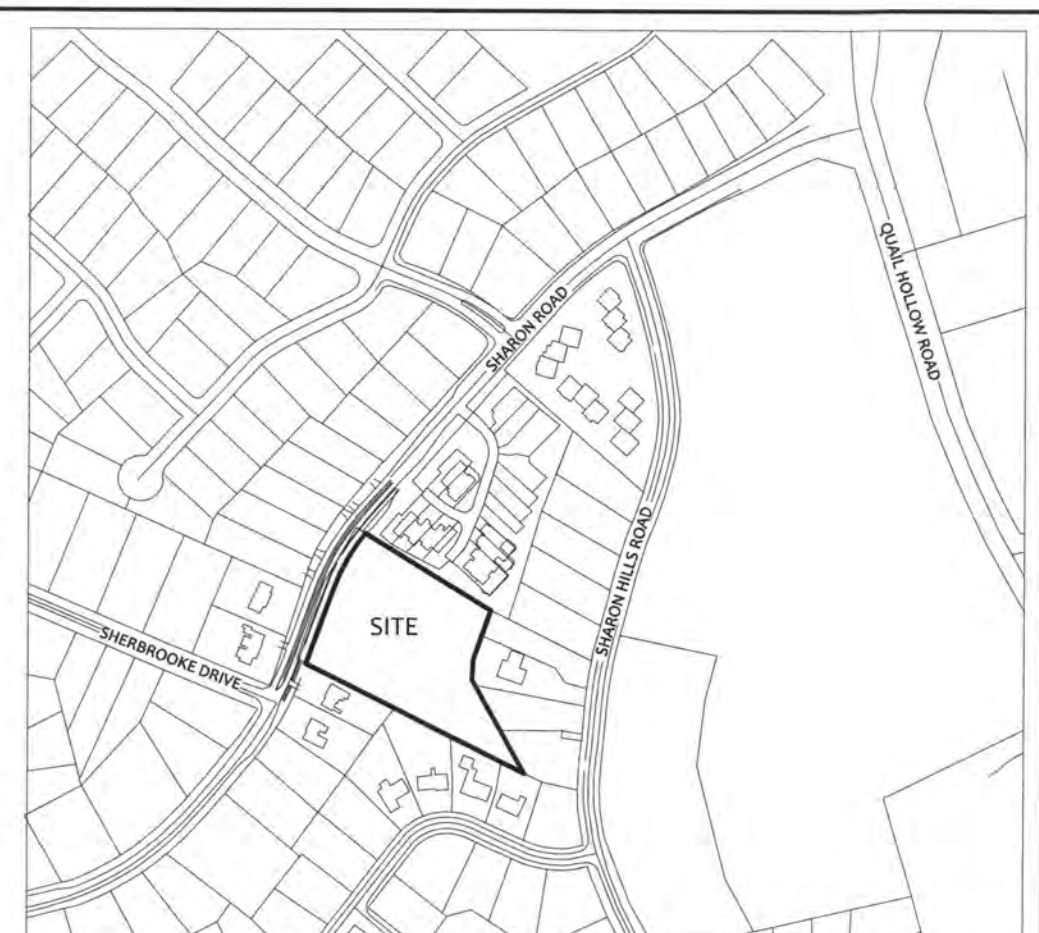


Site Development Data:

- Acreage: ± 2.97 acres
- Tax Parcel #: 209-401-21 (6151 Sharon Road, Charlotte, NC 28269)
- Existing Zoning: R-3
- Proposed Zoning: UR-2(CD)
- Existing Use: Church
- Proposed Uses: Up to 24 attached dwelling units together with accessory uses, as allowed in the UR-2 zoning district.
- Proposed Floor Area Ratio: As allowed by the UR-2 Zoning District.
- Maximum Building Height: A maximum building height of two (2) stories and up to 40 feet.
- Parking: Parking as required by the Ordinance will be provided. No less than 8 visitor parking spaces will be provided on the Site.

