

C.L. Helt, Architect Inc.

1136 Greenwood Cliff  
Charlotte, NC 28204

Ph. 704-342-1686  
Fx. 704-343-0054  
E-MAIL CHELHET@CLHET.COM

ARCHITECT'S PROJECT # 08

Project #  
**PROPOSED MIXED USE  
DISTRICT DEVELOPMENT**  
FOR  
**WILLIAM T. TURNER  
1101 GREENWOOD CLIFF  
CHARLOTTE, NC 28204**

Sheet Description #  
**REZONING PLAN**

THIS DRAWING AND ITS COPIES ARE THE COPYRIGHT OF THE ARCHITECT. THEY MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF C. L. HELT ARCHITECT INC. AND OR CHESTER LEROY HELT, ARCHITECT

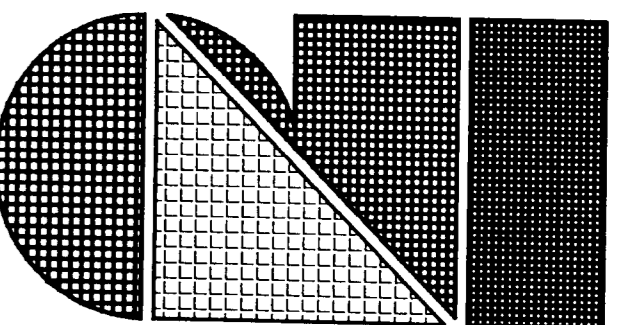
Drawn By:  
**CHUCK KIBLER**

Checked By:  
**CHET HELT**

Revisions:  
1) 10/15/08  
2) 11/14/08  
3)  
4)

Date:  
8/15/08

Sheet No.  
**C1**  
of 1



C.L. Helt, Architect Inc.

1136 Greenwood Cliff  
Charlotte, NC 28204

Ph. 704-342-1686  
Fx. 704-343-0054  
E-MAIL CHELHET@CLHET.COM

ARCHITECT'S PROJECT # 08

Project #  
**PROPOSED MIXED USE  
DISTRICT DEVELOPMENT**  
FOR  
**WILLIAM T. TURNER  
1101 GREENWOOD CLIFF  
CHARLOTTE, NC 28204**

Sheet Description #  
**DETAILS**

THIS DRAWING AND ITS COPIES ARE THE COPYRIGHT OF THE ARCHITECT. THEY MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN APPROVAL OF C. L. HELT ARCHITECT INC. AND OR CHESTER LEROY HELT, ARCHITECT

