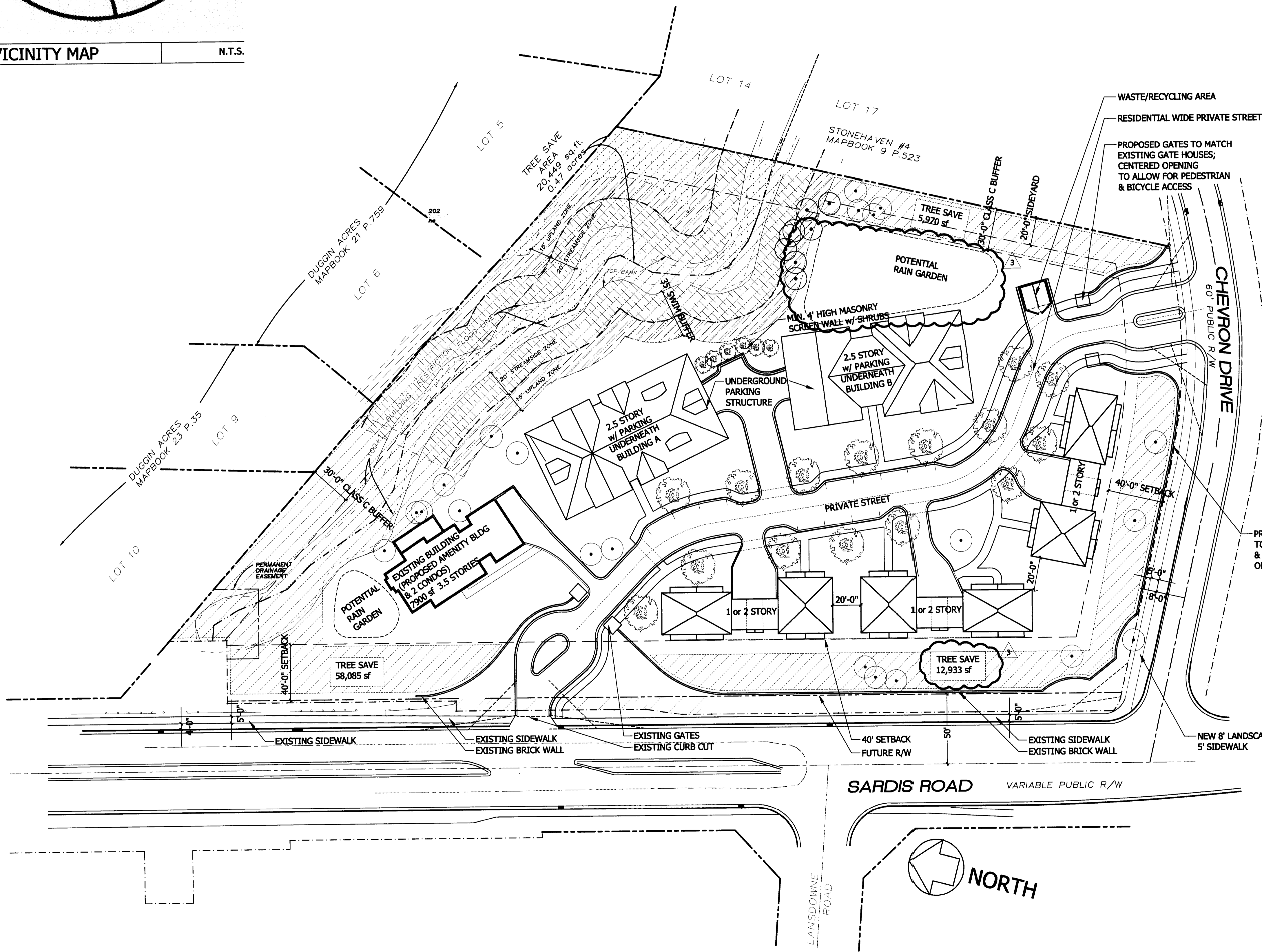


02 VICINITY MAP N.T.S.

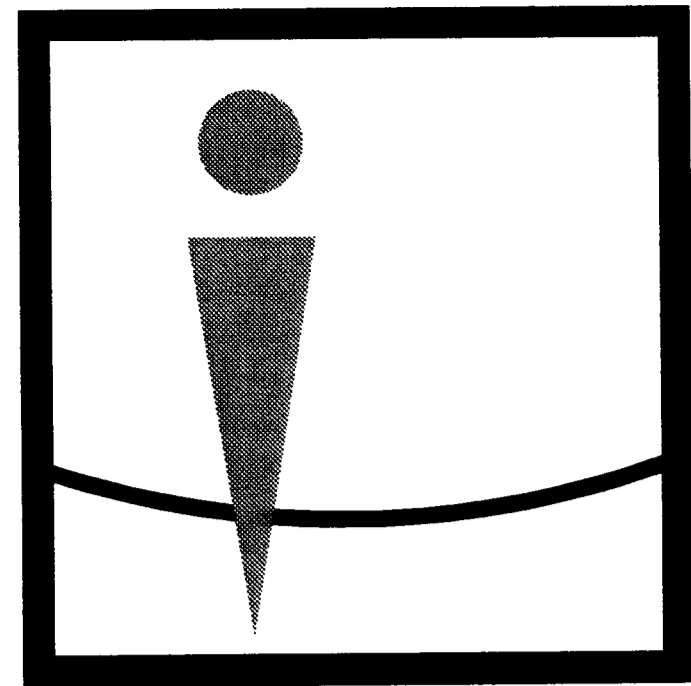
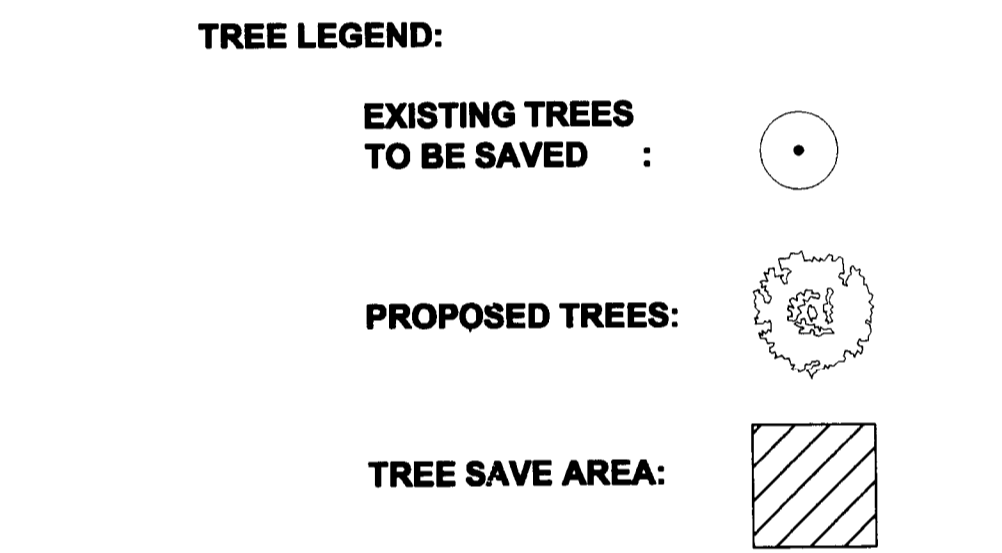


Development Summary

Tax Parcel ID#s: 18914223, 18914224, 18914225, 18914226, 18914227, 18914228, 18914229, 18914230, & 18914231
Total Site Acreage: 5.05 acres
Existing Zoning: R-3
Existing Use: Single family residence (empty) & vacant land
Proposed Zoning: Institutional (CD)
Proposed Uses: Age restricted, senior living community, containing up to 54 independent living units and amenities