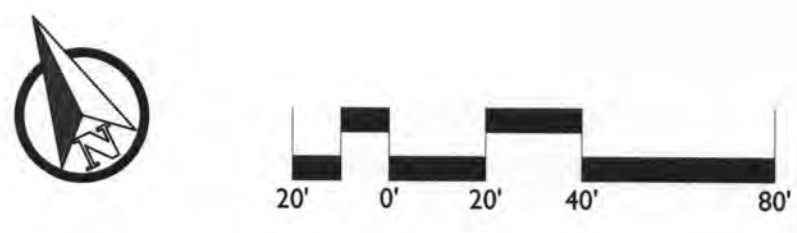


VICINITY MAP

- General Provisions:**
 - Site Location:** These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by NVR Homes, LLC (doing business as NVR Inc.) ("Petitioner") to accommodate the development of a townhome community on approximately 2.97 acre site located on the east side of Sharon Road between Sherbrooke Drive and Chandworth Road (the "Site").
 - Zoning Districts/Ordinance:** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Unless the Rezoning Plan establishes more stringent standards the regulations established under the Ordinance for the UR-2 zoning classification shall govern.
 - Graphics and Alterations:** The schematic depictions of the uses, parking areas, sidewalks, structures and buildings, building elevations, driveways, streets and other development matters and site elements (collectively the "Development Site Elements") set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes and formulations of the Development Site Elements depicted on the Rezoning Plan are graphic representations of the Development Site elements proposed. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Section 6.207 of the Ordinance.
- Permitted Uses & Development Area Limitation:**
 - The Site may be developed with up to 24 attached dwelling units, together with accessory uses allowed in the UR-2 zoning district.
- Access and Transportation:**
 - Access to the Site will be from Sharon Road in the manner generally depicted on the Rezoning Plan.
 - The Petitioner will provide a 13 foot planting strip and a six (6) foot sidewalk along Sharon Road as generally depicted on the Rezoning Plan. The Petitioner will dedicate right-of-way along Sharon Road to accommodate the proposed 13 foot planting strip, the proposed six (6) foot sidewalk may be located in a sidewalk easement with the approval of Planning and CDOT if the proposed sidewalk extends beyond the proposed right-of-way.
 - Along Sharon Road the Petitioner shall dedicate and convey (by quitclaim deed and subject to a reservation of any necessary utility easements) that portion of the Site located along Sharon Road as may be necessary to provide for a right-of-way extending 35 feet from the existing centerline as generally depicted on the Rezoning Plan, said dedication and conveyance to occur prior to issuance of the first certificate of occupancy for the first residential dwelling building constructed on the Site.
 - Along the Site's central private drive planting strips and sidewalks will be provided on at least one side of the proposed private drive as generally depicted on the Rezoning Plan. Street trees will also be provided along the private drive as generally depicted on the Rezoning Plan.
 - The placement and configuration of the vehicular access point is subject to any minor modifications required to accommodate final site development and construction plans and to any adjustments required for approval by the CDOT in accordance with applicable published standards.
 - The alignment of the internal vehicular circulation and driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by CDOT in accordance with published standards.
 - The roadway improvements required by the development of the Site must be substantially completed prior to the issuance of the first certificate of occupancy for the first building on the Site, subject to the ability of the Petitioner to post a letter of credit or a bond for any improvements not in place at the time the first certificate of occupancy is issued.
- Architectural Standards, Court Yards/Amenity Areas:**
 - The building materials used on the principal buildings constructed on Site will be a combination of portions of the following: brick, stone, precast stone, precast concrete, synthetic stone, cementitious fiber board, stucco, EIFS, decorative block and/or wood. Aluminum finishes may only be used on windows, soffits and on handrails/railings. Vinyl siding may not be utilized as a building material. The proposed roofing materials will be architectural asphalt shingles, metal type roofing materials may also be used.
 - The ends of the buildings facing the internal private drives will not have blank walls that exceed 20 feet in length on all building levels. The end units will have multiple windows on the end facades to avoid a blank wall.
 - The attached illustrative building elevations (typical unit front elevations) are included to reflect an architectural style and a quality of the buildings that may be constructed on the Site (the actual buildings constructed on the Site may vary from these illustrations provided that the design intent is preserved).
 - Each unit will have two (2) car garage.
 - The proposed garage doors utilized throughout the Site be decorative style doors that will be stained with a dark tinted stain. The design of the garage doors will utilize translucent windows. Usable porches or stoops shall form an element of the building design and be located on the front and/or side of the building. Stoops and entry level porches may be covered but not enclosed. The minimum depth of front stoops will be between four (4) and five (5) feet. The building/architectural treatment over the porches will vary to help emphasize the entries into each unit. Two (2) to three (3) different stoop designs with varying architectural treatments will be utilized on the proposed building elevations. The attached building elevations illustrates how this treatment will vary.