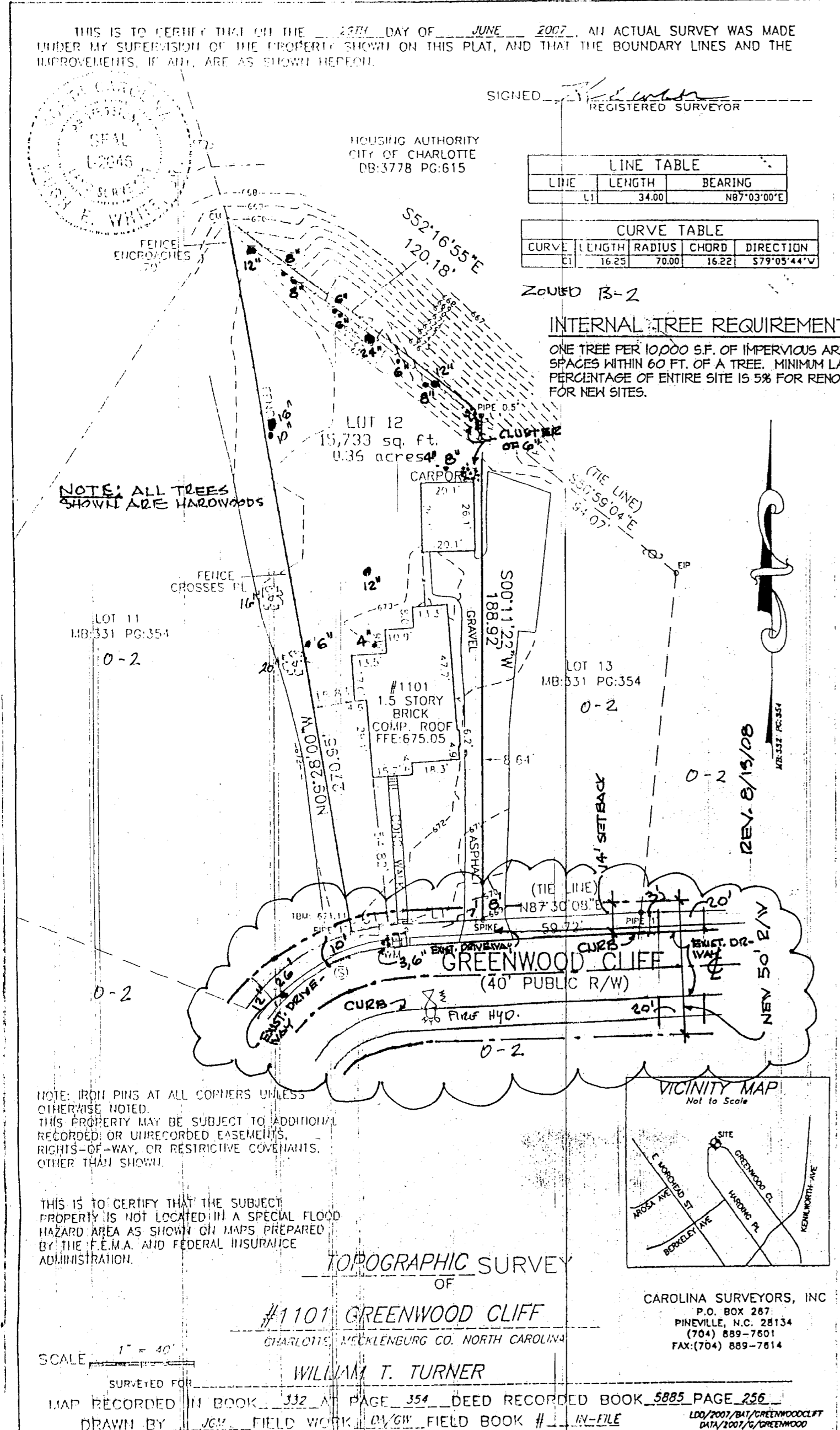
Drawn By:  
**CHUCK KIBLER**

Checked By:  
**CHET HELT**

Revisions:  
1) 10/15/08  
2) 11/14/08  
3)  
4)

Date:  
8/15/08

Sheet No.  
**C2**  
of 2



INTERNAL TREE REQUIREMENTS  
ONE TREE PER 1000 SF OF IMPERVIOUS AREA. ALL PARKING SPACES SHALL BE 10 FT. FROM A TREE. MINIMUM LANDSCAPE AREA AS A PERCENTAGE OF ENTIRE SITE IS 5% FOR RENOVATED, 10% AND 10% FOR NEW SITES.

