

**GENERAL PROVISIONS:**

A. DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN AND BY THE STANDARDS OF THE CHARLOTTE ZONING ORDINANCE. THE DEVELOPMENT DEPICTED ON THIS PLAN IS INTENDED TO REFLECT THE ARRANGEMENT OF PROPOSED USES ON THE SITE, BUT THE EXACT CONFIGURATION, PLACEMENT, AND SIZE OF INDIVIDUAL SITE ELEMENTS MAY BE ADJUSTED OR MODIFIED WITHIN THE LIMITS PRESCRIBED BY THE ORDINANCE DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES AS ALLOWED UNDER THE PROVISIONS OF SECTION 6.2 OF THE ZONING ORDINANCE.

B. THE PETITIONER ACKNOWLEDGES THAT OTHER STANDING DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, SUCH AS THOSE THAT REGULATE SIGNAGE, TREE, BICYCLE PARKING AND SITE DEVELOPMENT, MAY APPLY TO THE DEVELOPMENT OF THIS SITE. THESE ARE NOT ZONING REGULATIONS, AND ARE NOT ADMINISTERED BY THE ZONING ADMINISTRATOR, AND ARE NOT SEPARATE ZONING CONDITIONS IMPOSED BY THIS SITE PLAN. UNLESS SPECIFICALLY NOTED IN THE CONDITIONS FOR THIS SITE PLAN, THESE OTHER STANDING DEVELOPMENT REQUIREMENTS WILL BE APPLIED TO THE DEVELOPMENT OF THIS SITE AS DEFINED BY THOSE OTHER CITY ORDINANCES.

C. THROUGHOUT THIS ZONING PETITION, THE TERMS "OWNER," "OWNER/DEVELOPER" OR "PETITIONER" SHALL, WITH RESPECT TO THE SITE, BE DEEMED TO INCLUDE THE OWNER, DEVELOPER OR OWNER OF ANY SUBSEQUENCES IN INTEREST AND ASSIGNEES OF THE OWNER OR OWNERS OF THE SITE WHO MAY BE INVOLVED IN ITS DEVELOPMENT FROM THE TIME TO TIME.

**PURPOSE:** THE PURPOSE OF THIS ZONING APPLICATION IS TO PROVIDE FOR THE REDEVELOPMENT OF A PORTION OF AN EXISTING OFFICE DEVELOPMENT WITH FRONTAGE ALONG PIPER STATION DRIVE AND REA RD. THIS REDEVELOPMENT WILL PROVIDE THE LOCATION FOR UP TO 8,000 SQUARE FEET OF RETAIL AND OFFICE USES. TO ACHIEVE THIS PURPOSE, THE APPLICATION SEEKS TO MODIFY THE CURRENT NS ZONING FOR THIS SITE WITH AN NS SITE PLAN AMENDMENT.

**PERMITTED USES:** USES ALLOWED ON THE PROPERTY INCLUDED IN THIS PETITION ARE THOSE USES AND ACCESSORY USES THAT ARE PERMITTED IN THE NS DISTRICT INCLUDING RESTAURANTS, EXCEPT THAT A DRIVE THROUGH SERVICE WINDOW WILL NOT BE ALLOWED. A TWO LEVEL PARKING STRUCTURE MAY ALSO BE CONSTRUCTED ON THE SITE.

**TRANSPORTATION:** A. THE SITE WILL HAVE ACCESS TO PIPER STATION DRIVE VIA AN EXISTING PRIVATE DRIVEWAY AS SHOWN ON THE CONCEPT PLAN FOR THE SITE. B. PARKING AREAS ARE INDICATED ON THE CONCEPT PLAN FOR THE SITE. C. EXISTING SIDEWALKS WILL REMAIN ALONG REA ROAD AND PIPER STATION DRIVE.

**ARCHITECTURAL STANDARDS:** THE DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE DISTRICT REGULATIONS OF THE ZONING ORDINANCE FOR THE NS. LARGE EXPANSES OF WALL EXCEEDING 20-FEET IN LENGTH WILL BE AVOIDED THROUGH THE INTRODUCTION OF ARTICULATED FACADES, USING VARIOUS MATERIALS SUCH AS BRICK AND OTHER MASONRY PRODUCTS, STONE, DIFFERENT COLORS OF PAINT, GLASS WINDOWS, WATER TABLE, AND/OR SOLID CORE. THE PETITIONER HAS ALSO PROVIDED TYPICAL ELEVATION IMAGES OF THE BUILDING THAT REPRESENT THE OVERALL SCALE, CHARACTER, AND QUALITY OF THE BUILDING. THE PETITIONER RESERVES THE RIGHT TO MAKE MINOR ARCHITECTURAL CHANGES TO THESE BUILDING DESIGNS BUT THE OVERALL DESIGN AND CONSTRUCTION CHARACTER WILL BE AS ILLUSTRATED. THE LIGHTING FOR THE PARKING DECK BE AT OR EXCEED THE IESNA STANDARDS SPECIFICALLY IN THE SHOWN. THE SECOND LEVEL OF THE DECK WILL BE SCREENED FROM VIEW FROM REA ROAD.

**STREETSCAPE AND LANDSCAPING:** EXISTING TREES ALONG THE SITE BOUNDARY WITH THE ADJACENT MULTIFAMILY COMMUNITY WILL REMAIN AS PART OF THE BUFFERING OF OFF STREET PARKING. THE PETITIONER RESERVES THE RIGHT TO REPLACE TREES THAT ARE DAMAGED BY RETAINING WALL CONSTRUCTION. THE PROPOSED PARKING ON THE EASTERN PORTION OF THE SITE WILL BE WELL SCREENED WITH TREES AND SHRUBS TO SCREEN PARKING FROM THE ADJACENT MULTI-FAMILY DEVELOPMENT AND PUBLIC STREET.

**ENVIRONMENTAL FEATURES:** THE LOCATION, SIZE AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN AND SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT INTENDED TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND WASTEWATER DISCHARGE POINTS.