 - Townhome buildings shall be limited to five units or less.
 - The Petitioner will provide along Sharon Road a four (4) to five (5) foot decorative metal ornamental fence with brick or stone pillars and landscaping as generally depicted on the Rezoning Plan.
 - Meter banks will be screened from adjoining properties and from Sharon Road.
 - HVAC and related mechanical equipment will be screened from public view and from view of adjacent properties at grade.
- Streetscape, Buffers, Yards, and Landscaping:**
 - A landscape setback of 39 feet to 45 feet landscape setback measured from the future back curb will be provided along Sharon Road as generally depicted on the Rezoning Plan. The landscape setback area may be used to comply with the Plat Control Ordinance and the Tree Ordinance.
 - A decorative four (4) to five (5) foot metal fence will be installed within the landscape setback along Sharon Road as generally depicted on the Rezoning Plan. The decorative metal fence will have stone columns designed to match the building materials used on the buildings. The fence will also contain elements that will create privacy and screen the units from Sharon Road.
 - A 30 foot rear yard will be provided along the eastern property boundary of the Site as generally depicted on the Rezoning Plan. The required private open space for the proposed units may be located within the proposed rear and side yards, but not in the proposed buffers.
 - A 21 foot undisturbed buffer will be provided along the eastern property boundary as generally depicted on the Rezoning Plan.
 - A 16.5 foot Class C Buffer with a decorative six (6) foot fence will be provided along the northern and southern eastern property boundaries as generally depicted on the Rezoning Plan. The fence may not be located any closer to the adjoining property than 5.25 feet. The proposed fence will have stone columns located 30 feet on the fence.
 - The proposed fence with the stone columns and the landscaping proposed to be installed on the outside of the fence facing the adjoining property owners must be installed prior to the issuance of the first certificate of occupancy for the first building constructed on the Site.
 - Utilities may cross proposed buffers at angles no greater than 75 degrees. Storm drainage discharge aprons and swales with or without rip-rap may also cross the buffer at angles no greater than 75 degrees in order to allow for the natural flow storm water.
 - The Petitioner will design the internal vehicular access alleys to have the general appearance of a "woonerf" like pedestrian motor courts as generally depicted on the Rezoning Plan. These internal pedestrian motor courts will be designed with enhanced pavement materials, the materials that will be used will be either: patterned smooth concrete, concrete pavers, stamped and colored asphalt, or brick pavers. The pedestrian motor courts ("woonerfs") may use one or combinations of these materials. The enhanced pavement materials do not have to be used on the internal central drive. The enhanced pedestrian motor courts (the "woonerfs") will be used to meet the requirements of Section 12.529 of the Ordinance. The specific design of the pedestrian motor courts to be reviewed and approved by the Planning Director or his designee during building permit process.
- Environmental Features:**
 - The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Controls Ordinance.
 - The location, size and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points. The two storm water management facility locations labeled as "potential" if not utilized for storm water management will be improved as open space areas or tree save areas.
 - The Site will comply with the Tree Ordinance.
 - All utilities within the Site will be placed underground.
- Lighting:**
 - All new lighting shall be full cut-off type lighting fixture excluding lower, decorative lighting that may be installed along the driveways, sidewalks, parking areas and courtyards.
 - Detached lighting on the Site will be limited to 16 feet in height.
 - Decorative pedestrian scale lights will be provided along the internal private drives.
 - Architectural lighting on building facades, such as but not limited to scones, will be permitted.
- Signage:**
 - Reserved.
- CATS Pad for Passengers:**
 - The Petitioner will construct a concrete waiting pad for his passengers along Sharon Road per CLDSM 60.01B (Waiting Pad Only with Planting Strip). The pad to be constructed when development occurs. The Petitioner to coordinate the location of the pad with CATS during the land development approval process. The Petitioner will provide a permanent easement if the existing is insufficient to accommodate the pad.
- Amendments to the Rezoning Plan:**
 - Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable Development Area portion of the Site affected by such amendment in accordance with the provisions of Chapter 6 of the Ordinance.
- Binding Effect of the Rezoning Application:**
 - If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

