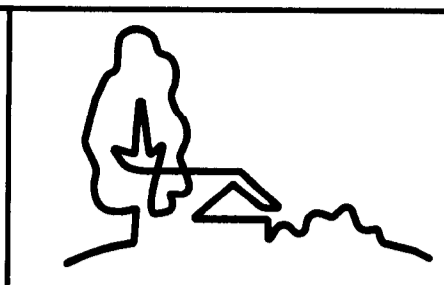


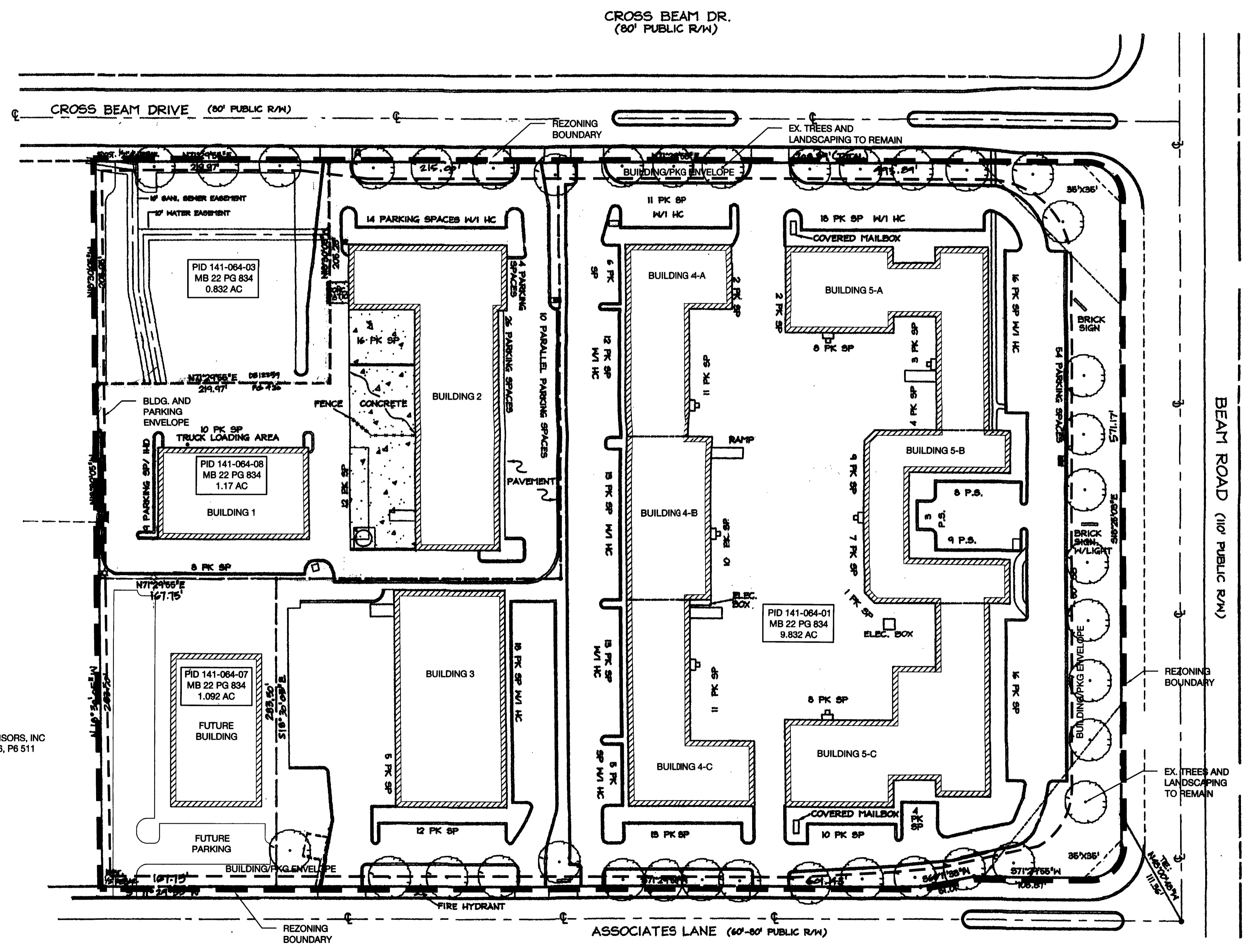
VICINITY MAP

DEVELOPMENT SUMMARY	
TAX PARCEL ID #:	141-064-01 (0.832AC) 141-064-03 (0.832AC) 141-064-07 (1.092AC) 141-064-08 (1.17AC)
TOTAL SITE AREA:	12.926AC
EXISTING ZONING:	B-D (CD)
PROPOSED ZONING:	I-2 (CD)
PROPOSED USE:	SEE DEV. STANDARDS
VEHICULAR PARKING:	PER ORDINANCE



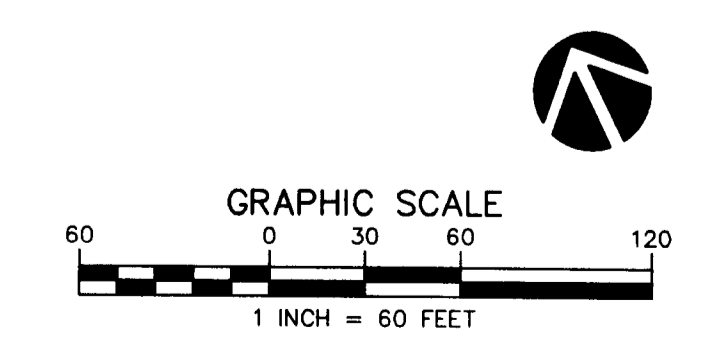
**URBAN
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PARTNERS**

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TELCO SENSORS, INC
DB 19976, P6 511

**APPROVED BY
CITY COUNCIL**
JUL 16 2012



CIP Real Estate

Mr. Jared Rogers
3809 Beam Road, Suite D
Charlotte, NC 28210

Coffey Creek International Business Center

Rezoning Plan - Petition #12-055
City of Charlotte, NC

NO.	DATE	BY	REVISIONS:
1	07/13/12	CC	Per City of Charlotte Comments

Project No: 12-023
Date: June 14, 2012
Designed by: udp
Drawn by: udp
Scale: 1" = 60'-0"
Sheet No:

RZ-1

DEVELOPMENT STANDARDS

General Provisions.

- a. Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases as allowed under the provisions of Section 6.2 of the Zoning Ordinance.
- b. The Petitioner acknowledges that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, bicycle parking, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator, and are not separate zoning conditions imposed by this site plan. Unless specifically noted in the conditions for this site plan, these other standard development requirements will be applied to the development of this site as defined by those other city ordinances.
- c. Throughout this Rezoning Petition, the terms "Owner", "Owners", "Petitioner" or "Petitioners," shall, with respect to the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the Site who may be involved in its development from time to time.

Purpose

The purpose of this Rezoning application is to provide for the continued use and development of a portion of an existing Coffee Creek Business Park development with frontage along Beam Road. This redevelopment will provide the location for a variety of business park and limited industrial uses consistent with other development in the airport area. To achieve this purpose, the application seeks the rezoning of the site to the I-2 (C2) district. This conditional district site plan will incorporate components of the original conditional rezoning notes for the site along with a detailed list of permitted uses.