Maximum Building A/B Height: 40' measured from the front elevation
 53' measured from back elevation at bottom of parking structure
 • Max. Number of Stories: 2.5 Stories w/ parking underneath
Maximum 1 to 2 Story Building Height: 40'
 • Max. Number of Stories: 2 Stories
Parking Spaces: 81 Spaces
Parking Ratio: 1.5 spaces per unit
Setback Requirements:
 • Front Public R/W: 40'
 • Sideyard: 20'
 • Rearyard: 20'
Development Totals:
 • Multi-Family: 52 Units
 • Amenity Building: Public Space & 2 Condos

Pervious Space: 62%
Impervious Space: 38%
Open Space: 50%
Tree Save Areas: 35%
 • Total Tree Save Area: 76,988 sf
 • Total Site Area: 219,978 sf



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APPROVED BY CITY COUNCIL

OCT 17 2011

BLACKSTOWNE

SHADY KNOLL

SARDIS RD.
 CHARLOTTE, NC

PETITION # 2011-033
 FOR PUBLIC HEARING

KEY PLAN

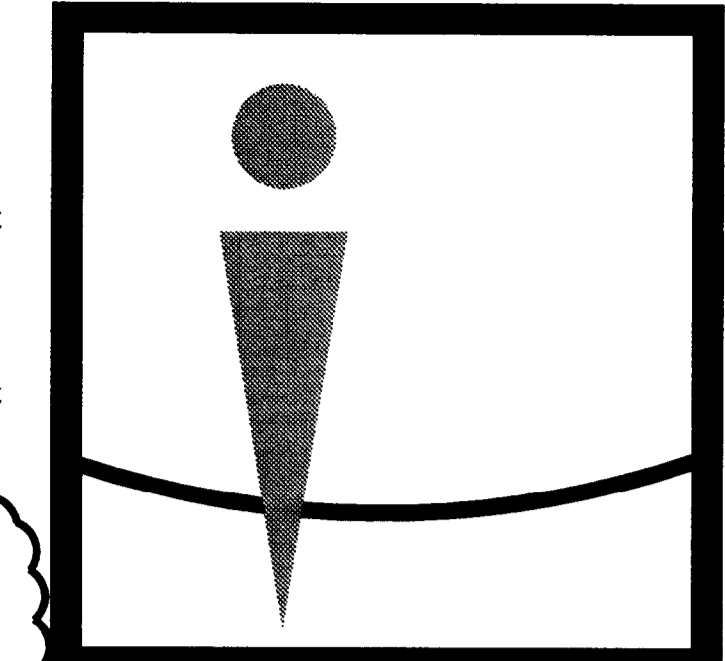
ISSUE	:	---
INITIAL SUBMITTAL	:	03/28/11
REZONING RESUBMITTAL	:	06/17/11
1 REZONING REVISIONS 1	:	08/19/11
2 REZONING REVISIONS 2	:	09/23/11
3 REZONING REVISIONS 3	:	10/17/11
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SITE PLAN

RECEIVED
 OCT 21 2011
 BY: _____

RZ-1 2011-033

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REZONING REVISIONS 3	10/17/11

**ELEVATIONS &
NOTES**

RZ-2

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General Provisions

- These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Sardis Road Land Company, LLC to accommodate the development of an age restricted senior living community comprised of for sale independent living units and related common areas and amenities on that approximately 5.05 acre site located on the eastern side of Sardis Road between Chevron Drive and Waverly Hall Drive (the "Site").
- Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
- Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the Institutional (CD) zoning district shall govern all development taking place on the Site.
- Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