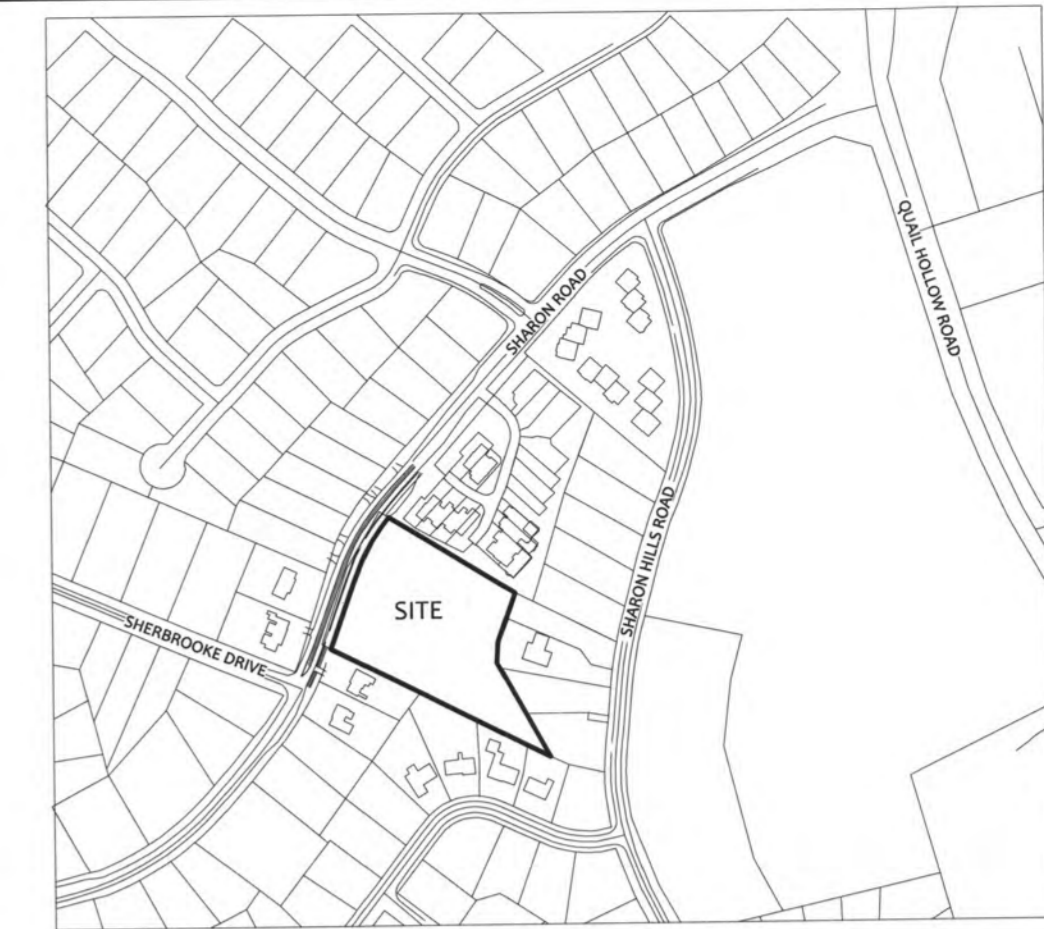
APPROVED BY
CITY COUNCIL
OCT 17 2016

BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!



OCT 0 5 2016

REVISIONS:



VICINITY MAP
NTS



APPROVED BY
CITY COUNCIL
OCT 17 2016

LandDesign
 NC Engineering Firm License # C-0658
 233 N Graham Street Charlotte, NC 28202
 V: 704.333.0225 F: 704.333.2426
 www.LandDesign.com

PETITION NO. 2016-118

6151 SHARON ROAD
SINGLE FAMILY ATTACHED
 CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA
 REZONING PLAN

REVISIONS:

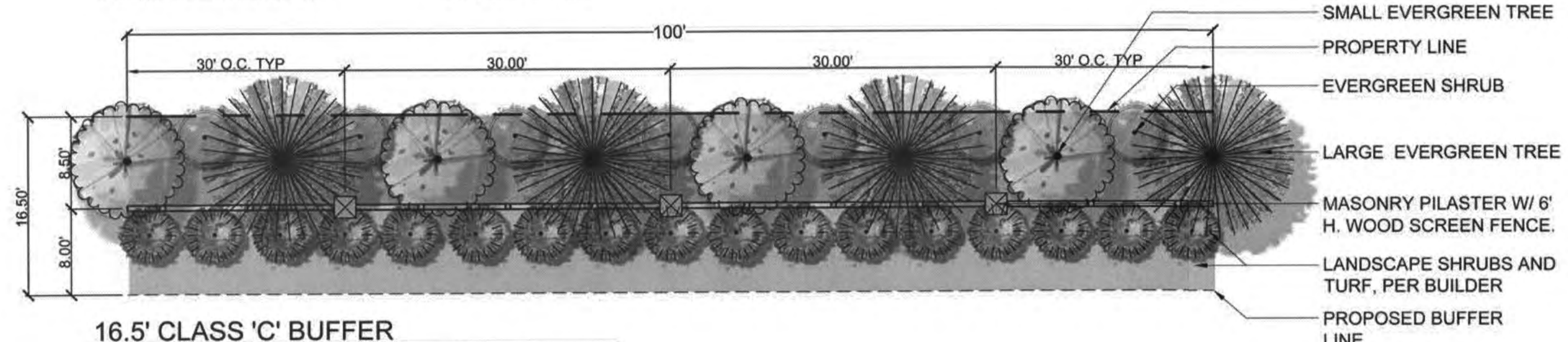
DATE: MAY 4, 2016
 DESIGNED BY:
 DRAWN BY: NLD
 CHECKED BY: NLD
 SCALE: 1"=40'
 PROJECT #: 1016093