Permitted Uses

- Uses allowed on the property included in this Petition are those uses that are included on the list below.
- The following uses shall be permitted by right.
 - Animal crematoriums. (Petition 2006-143, § 9.1102(1), 09/15/06)
 - Armories for meetings and training of military organizations.
 - Assembly or fabrication of previously manufactured parts, including but not limited to the following:
 - Apparel and other textile products
 - Electronic and other electric equipment, except electrical generator and distribution equipment
 - Fabric samples
 - Furniture and fixtures
 - Industrial machinery and equipment
 - Instruments and related products
 - Leather and leather products, excluding tanning or curing of hides
 - Lumber and wood products
 - Paper and allied products
 - Plastic and rubber products
 - Metal products
 - Transportation equipment
 - Other similar uses
 - Auction sales, within completely enclosed building.
 - Bakeries, retail and wholesale.
 - Barber and Beauty shops.
 - Building maintenance service.
 - Catalog and mail-order houses.
 - Civic, social service and fraternal facilities.
 - Clinics, medical, dental and optical
 - Clinics, veterinary.
 - Contractor offices and accessory storage, excluding the storage of construction equipment.
 - Distributive businesses.
 - Dry cleaning and laundry establishments.
 - Engraving.
 - Fabric sample assembly.
 - Financial institutions, up to 70,000 square feet.
 - Florists, retail and wholesale.
 - Government buildings, up to 100,000 square feet and Recreation Centers up to 30,000 square feet (I-2 only). (Petition 2005-63, § 9.1102(6), 06/20/05)
 - Government buildings, up to 400,000 square feet and Recreation Centers up to 30,000 square feet (I-1 only). (Petition 2005-63, § 9.1102(7), 06/20/05)
 - Graphics research and production.
 - Highway and railroad rights-of-way.
 - Indoor recreation.

Indoor recreation.

- Laboratories, medical, dental and optical.
 - Laboratories, for applied and basic research and testing of products, manufacture, processes or fabrication.
 - Locksmiths and gunsmiths.
 - Manufacturer's representatives, including offices, and repair and service facilities.
 - Merchandise showrooms, including warehousing in a single building.
 - Offices, up to 100,000 square feet.
 - Orthotics - Prosthetics Facilities.
 - Outdoor seasonal sales.
 - Parks, greenways and arboretums.
 - Pest control and disinfecting services.
 - Pet service indoor. (Petition No. 2010-044, § 9.1102(50.1), 9/20/10)
 - Post offices.
 - Printing and publishing.
 - Prototype production facilities and pilot plants.
 - Radio and television stations and/or offices.
 - Recycling centers, including drop-off centers.
 - Religious institutions.
 - Repair of any goods, equipment and vehicles, the manufacture, assembly or sales of which are permitted in that district.
 - Research uses.
 - Restaurants.
 - Retail establishments, shopping centers and business, personal and recreational services up to 25,000 square feet.
 - Showrooms, up to 70,000 square feet. (Petition No. 2005-105, § 9.1102(72.1), 11/17/03)
 - Sign painting, exclusive of manufacture.
 - Studios for artists, designers, photographers, musicians, sculptors, gymnasts, potters, wood and leather craftsmen, glass blowers, weavers, silversmiths, and designers of ornamental and precious jewelry.
 - Subdivision sales offices.
 - Telecommunications and data storage facility (Petition No. 2011-047, § 9.1102(66.5), 07/18/11)
 - Telephone booths.
 - Vocational schools.
 - Utility operations centers
 - Warehousing
 - Warehousing, within an enclosed building.
 - Wholesale sales establishments.
- The following uses shall be permitted if they meet the standards established in this Section and all other requirements of these regulations:
- Adult care center, subject to the regulations of Section 12.502.
 - Adult establishments, subject to the regulations of Section 12.518.
 - Building material sales, retail, and wholesale (Petition No. 2006-112, § 9.1103(7), 10/17/07)
 - (a) Primary vehicular access to the use shall be provided by a Class II (limited access arterial), Class III (major arterial), Class III-C (commercial arterial), Class IV (minor arterial), Class V-C (commercial street), or by a commercial cul-de-sac.
 - Bus stop shelters, subject to the regulations of Section 12.513.
 - Child care centers, subject to the regulations Section 12.502. (Petition No. 2003-008, § 9.1103(4), 2-17-03)
 - Crematory facilities, subject to the regulations of 12.542. (Petition No. 2012-012, § 9.1103(13.5), 03/19/2012)
 - Equipment rental and leasing (Petition No. 2006-112, § 9.1103(17), 10/17/07)
 - (a) Primary vehicular access to the use shall be provided by a Class II (limited access arterial), Class III (major arterial), Class III-C (commercial arterial), Class IV (minor arterial), Class V-C (commercial street), or by a commercial cul-de-sac.