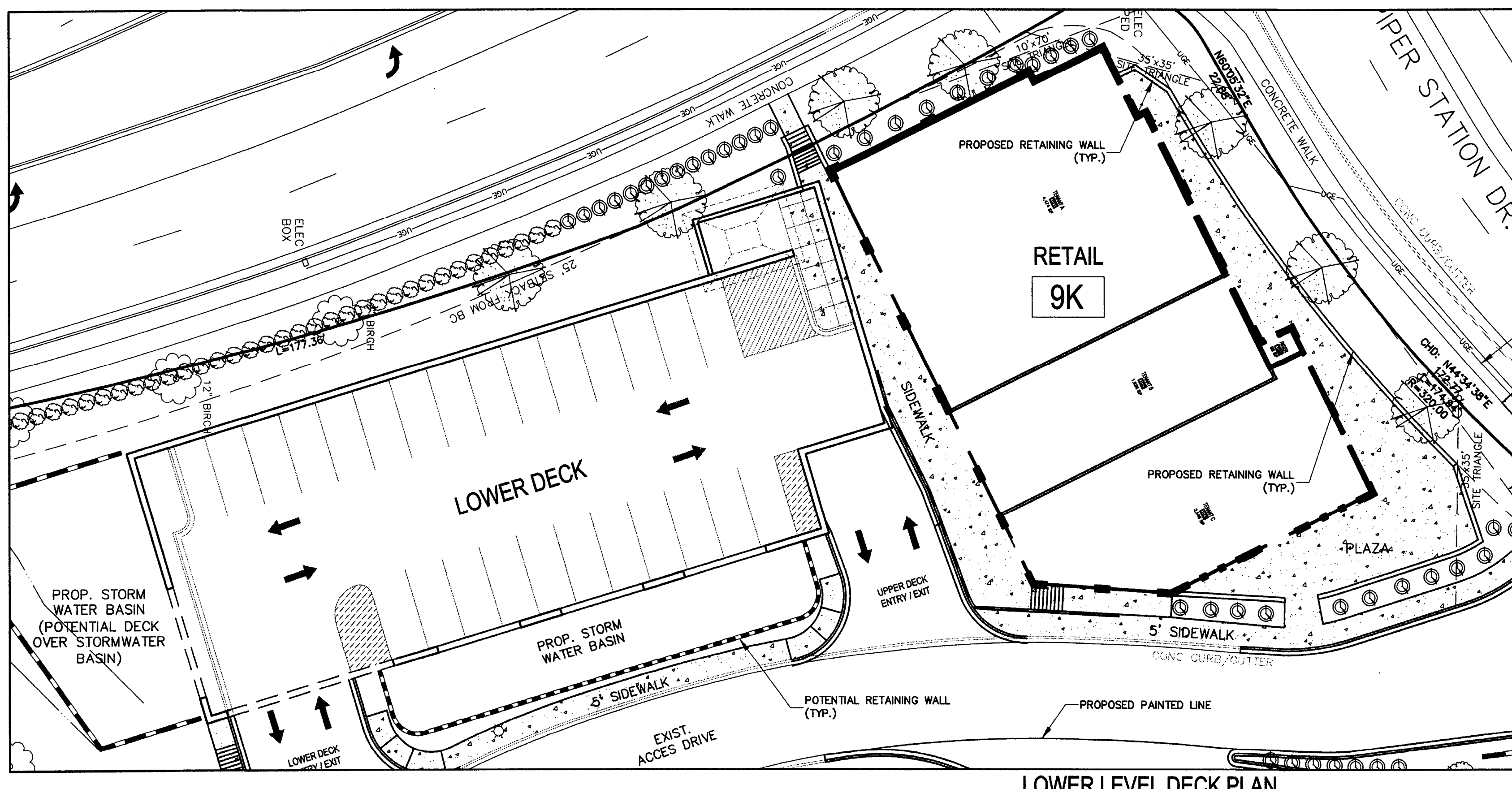
**PARKS, GREENWAYS, AND OPEN SPACE:** RESERVED

**FIRE PROTECTION:** RESERVED

**SIGNAGE:** RESERVED

**LIGHTING:** A DETACHED AND ATTACHED LIGHTING ON THE SITE WILL BE FULLY SHIELDED AND DOWNWARDLY DIRECTED. DETACHED LIGHTING WILL BE LIMITED TO 25' IN HEIGHT.

**PHASING:** RESERVED



- LEGEND**
- EXISTING TREE
  - EXISTING TREE
  - EXISTING TREE
  - PROPOSED TREE
  - EXISTING SHRUB
  - PROPOSED SHRUB
  - POTENTIAL RETAINING WALL

**DEVELOPMENT DATA:**  
 TAX PARCEL: 22904505  
 EXISTING ZONING: NS  
 TOTAL SITE AREA: 7.057 ACRES  
 PROPOSED SITE AREA: 1.72 ACRES  
 PROPOSED ZONING: NS-SFA

**LOT SETBACK:**  
 FRONT: 25' FROM BACK OF CURB  
 REAR: 10' NONRESIDENTIAL; 20' RESIDENTIAL  
 SIDE: 0' NONRESIDENTIAL; 10' RESIDENTIAL

ATTACHED TO ADMINISTRATIVE APPROVAL  
 MAR 5 2015

PRELIMINARY  
 DO NOT USE FOR CONSTRUCTION  
 GRAPHIC SCALE  
 1 INCH = 20 FEET

PETITION #: 2014-033

Project: PIPER STATION RETAIL  
 CHARLOTTE, NORTH CAROLINA

**SITE PLAN AMENDMENT**

File #: 12317-02.0MG Date: 02/10/15 Project Eyr: 81U  
 Design By: TSL  
 Drawn By: TSL  
 Scale: 1"=20'

**ISAACS**  
 CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
 CHARLOTTE, N.C. 28217  
 PHONE (704) 527-3440 FAX (704) 527-8335

**RZ1.0**

**Charlotte-Mecklenburg Planning Department**

**DATE:** March 5, 2015

**TO:** Mark Fowler  
 Zoning Supervisor

**FROM:** Ed McKinney  
 Interim, Planning Director

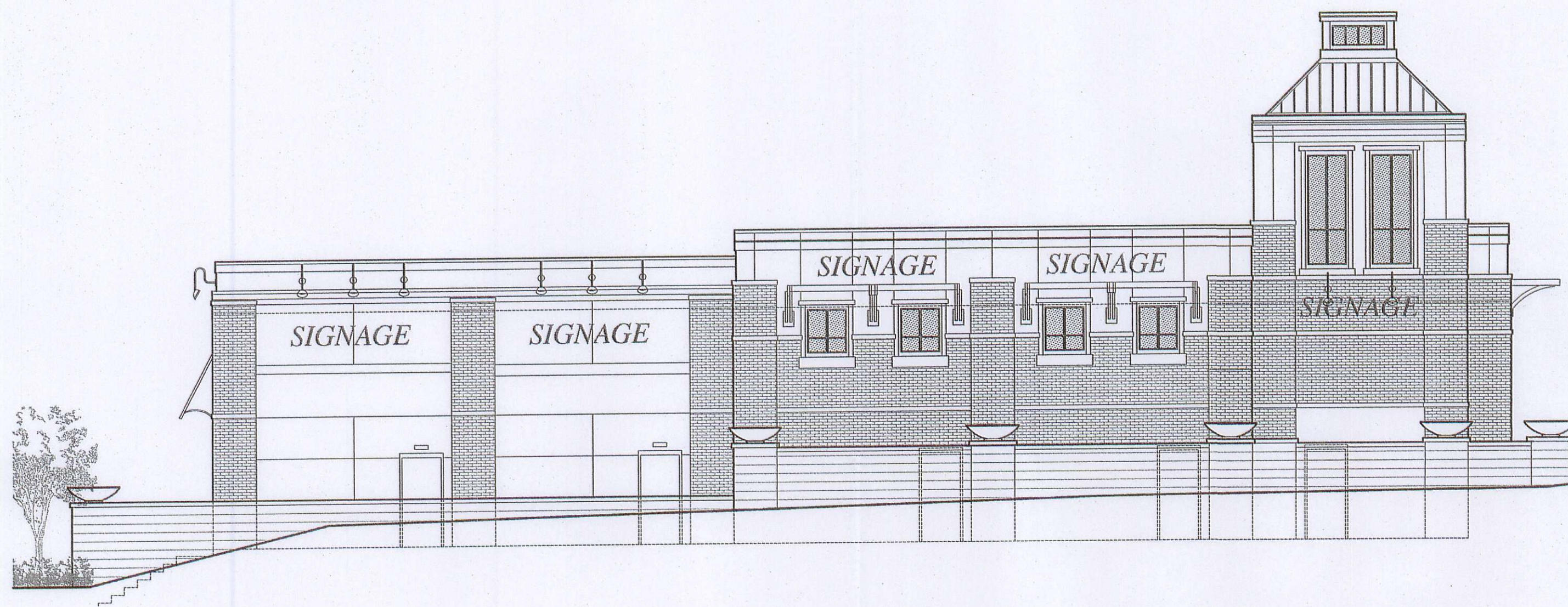
**SUBJECT:** Administrative Approval for Petition No. 2014-033 Colony at Piper Glen, LLC