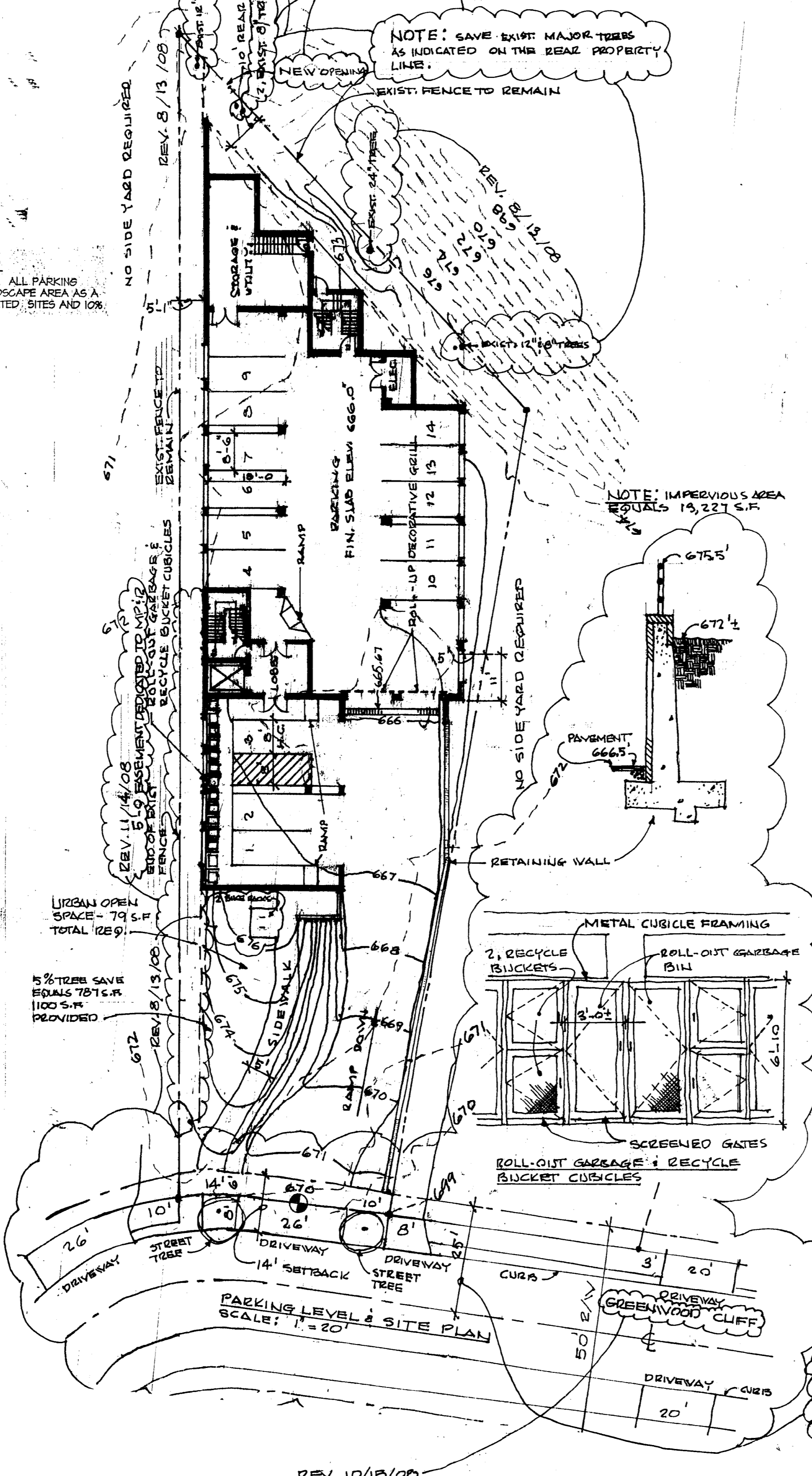
AIR QUALITY  
DEVELOPMENT OF THIS SITE MAY REQUIRE SUBMISSION OF AN ASBESTOS NOTIFICATION OF DEMOLITION AND RENOVATION OF A LOAD-BEARING WALL IN AN EXISTING STRUCTURE. THIS NOTIFICATION IS REQUIRED IN ACCORDANCE WITH THE MECKLENBURG COUNTY AIR POLLUTION CONTROL ORDINANCE (MPCO) REGULATION 2.110-SUBPARAGRAPH (A) - NATIONAL EMISSION STANDARDS FOR HAZARDOUS AIR POLLUTANTS. A LETTER OF NOTIFICATION AND THE REQUIRED FORMS WILL BE MAILED DIRECTLY TO THE PETITIONER BY MCAQ.

SOLID WASTE  
MECKLENBURG COUNTY SOLID WASTE REQUESTS THE PETITIONER SUBMIT A SOLID WASTE MANAGEMENT PLAN PRIOR TO INITIATING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES TO INCLUDE, AT A MINIMUM, THE PROCEDURES THAT WILL BE USED TO RECYCLE ALL CLEAN WOOD, METAL, AND CONCRETE GENERATED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ADDITIONALLY, THE PLAN SHALL ALSO STATE THAT MONTHLY REPORTING OF ALL TONNAGE DISPOSED AND RECYCLED WILL BE MADE TO THE MECKLENBURG COUNTY SOLID WASTE PROGRAM. THE REPORT SHALL INCLUDE THE IDENTIFICATION AND LOCATION OF ALL FACILITIES RECEIVING DISPOSED OR RECYCLED MATERIALS. MECKLENBURG COUNTY IS COMMITTED TO REDUCTION OF CONSTRUCTION / DEMOLITION WASTE. TECHNICAL ASSISTANCE IS AVAILABLE AT NO CHARGE TO THOSE COMPANIES WILLING TO PARTNER WITH THE COUNTY IN THIS EFFORT.