Permitted Uses

- The Site may only be devoted to an age restricted senior living community comprised of a maximum of 54 for sale independent living units and related common areas and amenities, and to any accessory uses that are permitted under the Ordinance in the Institutional zoning district.
- The senior independent living units shall be located in duplex style buildings and in two multi-family style buildings designated as Building A and Building B on the Rezoning Plan, and 2 independent living units shall be located in the amenity building.
- This senior living community is intended to provide housing primarily for persons 55 years of age or older. As a result, this residential community shall be an age restricted community and shall comply with the requirements of the State and Federal Fair Housing Acts. Each dwelling unit, if occupied, shall be regularly occupied by at least one person 55 years of age or older. However, in the event of the death of a person who was the sole occupant 55 years of age or older of a dwelling unit, the remaining occupant or occupants may continue to occupy the same dwelling unit as long as the provisions of the State and Federal Fair Housing Acts are not violated by such occupancy. No person under 19 years of age shall reside in any dwelling unit located on the Site for more than 90 days in any calendar year. The foregoing age restrictions shall be placed in the restrictive covenants to be recorded that will govern this senior living community.

Amenities and Services

- A security system shall be provided for each independent living unit.
- Exterior home maintenance and lawn maintenance shall be provided by the homeowners association.
- An amenity building with a computer room, central meeting areas, exercise equipment and a theatre shall be provided to serve the residents of this senior living community.
- A nature trail and walking path shall be provided on the Site, provided, however, that the nature trail and walking path may not be located within the SWIM Buffer.
- The above referenced amenities and services shall be available only to the residents of this senior living community and their guests.

Transportation

- Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of each vehicular access point are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation and/or the North Carolina Department of Transportation.
- As depicted on the Rezoning Plan, the internal street shall be a private street that meets the standards of a residential wide street type. Access into the Site may be controlled through the installation of gates at the Sardis Road and Chevron Drive entrances to the Site. The gates shall be equipped with a "click to enter device" or a similar device approved by the City of Charlotte to ensure access for emergency vehicles and delivery vehicles. A turn around area for delivery vehicles is not provided since they will have the ability to drive through the Site to exit the Site through the use of the click to enter device or a similar device.
- The exact alignment of the proposed residential wide private street may be slightly altered during the construction permitting process to maximize the preservation of trees and to improve the street's horizontal alignment.
- Vehicular parking will meet the minimum standards established under the Ordinance. Off-street vehicular parking shall be provided underneath Building A and Building B and in the garages and on the driveways associated with the duplex style buildings. Additionally, on-street vehicular parking shall be provided as generally depicted on the Rezoning Plan.
- The parking areas underneath Building A and Building B shall be screened from abutting properties by masonry walls of a height that is sufficient to shield the abutting properties from headlights, however, in no event shall the height of such walls be less than 4 feet.
- As depicted on the Rezoning Plan, a masonry wall with a minimum height of 4 feet and shrubs shall be installed along the eastern terminus of the driveway between Building A and Building B to shield the abutting properties from headlights.
- Internal sidewalks and pedestrian connections shall be provided on the Site as generally depicted on the Rezoning Plan. The internal sidewalks may meander to save existing trees.

- The sidewalks located along the internal street may be located at the back of curb adjacent to the on-street vehicular parking spaces as depicted on the Rezoning Plan.
- Sidewalk connections to Sardis Road and to Chevron Drive shall be provided as generally depicted on the Rezoning Plan.
- Prior to obtaining planned multi-family approval for this senior living community, the Petitioner shall dedicate and convey (by quitclaim deed and subject to a reservation for any necessary utility easements) those portions of the Site immediately adjacent to Sardis Road as required to provide right of way measuring 50 feet from the existing centerline of Sardis Road if such right of way does not currently exist.