Fence and fence materials, retail and wholesale (Petition No. 2006-112, § 9.1103(18), 10/17/07)

- (a) Primary vehicular access to the use shall be provided by a Class II (limited access arterial), Class III (major arterial), Class III-C (commercial arterial), Class IV (minor arterial), Class V-C (commercial street), or by a commercial cul-de-sac.

Large childcare centers, subject to the regulations of Section 12.502, (Petition No. 2003-008, § 9.1103(9.1), 2-17-03)

Manufacturing (light) uses (Petition No. 2006-112, § 9.1103(27), 10/17/07, (Petition No. 2009-045, § 9.1103(27)(b), 07/20/09)

- (a) Uses
 - Alcoholic beverages, up to 5,500 square feet
 - Bakery products
 - Batteries
 - Beverages
 - Boat and ship building
 - Brooms and brushes
 - Burial caskets
 - Candy and confectionery products
 - Cigarettes, cigars and chewing tobacco
 - Communications equipment
 - Computer and office equipment
 - Costume jewelry and notions
 - Dairy products
 - Electrical lighting and wiring equipment
 - Electric components and accessories
 - Electronic equipment
 - Fabricated metal products, excluding use of blast furnaces or drop forges
 - Grain mill products
 - Household audio and visual equipment
 - Household appliances
 - Ice
 - Jewelry, silverware, and plated ware
 - Measuring and controlling devices
 - Meat products, excluding slaughtering and dressing
 - Medical instruments and supplies
 - Musical instruments
 - Ophthalmic goods
 - Pens, pencils, office and art supplies
 - Pharmaceuticals
 - Plastic products, fabricated from previously prepared plastic materials
 - Preserved fruits and vegetables
 - Pumps
 - Search and navigation equipment
 - Signs
 - Toys and sporting goods
 - Watches, clocks, watchcases and parts
 - Other similar uses
- (b) Primary vehicular access to the use shall be provided by a Class II (limited access arterial), Class III (major arterial), Class III-C (commercial arterial), Class IV (minor arterial), Class V-C (commercial street), or by a commercial cul-de-sac.
- (c) All structures and buildings shall be located a minimum of 300' from any abutting residentially used or zoned property. Distances shall be measured from the closest edge of the structure to the property line of the residential use or zoning district.

Manufacturing (heavy) uses (Petition No. 2006-112, § 9.1103(28), 10/17/07)

- (a) Uses
 - All manufacturing operations permitted in I-1
 - Aircraft and parts
 - Agricultural chemicals
 - Alcoholic beverages
 - Electrical industrial apparatus
 - Engines and turbines
 - Fabricated metal products
 - Furniture and fixtures
 - Glass and glassware
 - Guided missiles, space vehicles and parts
 - Industrial machinery
 - Ordinance and accessories
 - Refrigerator and service machinery
 - Sugar refining
 - Textile mill products
 - Wire products
 - Other similar uses
- (b) Primary vehicular access to the use shall be provided by a Class II (limited access arterial), Class III (major arterial), Class III-C (commercial arterial), Class IV (minor arterial), Class V-C (commercial street), or by a commercial cul-de-sac.
- (c) All structures and buildings shall be located a minimum of 300' from any abutting residentially used or zoned property. Distances shall be measured from the closest edge of the structure to the property line of the residential use or zoning district.
- (d) Outdoor production, processing, or repair of equipment shall be located no closer than 300' from any abutting residentially used or zoned property. Distances shall be measured from the closest edge of the outdoor production, processing, or repair area to the property line of the residential use or zoning district.

Mobile Food Vending Service, subject to Section 12.510.

Nonconforming structures and uses, subject to the regulations of Chapter 7.

Off-street parking, subject to the regulations of Chapter 12, Part 2.

Offices and government buildings, over 400,000 square feet, provided that:

- (a) Primary vehicular access to the use will not be by way of a residential local (Class V) street; and
- (b) The use will be separated by a Class B buffer from any abutting property located in a residential zoning district (See Section 12.302); and
- (c) Submission of traffic impact analysis in accordance with provisions of subsection 9.703(17)(c) to identify any needed on-site transportation improvements.