PARCEL INFO: OFFICE AREA = 1,186 sq ft  
RESIDENTIAL TOTAL AREA = 23,808 sq ft  
BUILDING IS 4 STORIES + BASEMENT PARKING  
MAXIMUM HEIGHT ABOVE AVERAGE GRADE = 15'

FID #: 12520130  
LOT SIZE: 3.6 ACRE / 15,133 SF  
CURRENT ZONING: O-2  
PROPOSED ZONING: MUDD (CD)  
PROPOSED USE: MIXED USE - 8 APARTMENTS  
1 OFFICE SUITE

PARKING: 10 REQUIRED 14 PROVIDED  
SHORT TERM 2 REQUIRED 2 PROVIDED  
BI-CYCLE PARKING



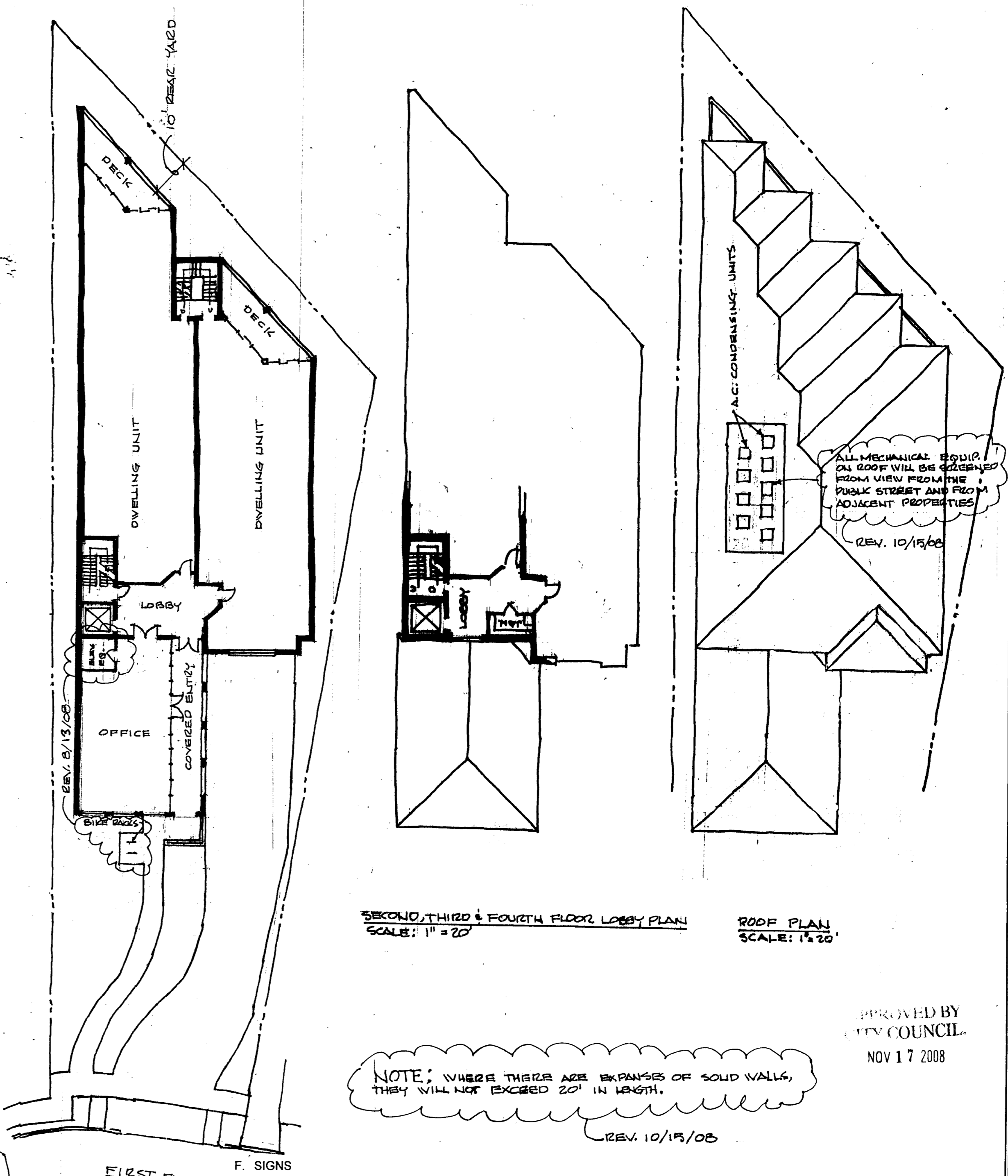
GENERAL NOTES:  
A. ARCHITECTURAL TREATMENT  
1. ANY TRASH RECEPTACLE 'CORRAL' ASSOCIATED WITH THE BUILDING WILL BE SCREENED BY AN ENCLOSURE WITH GATES.  
2. MAXIMUM AREA OF TOTAL BUILDING HEATED SPACE WILL BE 25,004 SF.  
3. THE BUILDING FOOT PRINT IS 7,685 SF.  
4. THE MAXIMUM BUILDING HEIGHT IS 7 1/2 FT FROM THE AVERAGE GRADE HEIGHT TO THE TOP OF THE STRUCTURE, AND FOUR STORIES.