Architectural Standards

- Set out on Sheet RZ-2 of the Rezoning Plan are schematic architectural renderings of the front elevation of Building A and the front elevation of Building B that are intended to depict the general conceptual architectural style and character of the front elevations of these buildings. Accordingly, the front elevation of Building A shall be designed and constructed so that it is substantially similar in appearance to the schematic architectural rendering of the front elevation of Building A, and the front elevation of Building B shall be designed and constructed so that it is substantially similar in appearance to the schematic architectural rendering of the front elevation of Building B. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.
- The primary exterior building materials for each building to be constructed on the Site shall be brick, cementitious board, hardi-plank and architectural shingles. Vinyl shall not be a permitted exterior building material, provided, however, that vinyl may be utilized on the soffits of the buildings to be constructed on the Site and vinyl windows may be installed on the buildings.
- Each duplex style building constructed on the Site shall be compatible in appearance and quality to Building A and Building B through the use of similar exterior building materials, architectural features and styles. More specifically, each duplex style building will be constructed of brick or stone (30% minimum masonry) and cementitious board or hardi-plank, stucco or synthetic stucco. Window styles, dormer styles and architectural shutters shall be similar in character to the windows, dormers and architectural shutters on Building A and Building B. Roofs will be architectural grade fiberglass shingles on a combination of hipped and gabled roofs. All facades facing Sardis Road or Chevron Drive will be articulated with a door, porch and windows to match the inner facing front facades of these buildings. Vinyl shall not be a permitted exterior building material, provided, however, that vinyl may be utilized on the soffits of the duplex style buildings to be constructed on the Site and vinyl windows may be installed on these buildings.

The duplex buildings located along the Site's frontages on Sardis Road and Chevron Drive shall not be required to front these streets. However, the rear of each duplex building shall have architectural features that will give the rear of these duplex buildings the appearance of a building front. More specifically, all facades facing Sardis Road or Chevron Drive will be articulated with a door, porch and windows to match the inner facing front facades of these buildings.

- The amenity building is an existing brick building that will remain in place.
- The maximum height of the duplex style buildings shall be 2 stories.
- The maximum height of Building A and Building B is set out in the Development Summary on Sheet RZ-1 of the Rezoning Plan.
- The maximum basement floor elevation of Building A and Building B shall be 672 feet using the vertical data set out on the survey dated April 11, 2007 and revised on October 25, 2007 prepared by Jack R. Christian and Associates Surveying, a copy of which is attached hereto.
- Building A and Building B will each be located a minimum of 12 feet from the edge of the 35 foot SWIM Buffer located on the Site.
- Each independent living unit shall be designed using AARP Universal Design Guidelines or the equivalent.
- Dumpster and recycling areas will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of a building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side.

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- The Petitioner shall install a minimum 8 foot planting strip and a minimum 5 foot sidewalk along the Site's frontage on Chevron Drive as generally depicted on the Rezoning Plan.
- The street trees may be planted 50 feet on center on average.

- A 30 foot Class C buffer shall be established along the Site's northern and eastern boundary lines as depicted on the Rezoning Plan, which buffer shall conform to the standards of Section 12.302 of the Ordinance. The width of this 30 foot Class C buffer may not be reduced.
- The height of the brick wall to be extended along the Site's frontage on Chevron Drive shall not exceed an average height of 5 feet.
- Prior to March 1, 2012, the Petitioner shall install along the common boundary line between the Site and that parcel of land designated as Parcel No. 189-142-18 on the Mecklenburg County Tax Maps 5 evergreen trees. The owner of Parcel No. 189-142-18 shall determine where each evergreen tree shall be planted along the common boundary line, and the evergreen trees may be planted either on the Site or on Parcel No. 189-142-18. Each evergreen tree shall have a minimum height of 12 feet at the time of installation and shall be a commercially available species chosen by the owner of Parcel No. 189-142-18 such as Nellie Stevens Holly, Foster Holly, American Holly, Carolina Cherry Laurel, Magnolia and Dawn Redwood. The owner of Parcel No. 189-142-18 shall provide written instructions to the Petitioner regarding the locations where the 5 evergreen trees shall be planted and the species no later than February 1, 2012. If the owner of Parcel No. 189-142-18 fails to provide such written instructions by February 1, 2012, the Petitioner shall install the evergreen trees on the Site along the common boundary line in locations determined by the Petitioner and the Petitioner shall determine the species of the evergreen trees.