SHEET #:
Z-1.1



- LARGE MATURING EVERGREEN (PINE)
- SMALL MATURING EVERGREEN TREE (ARBORVITAE)
- 2' SQ. MASONRY PILASTER WITH CAP.
- 6' HIGH WOOD SCREEN FENCE, BOARD ON BOARD.

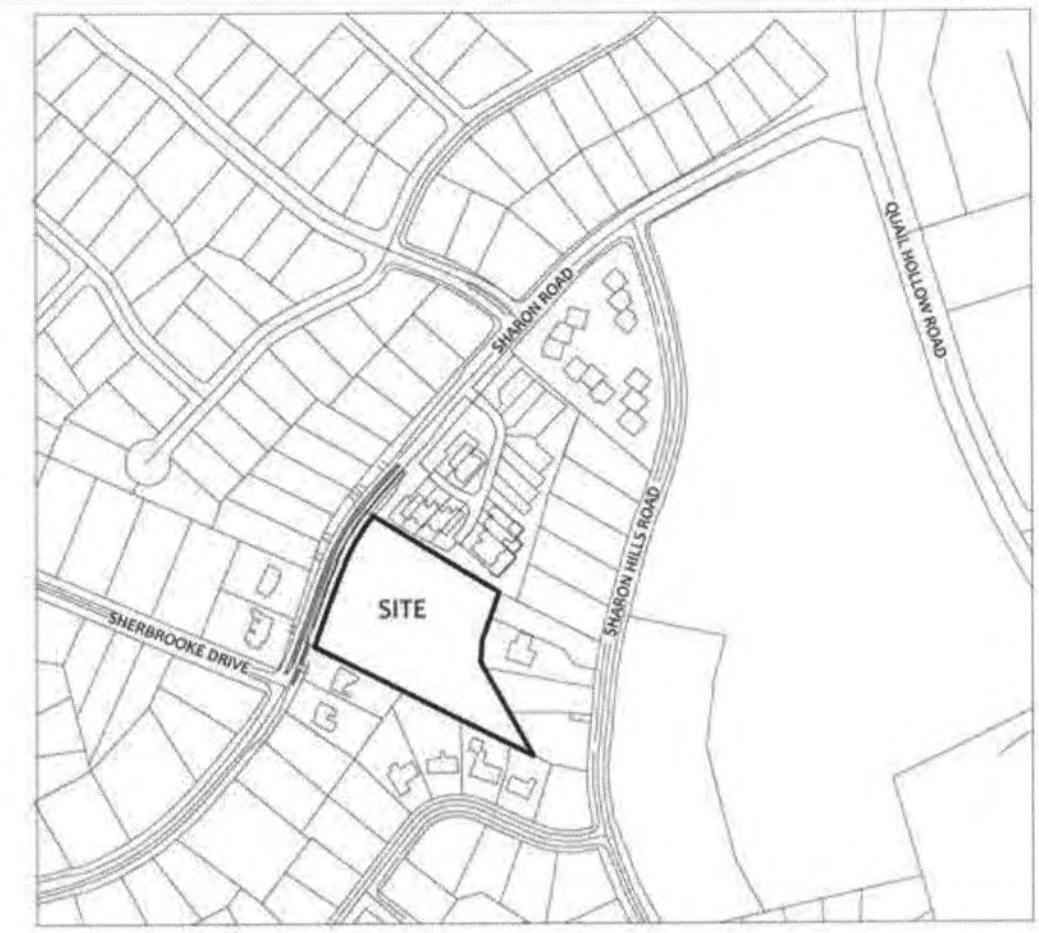
TYPICAL ELEVATION SCALE: 1"=10'



16.5' CLASS 'C' BUFFER TYPICAL PLANTING SCALE: 1"=10'