B. OFF STREET PARKING  
1. OFF STREET PARKING WILL MEET THE MINIMUM STANDARDS ESTABLISHED UNDER THE ORDINANCE. PARKING WILL BE DESIGNED PER CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.  
2. TYPICAL PARKING MODULE IS 8'-6" X 18'-6". PARKING SUMMARY IS LISTED UNDER DESIGN GUIDELINES ITEM 'B' - 'OFF STREET PARKING'. 10 SPACES REQUIRED.

C. DRIVEWAY & PARKING NOTES  
1. DRIVEWAY TYPE SHALL BE DROP CURB TYPE II - MODIFIED DRIVEWAY.  
2. ANY FENCE OR DRIVEWAY CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT OF WAY REQUIRES A CERTIFICATE ISSUED BY CDDT.  
3. LOCATIONS AND WIDTHS OF ALL ADJACENT AND OPPOSING DRIVEWAYS ARE SHOWN. A 2 FOOT WIDE CURB & GUTTER ARE EXISTING.

D. SIDEWALKS  
1. A SIX FOOT (6') SIDEWALK WITH AN 8 FT. PLANTING STRIP WILL BE PROVIDED.

E. STORM WATER MANAGEMENT  
1. THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION CONTROLS ORDINANCE.



NOTE: WHERE THERE ARE ENTRIES OF SOLID WALLS, THEY WILL NOT EXCEED 20' IN LENGTH.

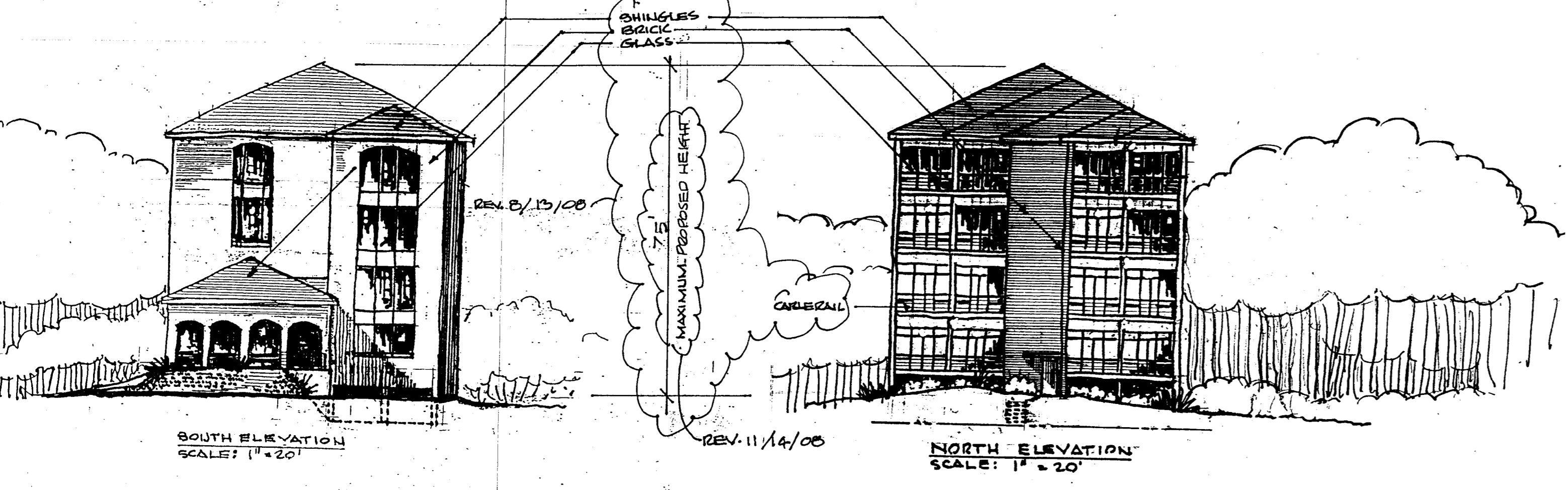
NOTE: TO THE ISSUANCE OF THIS PERMIT, THE PETITIONER WILL CONVEY RIGHT-OF-WAY IN FULL COMPLIANCE WITH THIS CITY, MEASURING 25' FROM THE CENTERLINE.