Attached is the revised site plan for the petition above. This request allows the modification of the proposed dumpster location and storm water detention area. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

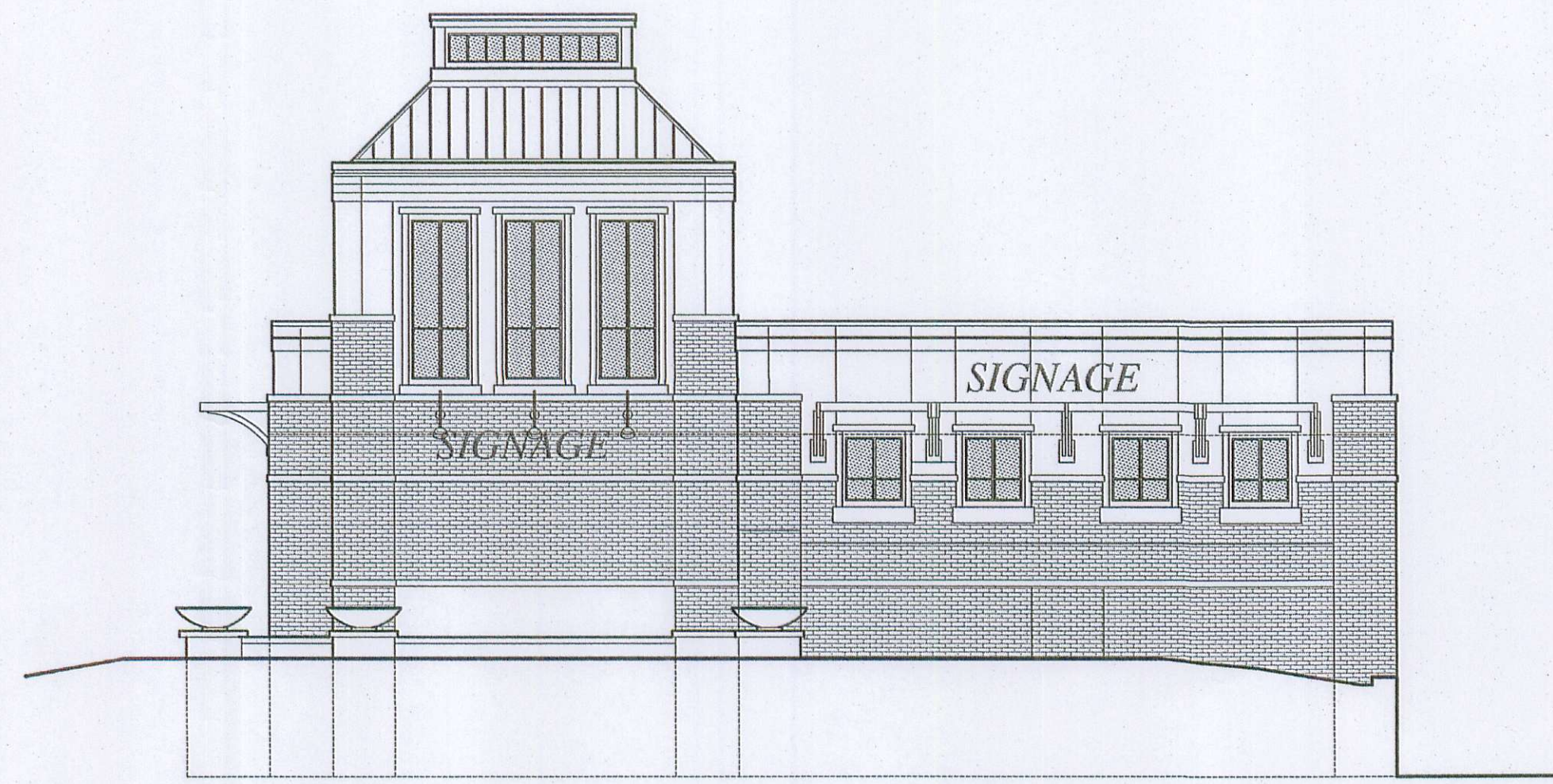
Reasons for Staff's support of the request:  
 • The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

**Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.**

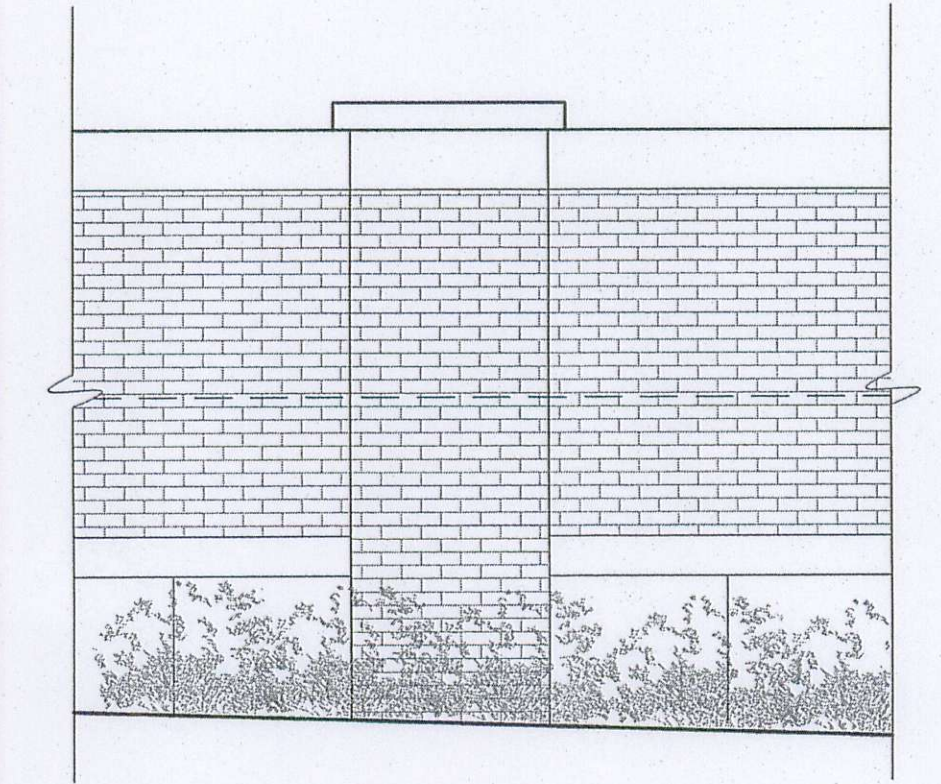
**Signage was note reviewed as part of this request.**



