT ALL BAY CONDITIONS AND TERMINATE AT THE INSIDE CORNER, UNO.
2. CONTROL JOINTS SHALL OCCUR AT INSIDE CORNERS WITHIN 4" OF OUTSIDE CORNERS AND AT 30'-0" MAX SPACING- INCLUDING INSIDE/OUTSIDE CORNER TRANSITIONS, WHERE WALLS MEET AND WHERE SHOWN ON ELEVATIONS. EXTEND UP ENTIRE MASONRY VENEER FACE, UNO.
3. SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING, UNO. SEE WATERPROOFING DETAILS.
4. PROVIDE 1/2" JOINT SPACE WITH SEALANT INTERFACE BETWEEN DISSIMILAR EXTERIOR FINISHES.
5. ALL FIBER CEMENT (FC) TO BE PRIMED AND PAINTED, SMOOTH PANEL WITH BATTENS PAINTED TO MATCH.
6. GC TO CONSOLIDATE AND ALIGN (VERTICALLY AND HORIZONTALLY) ALL DRYER AND EXHAUST VENTS. PROVIDE FLAT FC OR MASONRY TRIM BLOCK AT EACH LOCATION. COORDINATE WITH MEP, ARCHITECTURAL AND STRUCTURAL. GC TO REVIEW TRUSS SHOP DRAWINGS AND CONFIRM SPACING PRIOR TO APPROVAL. PAINT TO MATCH ADJACENT SURFACE.
7. SEE UNIT PLANS FOR WINDOW LOCATIONS NOT INDICATED ON ELEVATIONS.
8. FACTORY FINISH CONDUCTORS, SCUPPER AND DOWNSPOUTS TO MATCH ADJACENT SURFACES.
9. INSTALL 12" SELF-ADHERING MEMBRANE AT ALL INSIDE/OUTSIDE CORNERS. OVERLAP EACH SIDE 6". APPLY DIRECTLY OVER SHEATHING.
10. PROVIDE SILICONE SEALANTS AT ALL MASONRY CONTROL JOINTS AND WINDOW/DOORS IN MASONRY.
11. PROVIDE PREFABRICATED FLASHING COMPONENTS AT DRYER/EXHAUST VENTS. SEAL ALL DUCT PENETRATIONS WITH QUICK FLASH COMPONENTS. NOTE: PLACE VENTS UNDER/OVER WINDOWS AS TIGHT TO BOTTOM OF TRUSS CAVITY AS POSSIBLE TO ENSURE 3" CLEARANCE TO OPERABLE PORTION OF LOWER PANE.
12. ALL WINDOWS AND DOORS IN FC WALLS TO RECEIVE FC TRIM SURROUNDS.
13. ALL FC CORNICE WORK WITHIN PARAPETS SHALL MAKE USE OF BUTT JOINTS WITH SEALANT.
14. PROVIDE BUILDING WRAP 12" BEYOND EDGES OF MASONRY VENEERS.



A1 BUILDING TYPE III - ELEVATION 4  
1/8" = 1'-0"



A3 BUILDING TYPE III - SIDE ELEVATION  
1/8" = 1'-0"



C1 BUILDING TYPE III - ELEVATION FROM PARKING  
1/8" = 1'-0"

Attached to Administrative  
Approval

*Solomon A. Fortune*  
Solomon A. Fortune



D1 BUILDING TYPE III - ELEVATION FROM STREET  
1/8" = 1'-0"

**BROOKSHIRE BLVD APARTMENTS**  
CHARLOTTE, NORTH CAROLINA

PROJECT NUMBER: 18-008  
ISSUE DATE: 7/12/19  
DRAWN BY: KRS  
CHECKED BY: KLK

Revision Schedule		
#	Description	Date
1	PERMIT REVIEW COMMENTS	8/9/19
3	PLANNING COMMENTS	10/10/19

ELEVATIONS UPDATED PER PLANNING REQUIREMENTS

BUILDING TYPE III -  
ELEVATIONS