G. BUILDING  
1. THE BUILDING ENTRANCE IS APPROACHED BY A COVERED ARCADE TOTALING 336 SQUARE FEET PLUS A RECESS OF 3'-6" X 8'-0" WIDE EQUALING 28 SQUARE FEET, EXCEEDING THE REQUIRED 24 SQUARE FEET.  
2. CLEAR VISION GLASS IS PROPOSED FOR ALL GLAZING. GLAZING SHALL NOT HAVE A SELECTIVE VALUE IN EXCESS OF 30% (ALSO, NO SPANDREL GLASS WILL BE USED).

H. DEVELOPMENT STANDARDS  
1. IN ACCORDANCE WITH TABLE 12.302(a), NEW MULTI-FAMILY AND OFFICE USE DOES NOT REQUIRE ANY BUFFERING AND SCREENING FROM EXISTING OFFICE ZONING AND USE.

I. LIGHTING  
1. ALL FREESTANDING LIGHTING FIXTURES INSTALLED WILL BE UNIFORM IN DESIGN AND THE MAXIMUM HEIGHT OF ANY SUCH LIGHTING FIXTURE, INCLUDING ITS BASE MAY NOT EXCEED FIFTEEN FEET (15') IN HEIGHT.  
2. ALL DIRECT LIGHTING WITHIN THE SITE (INCLUDING STREET LIGHTS WHICH MAY BE ERRECTED ALONG PRIVATE DRIVES AND STREETS) WILL BE SHIELDED WITH FULL CUT OFF FIXTURES, NOT JUST CAPPED.

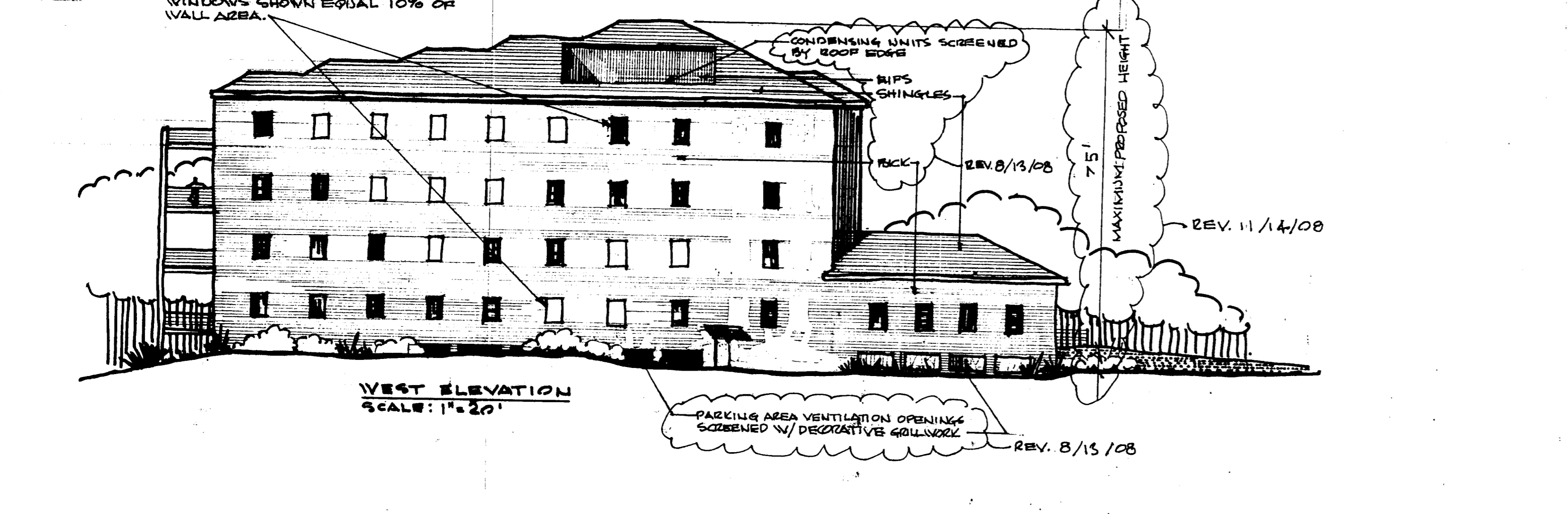
J. FIRE HYDRANTS  
1. FIRE HYDRANTS SHALL BE LOCATED WITHIN SEVEN HUNDRED FIFTY FEET (750') OF THE MOST REMOTE POINT OF BUILDINGS AS THE TRUCK TRAVELS. (EXISTING HYDRANT IS 40.0 FT FROM THE EDGE OF THE DRIVEWAY)