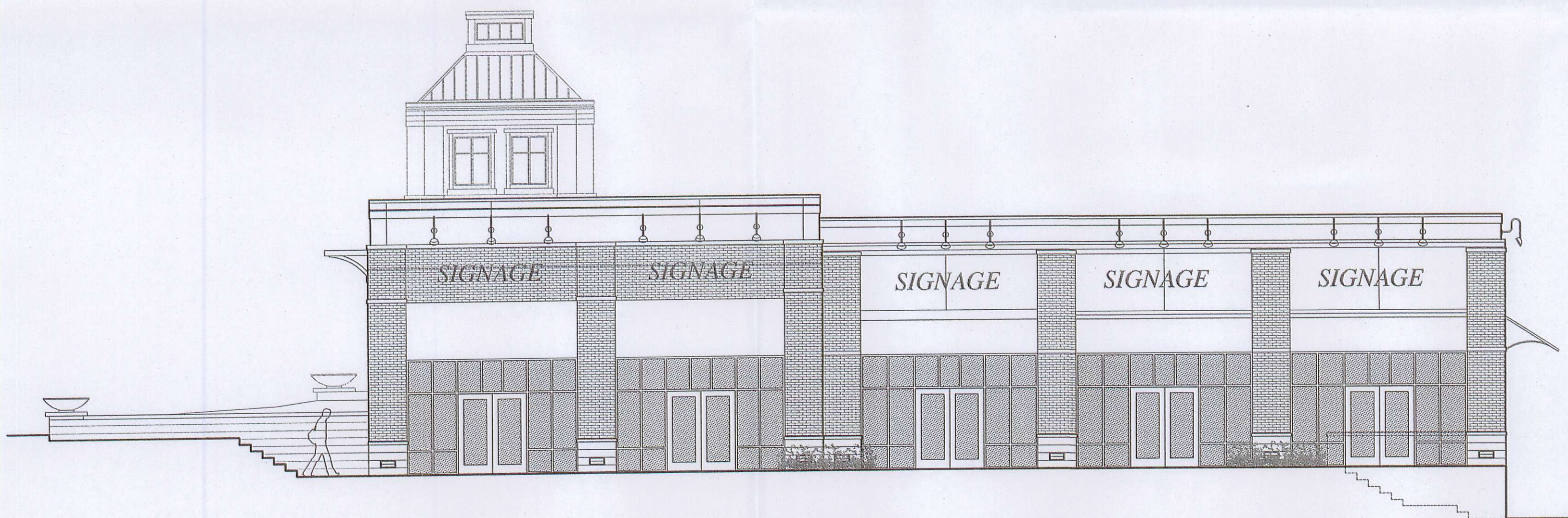
**1** NORTH ELEVATION PIPER STATION DR.  
SCALE: 1/8" = 1'-0"



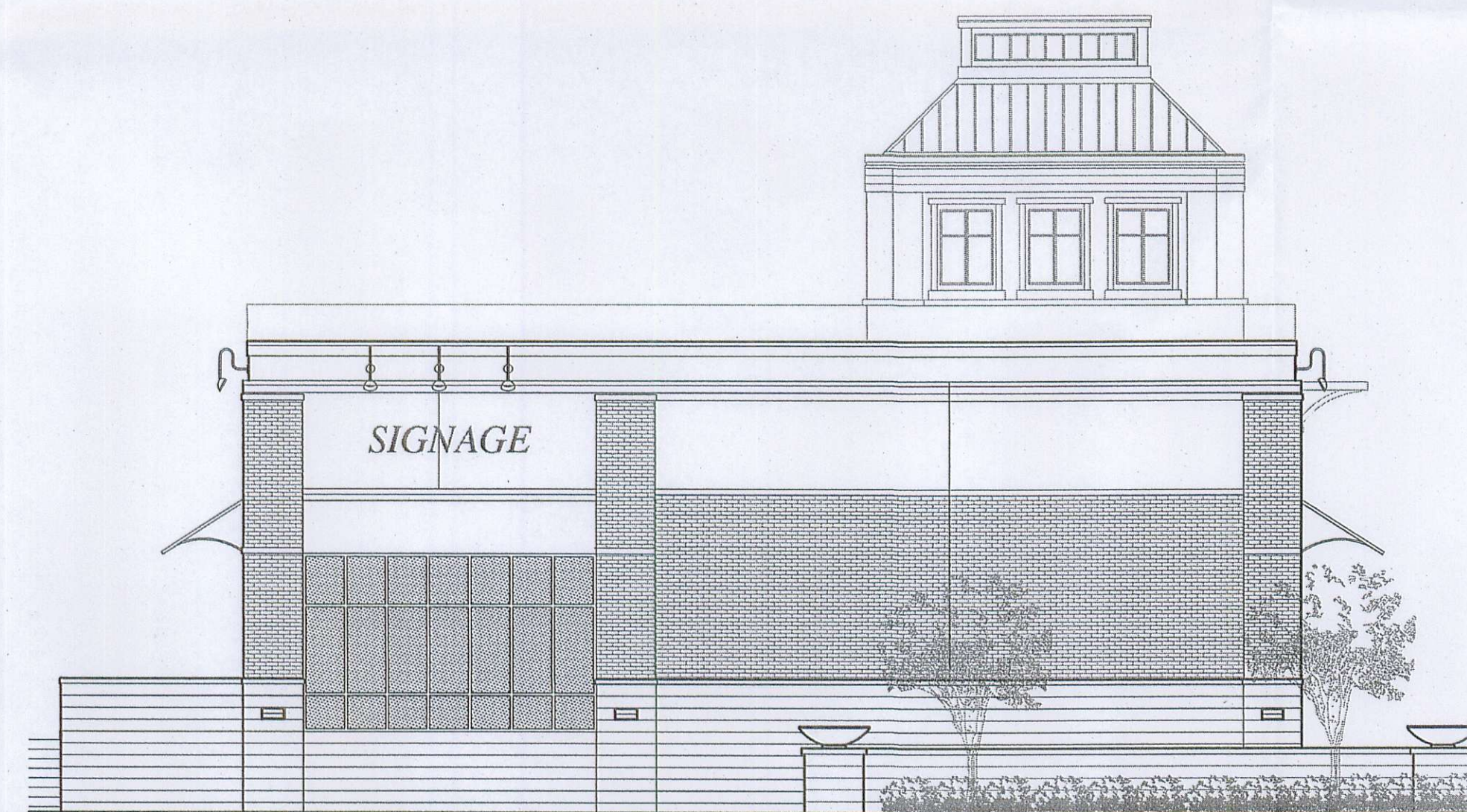
**2** WEST ELEVATION REA ROAD  
SCALE: 1/8" = 1'-0"