16.5' CLASS 'C' BUFFER REQUIREMENTS

CLASS C BUFFER REQUIRED
 WIDTH - BUFFER C - 16.5'
 TREES REQUIRED (TABLE 12.302B)
 ±600 LINEAR FEET OF BUFFER X 8 TREES PER 100 LINEAR FEET = 48 TREES REQUIRED
 MINIMUM 2" CALIPER (MEASURED 6" ABOVE GROUND AT TIME OF PLANTING)
 SHRUBS REQUIRED (TABLE 12.302B)
 ±600 LINEAR FEET OF BUFFER X 12 SHRUBS PER 100 LINEAR FEET = 72 SHRUBS REQUIRED
 SIZE AT PLANTING 2'-6" (2'-6" MIN. WAVE. HEIGHT OF 5'-6" W/IN 4 YEARS)
 EXISTING VEGETATION TO REMAIN
 CONTRACTOR SHALL UTILIZE EXISTING VEGETATION AND SUPPLEMENT AS NEEDED IN ORDER TO FULFILL THE BUFFER PLANTING REQUIREMENTS WHENEVER POSSIBLE. CONTRACTOR TO FIELD VERIFY COMPLIANCE WITH BUFFER PLANTING REQUIREMENTS WITH LANDSCAPE ARCHITECT AND A MEMBER OF THE URBAN FORESTRY STAFF.