WINDOW PATTERNS WILL CHANGE. WINDOWS SHOWN EQUAL 10% OF WALL AREA.

CONDOMINIUM UNITS SCREENED BY ROOF BEAMS.

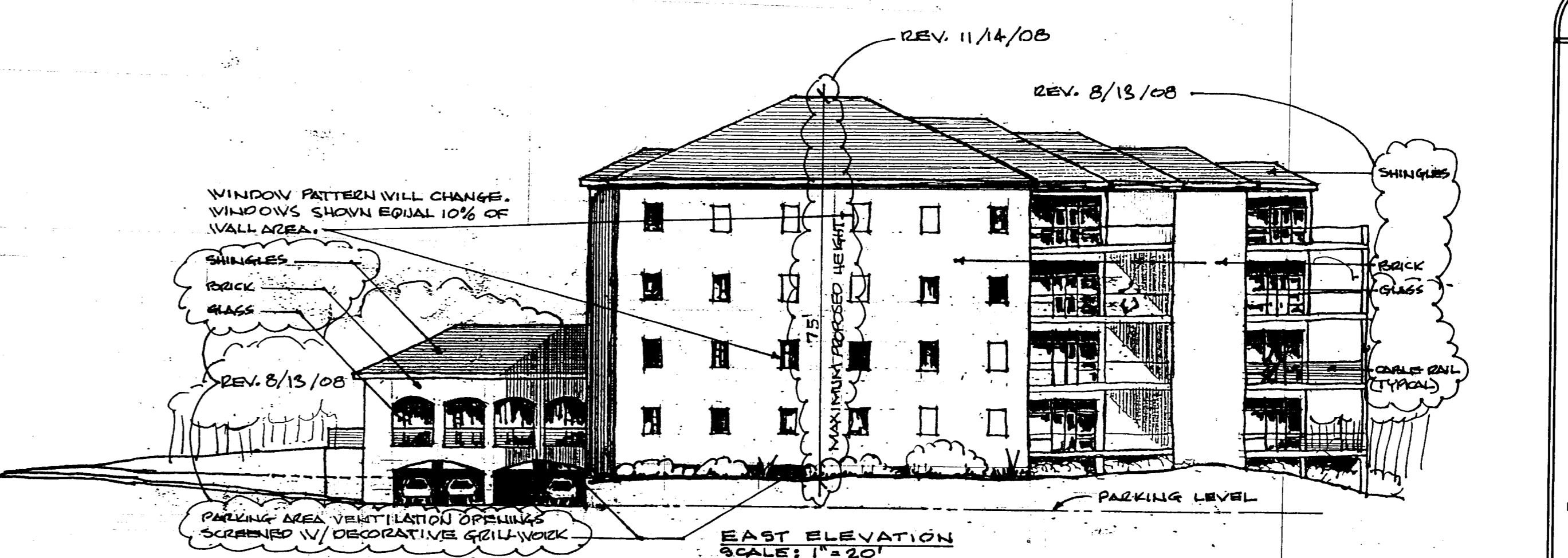
MAXIMUM PROPOSED HEIGHT



PARCEL INFO: OFFICE AREA = 1,186 sq ft  
RESIDENTIAL TOTAL AREA = 23,808 sq ft  
BUILDING IS 4 STORIES + BASEMENT PARKING  
MAXIMUM HEIGHT ABOVE AVERAGE GRADE = 15'

FID #: 12520130  
LOT SIZE: 3.6 ACRE / 15,133 SF  
CURRENT ZONING: O-2  
PROPOSED ZONING: MUDD (CD)  
PROPOSED USE: MIXED USE - 8 APARTMENTS  
1 OFFICE SUITE