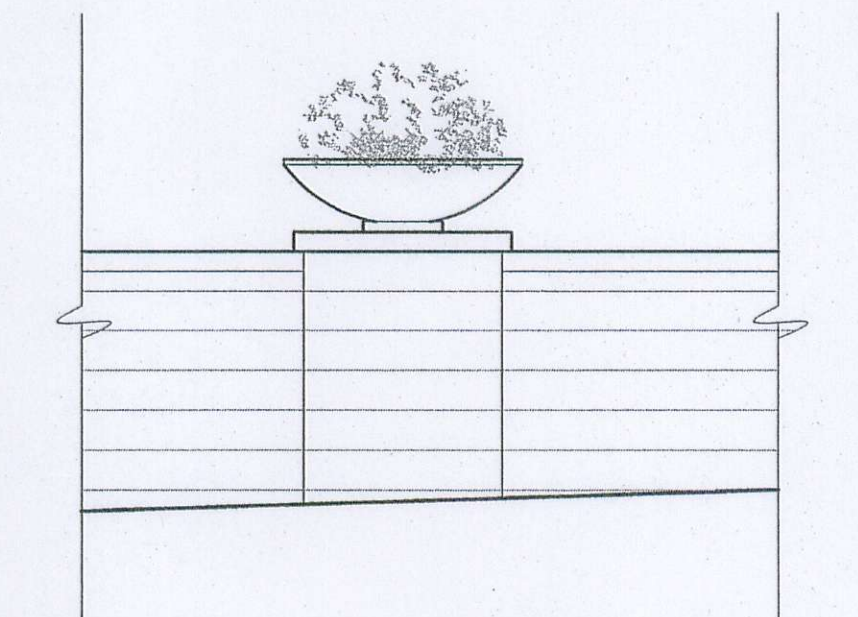
**3** DECK ELEVATION PARTIAL REA ROAD  
N.T.S.



**4** SOUTH ELEVATION FROM PARKING AREA  
SCALE: 1/8" = 1'-0"



**5** EAST ELEVATION AT ENTRY DRIVE  
SCALE: 1/8" = 1'-0"



**6** RETAINING WALL ELEVATION PARTIAL  
N.T.S.

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**PIPER STATION RETAIL SCHEMATIC BUILDING ELEVATIONS**

CHARLOTTE, North Carolina - RJa Project #SP-663 - 04 . 21 . 14

**BUILDING MATERIAL NOTES:**  
brick and other masonry products, stone, different colors of paint, glass windows, water table, and/or soldier course.

ATTACHED TO ADMINISTRATIVE APPROVAL

MAR 5 2015

SJ SF



**ROBERT JOHNSON architects**  
1808 West Morehead St.  
Charlotte, NC 28208  
T 704 / 342.1058  
F 704 / 342.3043  
E info@rjarchitects.com



## Charlotte-Mecklenburg Planning Department

**DATE:** February 11, 2016

**TO:** Donald Moore  
Zoning Supervisor

**FROM:** Ed McKinney  
Interim, Planning  
Director

**SUBJECT:** Administrative Approval for Petition No. 2014-033 Colony at Piper Glen, LLC

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

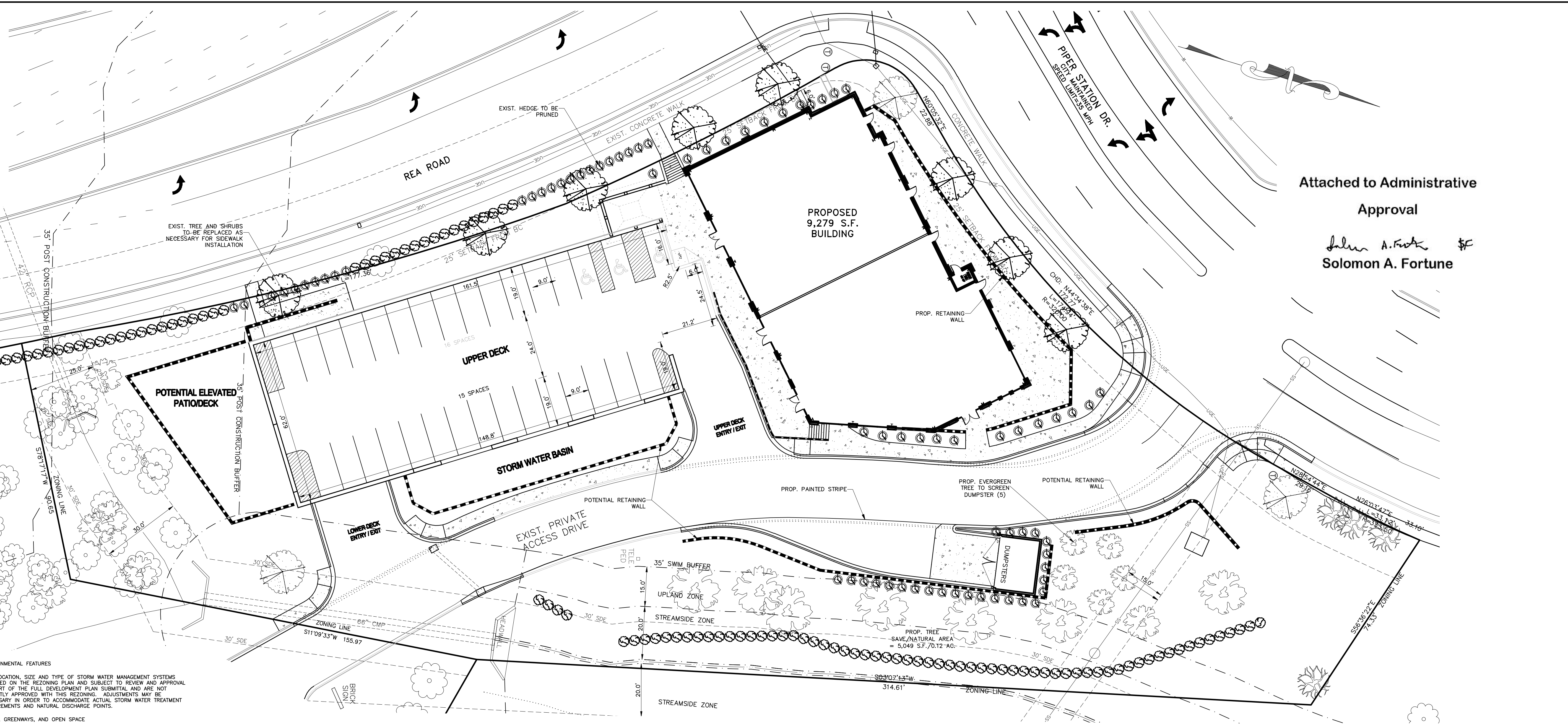
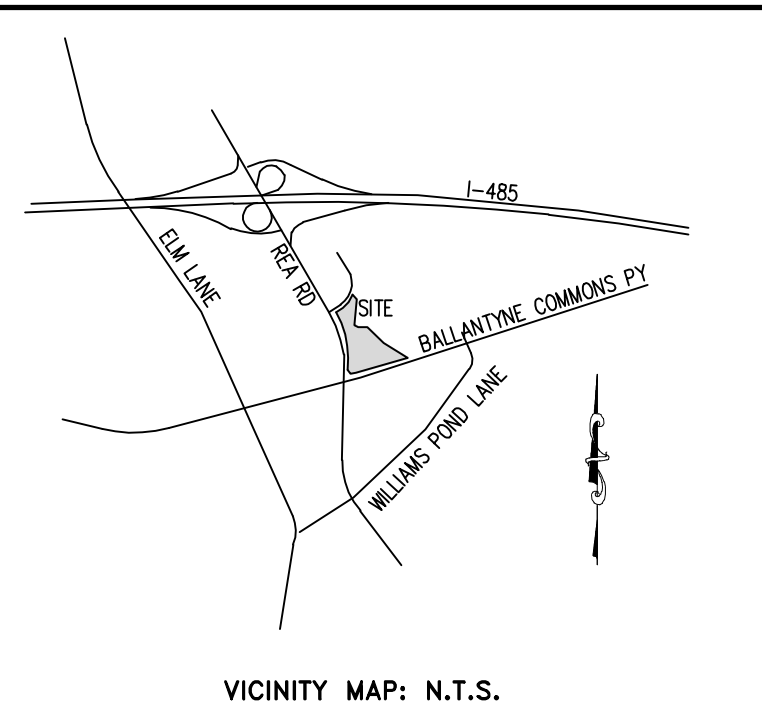
- To allow an additional 279 square feet increase per Chapter 6 section 6.207.
- Modification to the proposed screen wall.