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Environmental Features

- In addition to the trees located within the tree save areas, the Petitioner shall preserve those trees designated on the Rezoning Plan for preservation. With respect to those trees located outside of the tree save areas and designated for preservation, the Petitioner shall engage a certified arborist to prepare and implement a tree protection and preservation plan for these trees, and a copy of the tree protection and preservation plan must be submitted to the Charlotte-Mecklenburg Planning Department prior to commencing any grading activities on the Site.
- Location, size and type of storm water management systems depicted on the rezoning site plan are subject to review and approval with full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
- The SWIM Buffer shall remain undisturbed.

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Parks, Greenways and Open Space

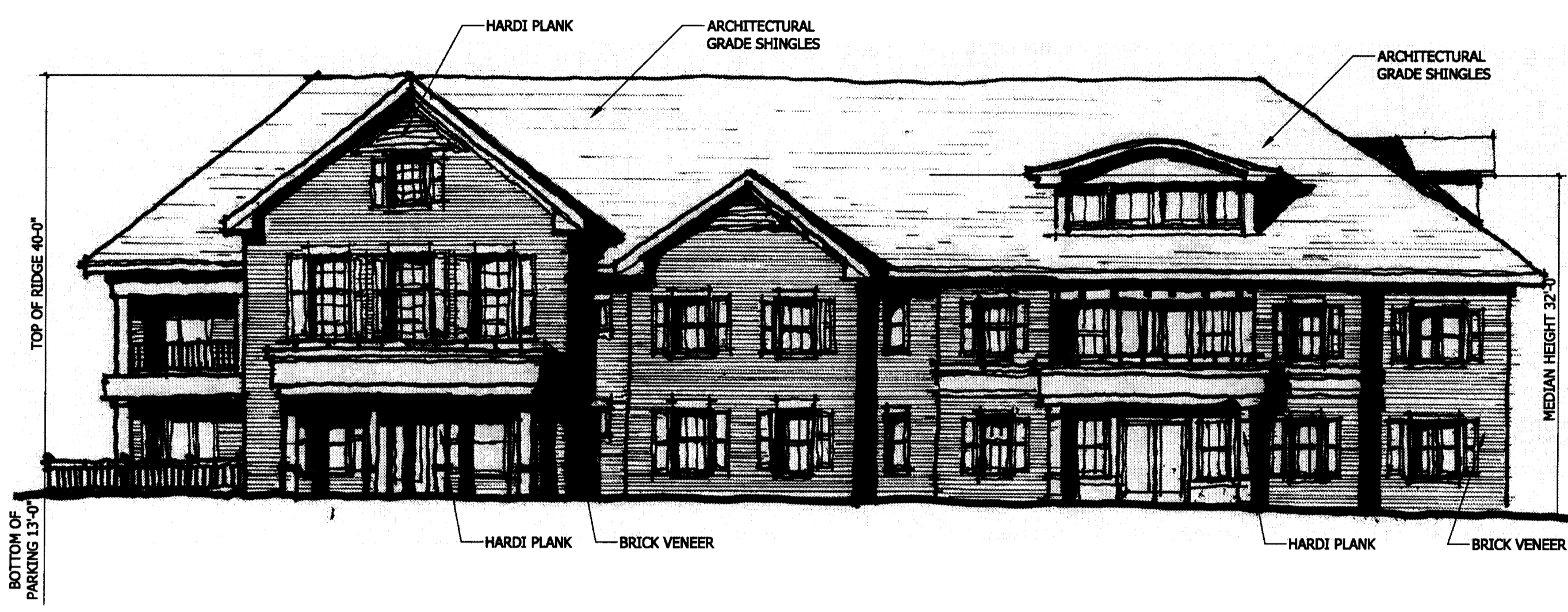
- The nature trail and walking path will remain outside of the SWIM Buffer.
- A pedestrian bridge may not be constructed or installed across the creek located on the Site.