Open space recreational uses, subject to the regulations of Section 12.516.

Pet services indoor/outdoor, subject to the regulations of Section 12.541.

Public utility structures, subject to the regulations of Section 12.504.

Public utility transmission and distribution lines, subject to the regulations of Section 12.509.

Radio, telephone, cellular telephone and television masts, towers, antennas and similar structures, subject to the regulations of subsection 12.108(7) or subsection 12.108(8).

Short-term care facilities, subject to the regulations of Section 12.522.

Temporary buildings and storage of materials provided that:

The use is in conjunction with the construction of a building on the same lot where construction is taking place or on an adjacent lot. Such temporary uses shall be terminated upon completion of construction.

Universities, colleges, and junior colleges, provided that:

There will be no on-site dormitories, resident halls or similar student housing associated with this use. (Petition 2002-45, § 9.1103, 5/20/02)

Transportation

- a. The site will have access to Cross Beam Drive and Associates Lane via an existing private driveways as generally depicted on the concept plan for the site.
- b. Parking areas are indicated on the concept plan for the site.
- c. All parking areas will be paved. All parking driveways will be located at least 15' from the front of a building. No loading dock will be allowed to front on Beam Road unless adequately screened.

Architectural Standards

The development of the site will be governed by the existing duly recorded covenants and restrictions.

Streetscape and Landscaping

Reserved

Environmental Features

Reserved

Parks, Greenways, and Open Space

An association of all property owners will be created and will be responsible for the following:

- a. Provide for the proper maintenance of all greenways, buffers, and other association controlled property.
- b. Maintain the greenway areas in generally natural condition, especially controlling the cutting of trees.
- c. Carry out all obligations assigned to it by established and recorded restrictive covenants.

Fire Protection

Reserved

Signage

The size, shape, design, and location of all signs shall comply with the requirements of the ordinance, except that billboards will not be permitted.

Lighting

- a. Any new freestanding lighting on the site installed after the effective date of the approval of this conditional plan will utilize full cut-off luminaires and no "wall pak" type lighting will be utilized, except that architectural lighting on the exterior of buildings will be permitted.
- b. All utility distribution lines for buildings within 500 feet of Beam Rd. will be located underground.

Phasing

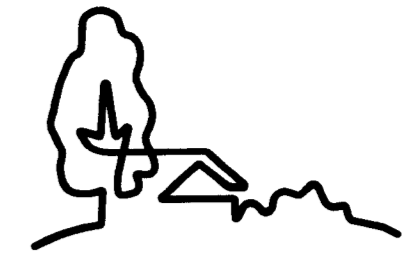
Reserved

1

Additional conditions carried forward from existing approved site plan.

The following information associated with rezoning petition 1988-12(C) is carried forward as part of this revised site plan. These are original conditions from Petition 1988-12(C) and are not new conditions established as part of this rezoning.

- o Before any building is constructed, approval shall be secured from an architectural design review committee. The architectural design review committee shall be created in accordance with requirements set forth in the restrictive covenants described below and shall carry out those duties assigned to it by these requirements and/or the applicable covenants.
- o Except during building construction, no temporary structures will be allowed.
- o All proposed signs will be reviewed by the architectural review committee.
- o Along Beam Road a 50-foot setback area (measured from the future right-of-way) is to be landscaped with no parking permitted. Landscaping is to include grass, trees, shrubs and/or fencing.
- o Along Beam Road an additional 25' strip on each side of the existing right-of-way is to be reserved for future road improvements.
- o The maximum building coverage for the area being rezoned will be the same as in the original approved Petition 1988-12 (C).



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Rezoning Plan - Petition #12-055
City of Charlotte, NC

APPROVED BY CITY COUNCIL

JUL 16 2012

NO.	DATE	BY	REVISIONS:
1	07.13.12	CC	Per City of Charlotte Comments

Project No: 12-023
Date: June 14, 2012
Designed by: uip
Drawn By: uip
Scale: NTS
Sheet No:

RZ-2