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

**Note: All other Zoning, Subdivision, Tree Ordinances, Building Codes, and conditional requirements still apply.**

**Signage was note reviewed as part of this request.**



Attached to Administrative Approval

Solomon A. Fortune

**GENERAL PROVISIONS:**

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PARKS, GREENWAYS, AND OPEN SPACE

RESERVED

FIRE PROTECTION

RESERVED

SIGNAGE

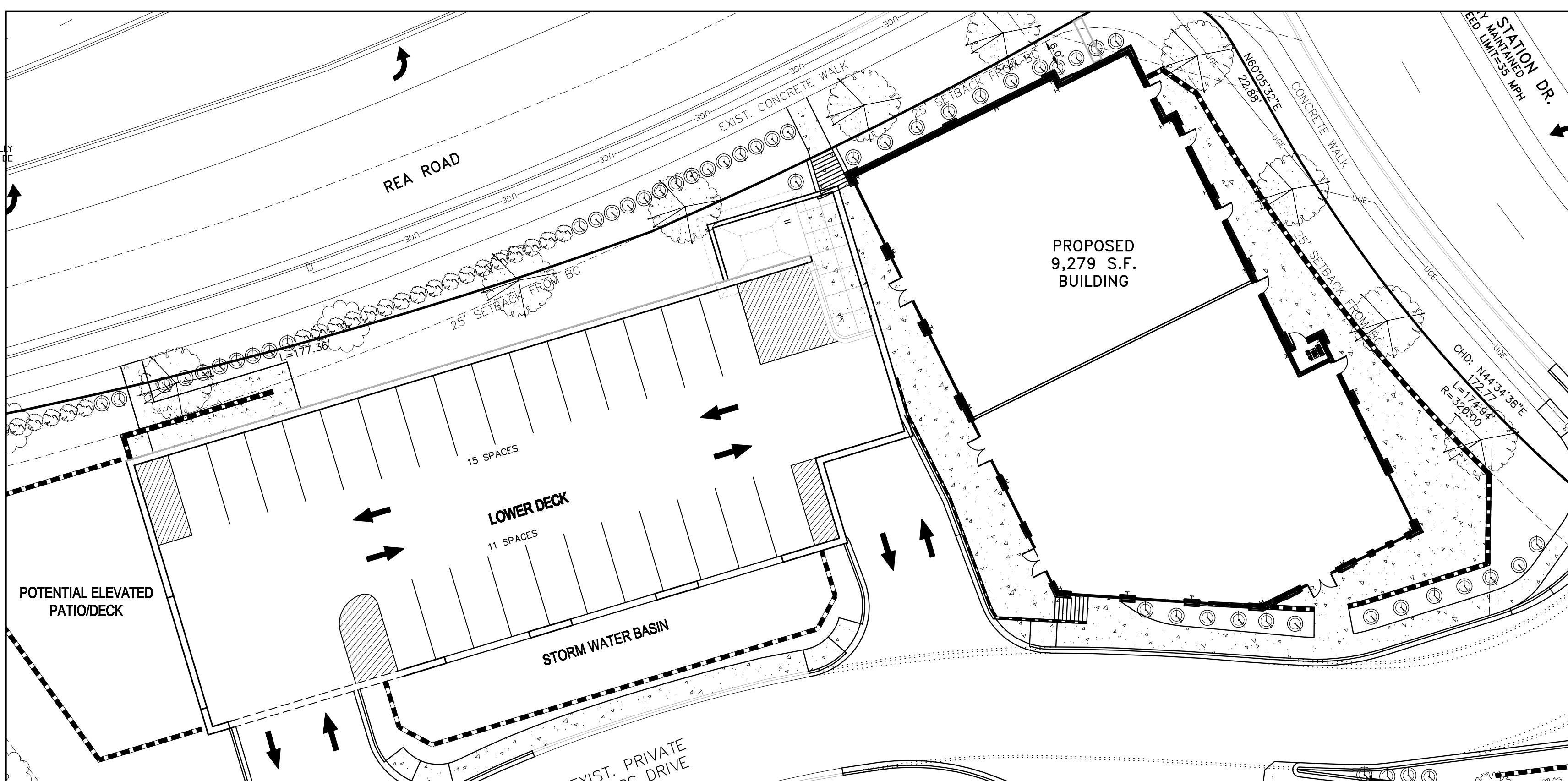
RESERVED

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PHASING

RESERVED



**LEGEND**

- EXISTING TREE
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- PROPOSED TREE
- EXISTING SHRUB
- PROPOSED SHRUB
- POTENTIAL RETAINING WALL

**DEVELOPMENT DATA:**

TAX PARCEL: 22504505  
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 PROPOSED SITE AREA: 1.72 ACRES  
 PROPOSED ZONING: NS-SFA

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 FRONT: 25' FROM BACK OF CURB  
 REAR: 10' NONRESIDENTIAL; 20' RESIDENTIAL  
 SIDE: 0' NONRESIDENTIAL; 10' RESIDENTIAL