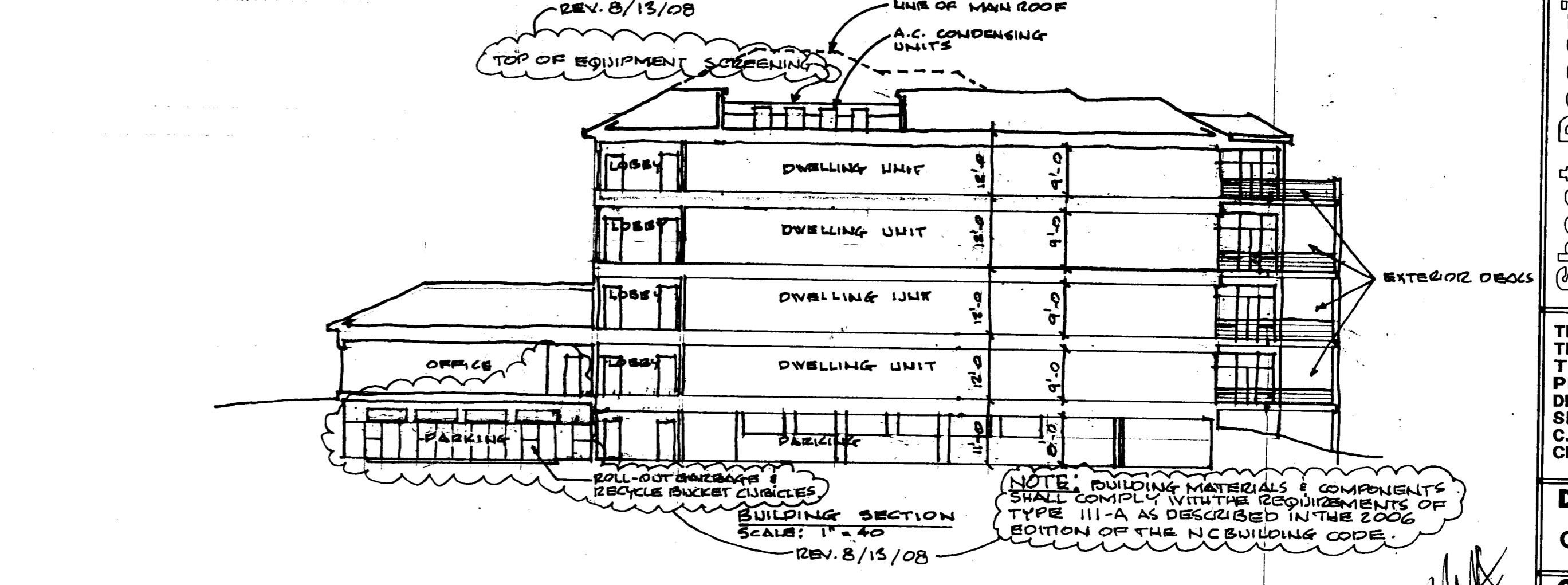
PARKING: 10 REQUIRED 14 PROVIDED  
SHORT TERM 2 REQUIRED 2 PROVIDED  
BI-CYCLE PARKING



WINDOW PATTERNS WILL CHANGE. WINDOWS SHOWN EQUAL 10% OF WALL AREA.

CONDOMINIUM UNITS SCREENED BY ROOF BEAMS.

MAXIMUM PROPOSED HEIGHT



PARCEL INFO: OFFICE AREA = 1,186 sq ft  
RESIDENTIAL TOTAL AREA = 23,808 sq ft  
BUILDING IS 4 STORIES + BASEMENT PARKING  
MAXIMUM HEIGHT ABOVE AVERAGE GRADE = 15'

FID #: 12520130  
LOT SIZE: 3.6 ACRE / 15,133 SF  
CURRENT ZONING: O-2  
PROPOSED ZONING: MUDD (CD)  
PROPOSED USE: MIXED USE - 8 APARTMENTS  
1 OFFICE SUITE

PARKING: 10 REQUIRED 14 PROVIDED  
SHORT TERM 2 REQUIRED 2 PROVIDED  
BI-CYCLE PARKING

FOR PUBLIC HEARING:  
REZONING PETITION #  
2008-116

Date:  
8/15/08

Sheet No.  
**C2**  
of 2