Lighting

- Pedestrian scale, freestanding lighting fixtures will be installed throughout the Site along the internal private street and drives. The pedestrian scale, freestanding lighting fixtures will be uniform in design, and the final spacing of such lighting fixtures shall be determined by the Petitioner. All such freestanding lighting fixtures shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.
- The maximum height of any pedestrian scale, freestanding lighting fixture installed on the Site, including its base, shall not exceed 20 feet.
- Wall-pak type light fixtures may not be installed on the Site, however, wall-mounted decorative light fixtures are permitted.

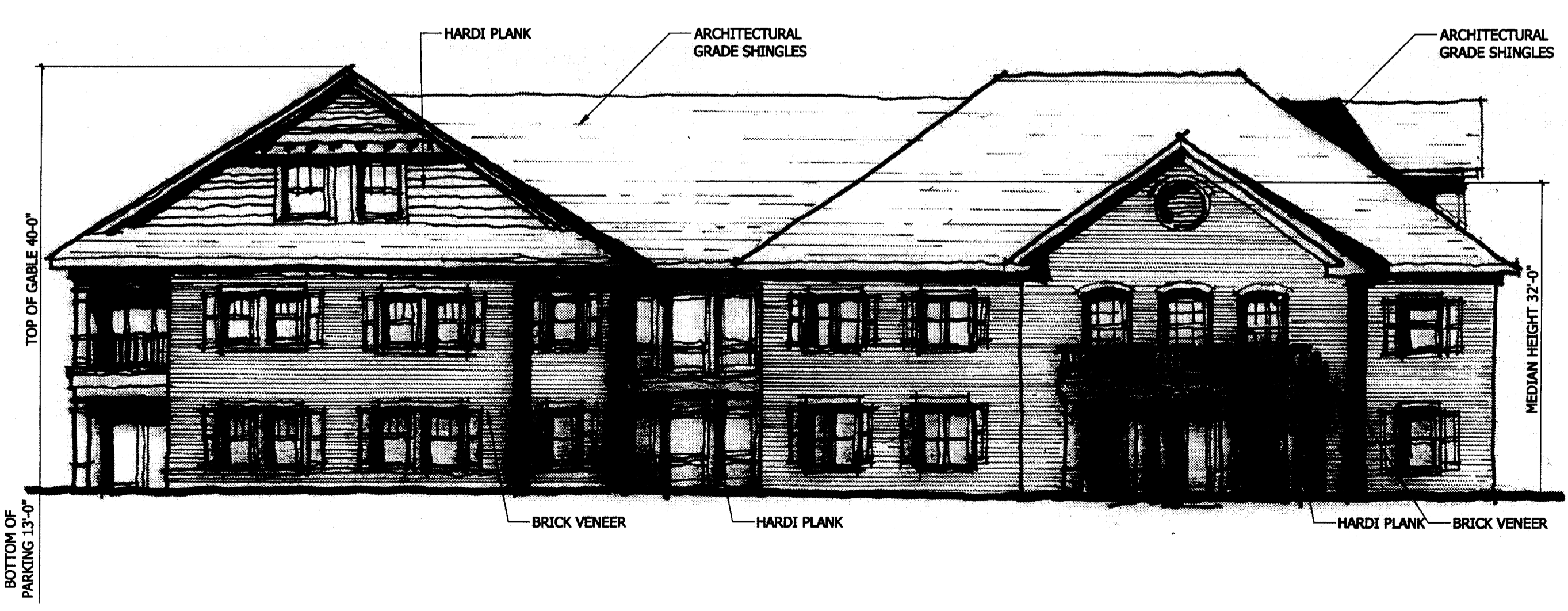
Binding Effect of the Rezoning Documents and Definitions

- If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- Throughout these Development Standards, the terms, "Petitioner" and "owner" or "owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.



03 BUILDING A FRONT ELEVATION

3/32" = 1'-0"



02 BUILDING B FRONT ELEVATION

3/32" = 1'-0"

01 NOTES

N.T.S.

** MULTI-FAMILY DUPLEX STYLE BUILDINGS TO BE CONSISTENT IN ARCHITECTURAL STYLE