**PETITION #: 2014-033**

**PRELIMINARY**  
 DO NOT USE FOR CONSTRUCTION

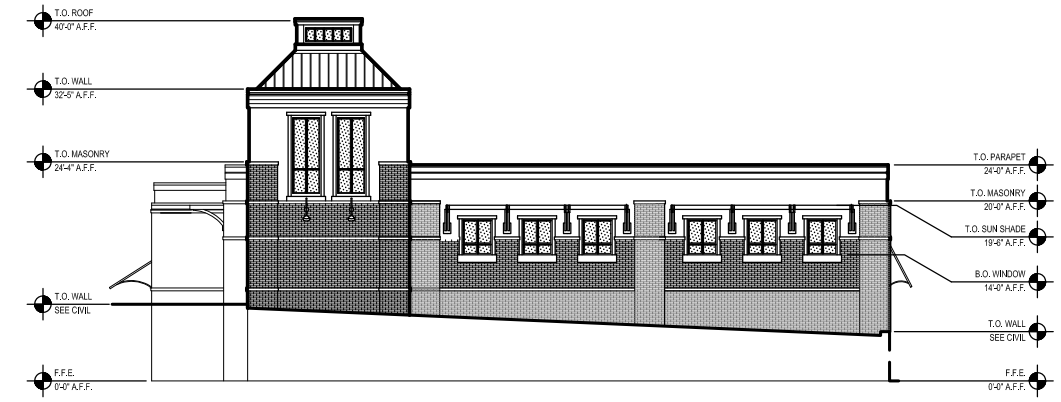
GRAPHIC SCALE  
 1" = 20 FEET

NO.	BY	DATE	REVISION
1	CBH	12/31/15	PER INCREASED BUILDING SIZE

**ISAACS GROUP**  
 CIVIL ENGINEERING DESIGN AND SURVEYING  
 8720 RED OAK BOULEVARD, SUITE 420  
 CHARLOTTE, N.C. 28217  
 PHONE (704) 527-3440 FAX (704) 527-8335

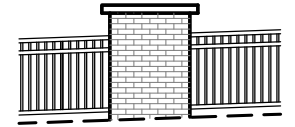
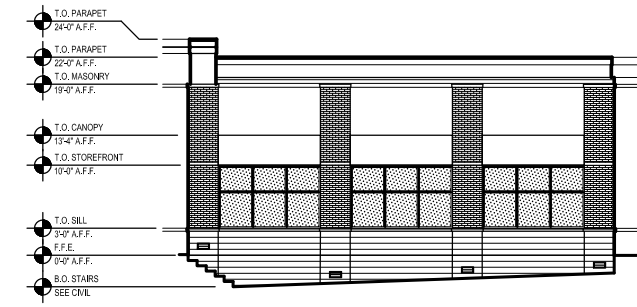
**RZ1.0**

LOWER LEVEL DECK PLAN

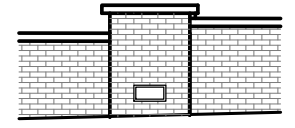


Attached to Administrative  
Approval

*Solomon A. Fortune* \$F  
Solomon A. Fortune



SCREEN WALL AT RETAIL BUILDING



SCREEN WALL AT PARKING DECK



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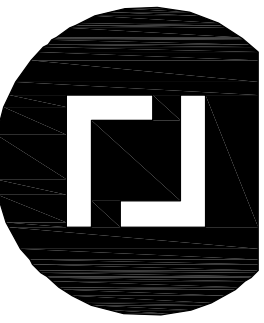


ROBERT JOHNSON  
architects

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Charlotte, NC 28208  
T 704 / 342.1058  
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E info@rjarchitects.com

# PIPER STATION RETAIL - ELEVATIONS

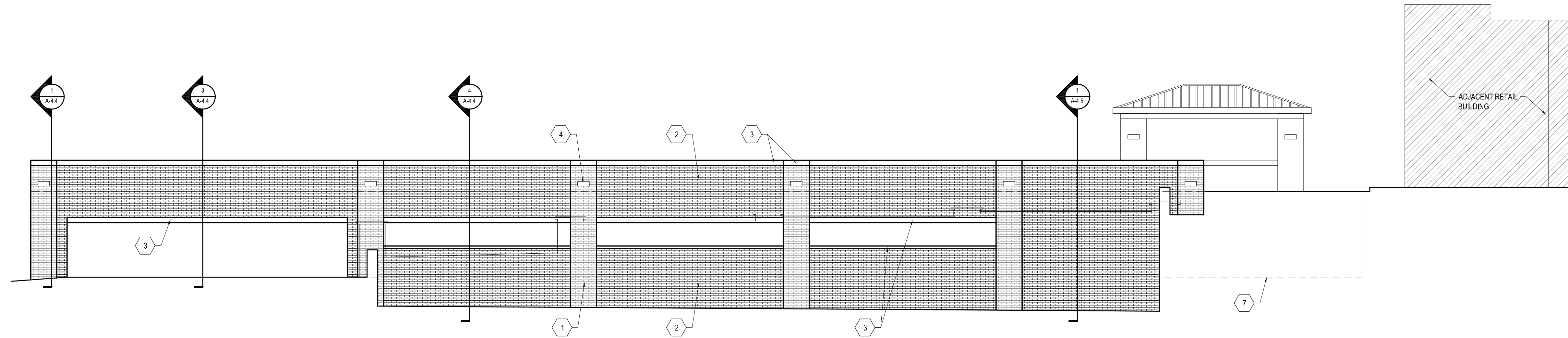
Charlotte, NC - RJA Project #1513 - 02.03.16



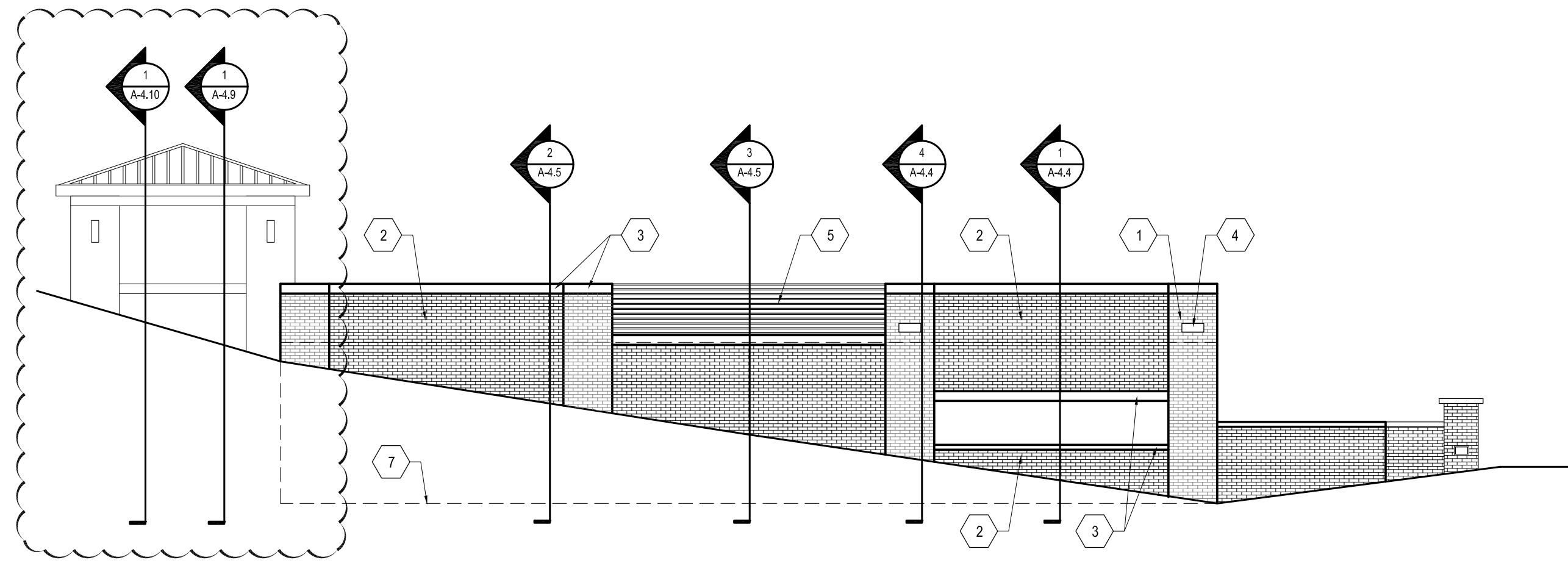
**ROBERT JOHNSON**  
architects  
1808 West Morehead St.  
Charlotte, NC 28208  
T 704 / 342.1058  
F 704 / 342.3043