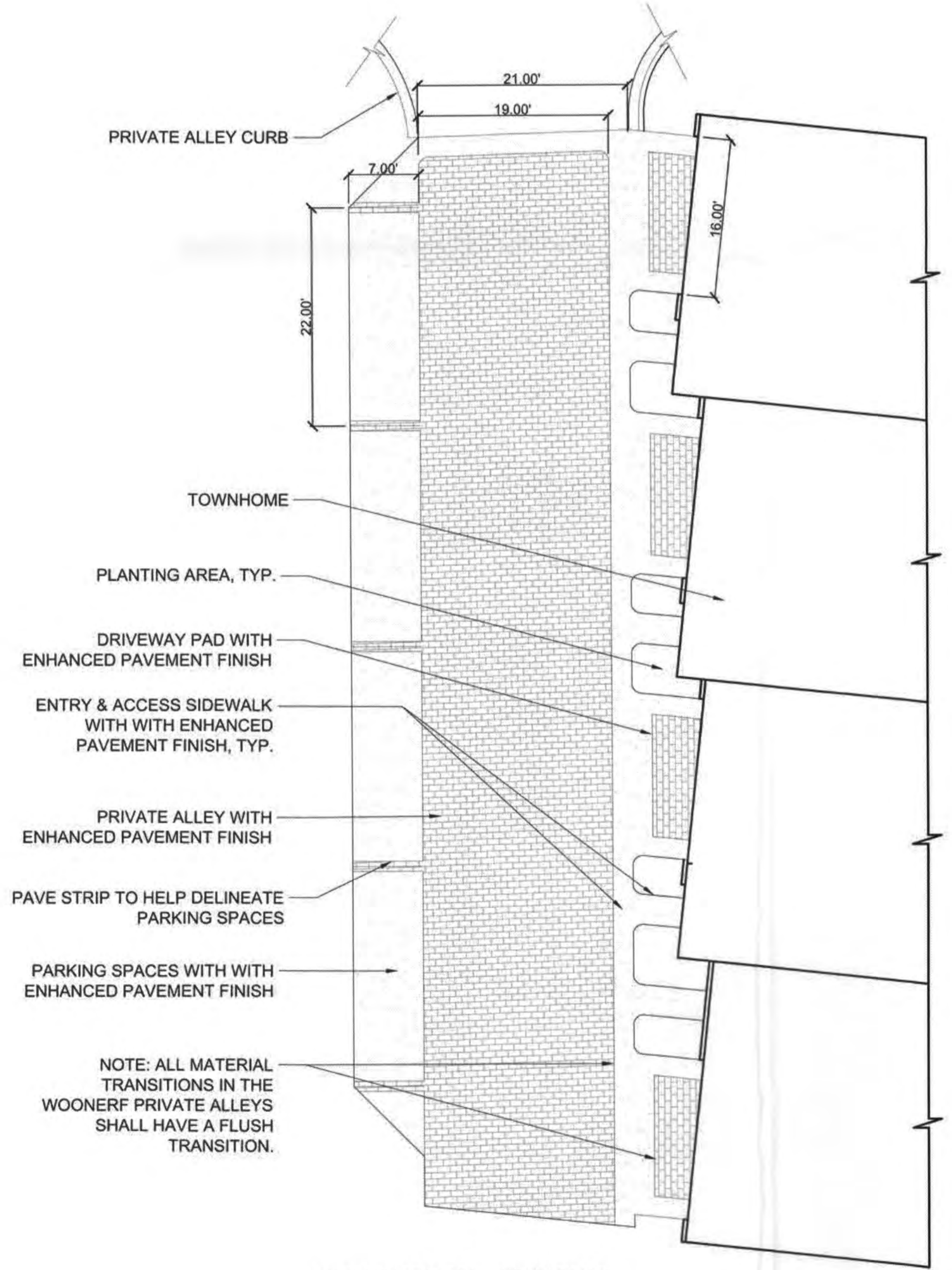
VICINITY MAP NTS

WOONERF 'A' - PRIVATE ALLEY

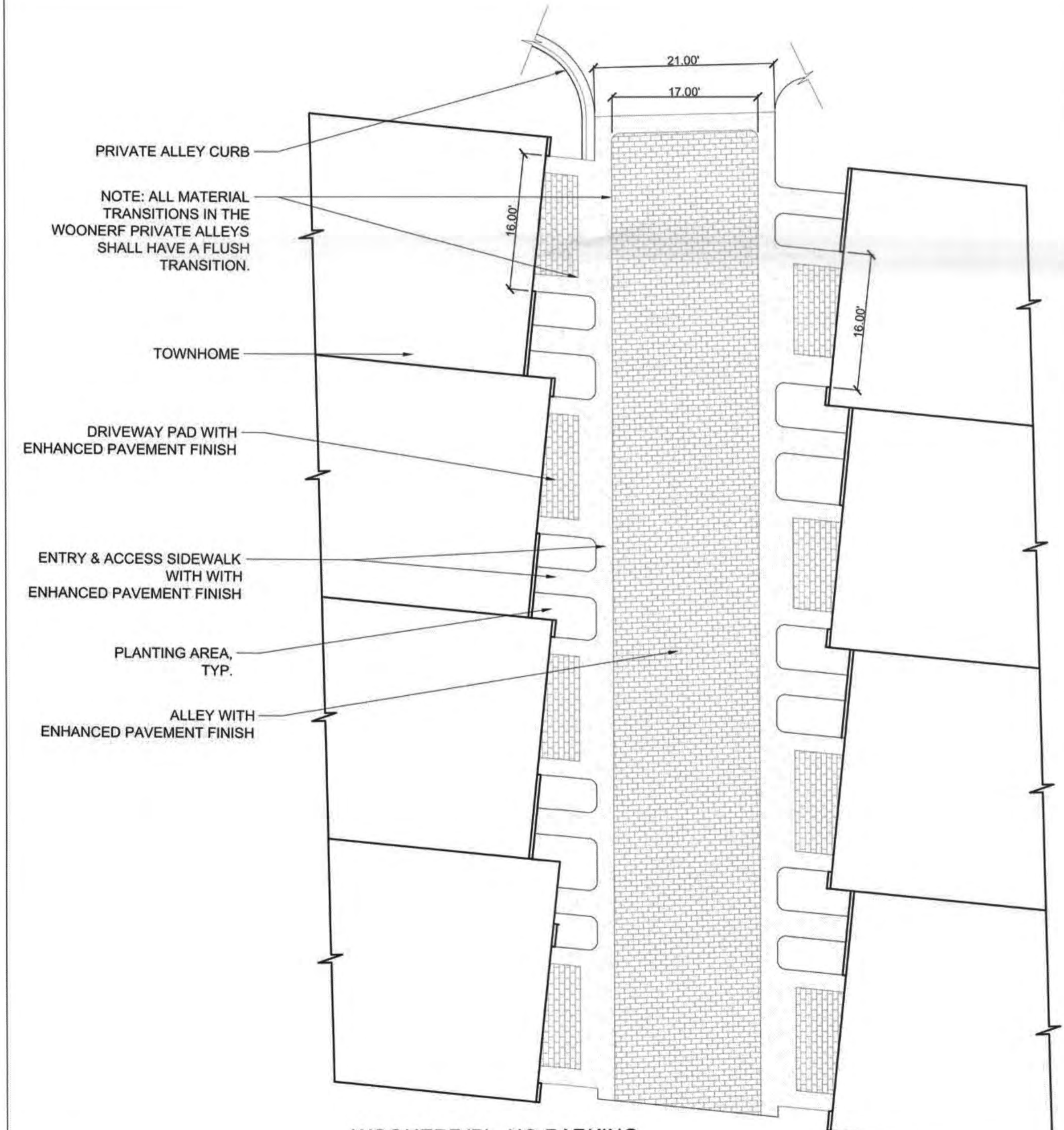
WITH ON-STREET PARKING
 WIDTH - PARKING SPACES - 7'
 WIDTH - FIRE ACCESS - 21'