**KEYED NOTES**

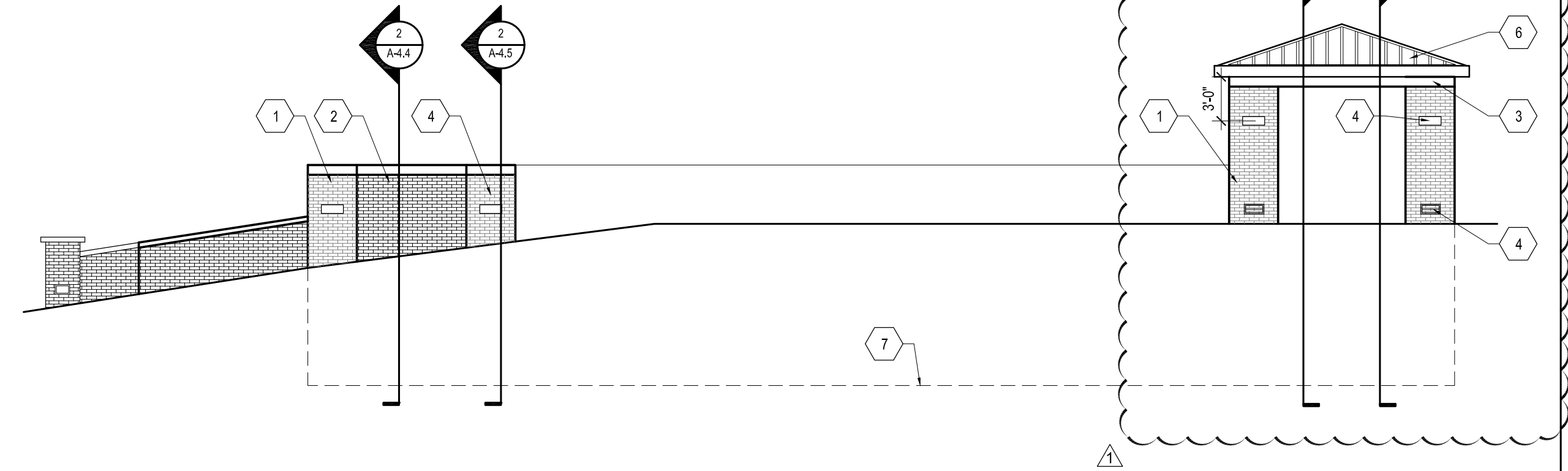
- 1 BRICK VENEER SET IN PRECAST PANELS - TAYLOR OR APPROVED EQUAL - COLOR #1
- 2 THIN BRICK VENEER SET IN PRECAST PANELS - TAYLOR OR APPROVED EQUAL - COLOR #2
- 3 EXPOSED CONCRETE PRECAST PANELS
- 4 LIGHT FIXTURE - SEE ELECTRICAL
- 5 CABLE GUARD RAIL SYSTEM
- 6 STANDING SEAM METAL ROOFING - BERRIDGE OR APPROVED EQUAL
- 7 LINE OF GARAGE LEVEL BELOW



1 EAST ELEVATION (ACCESS DRIVE)  
A3.1 Scale: 1/8"=1'-0"



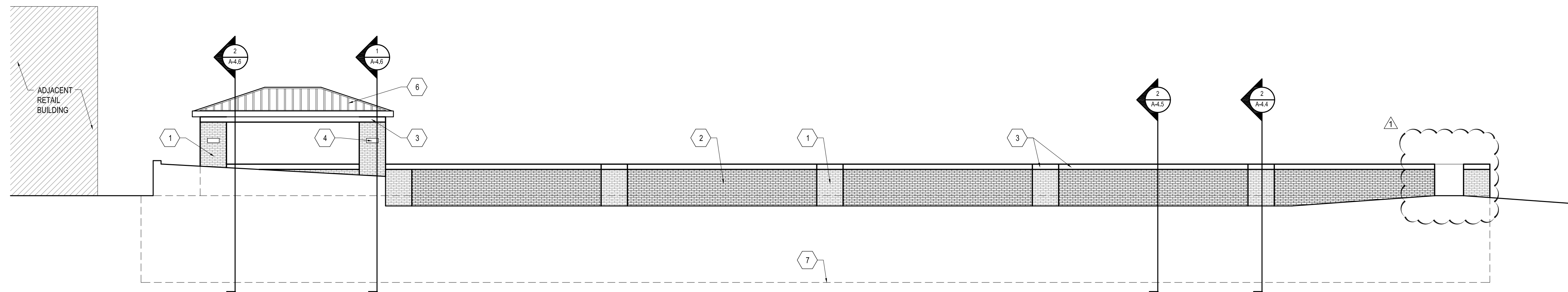
2 SOUTH ELEVATION  
A3.1 Scale: 1/8"=1'-0"



3 NORTH ELEVATION  
A3.1 Scale: 1/8"=1'-0"

Attached to Administrative  
Approval

*Solomon A. Fortune*  
Solomon A. Fortune



4 WEST ELEVATION (REA ROAD)  
A3.1 Scale: 1/8"=1'-0"



**PIPER STATION  
RETAIL**  
CHARLOTTE, NORTH CAROLINA

PROJECT NUMBER	1513
<b>ISSUE DATE</b>	
FOR CONSTRUCTION ONLY	04.15.15
REVISED PER COUNTY	05.06.15

**DRAWING DATA**  
DRAWN BY: TH  
CHECKED BY: RJ  
FILE NUMBER: 1513\_A3.X.dwg

**SHEET TITLE**  
EXTERIOR  
ELEVATIONS  
GARAGE

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**SHEET NUMBER**

**A3.1**