WOONERF 'B' - PRIVATE ALLEY

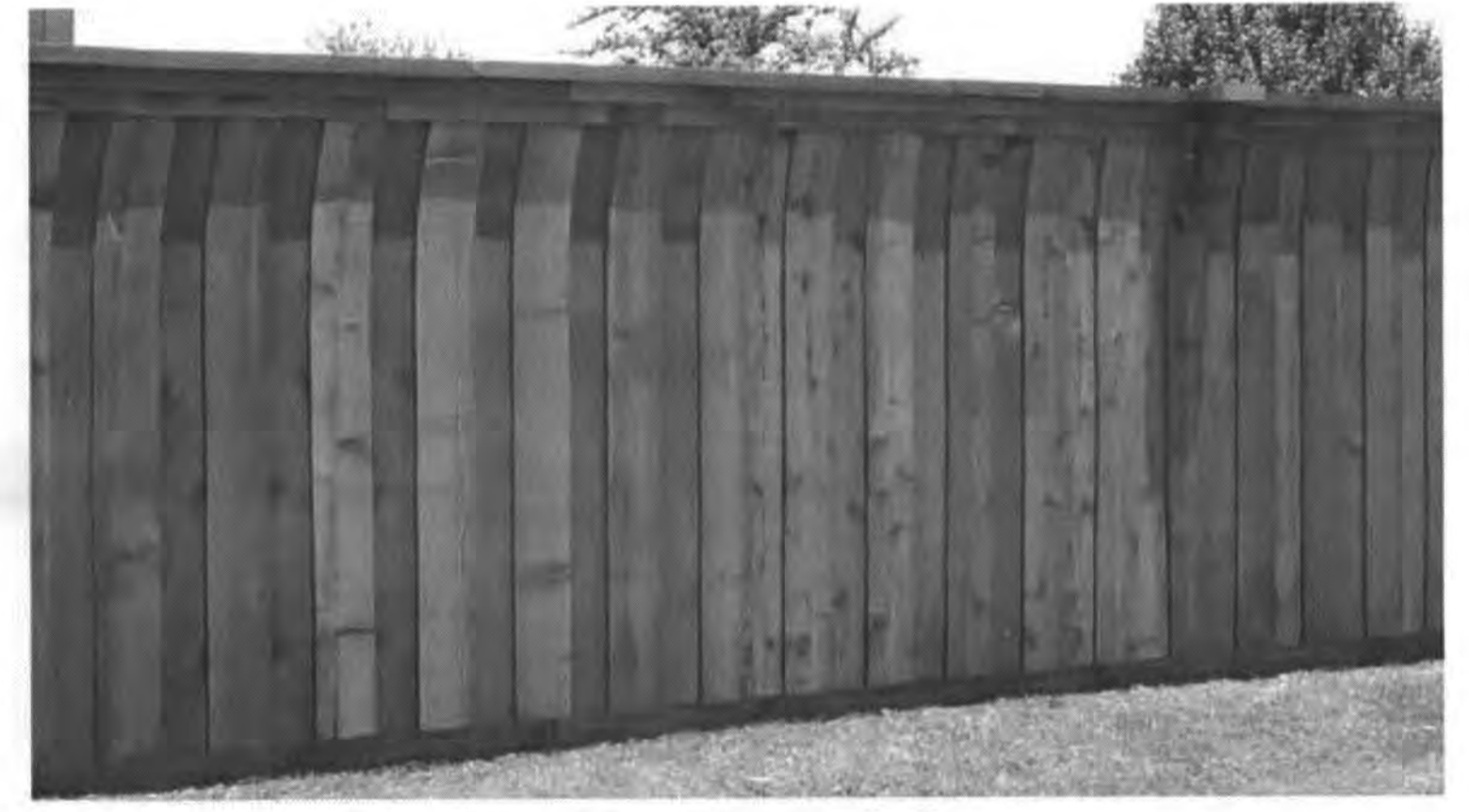
WITH NO ON-STREET PARKING
 WIDTH - FIRE ACCESS - 21'



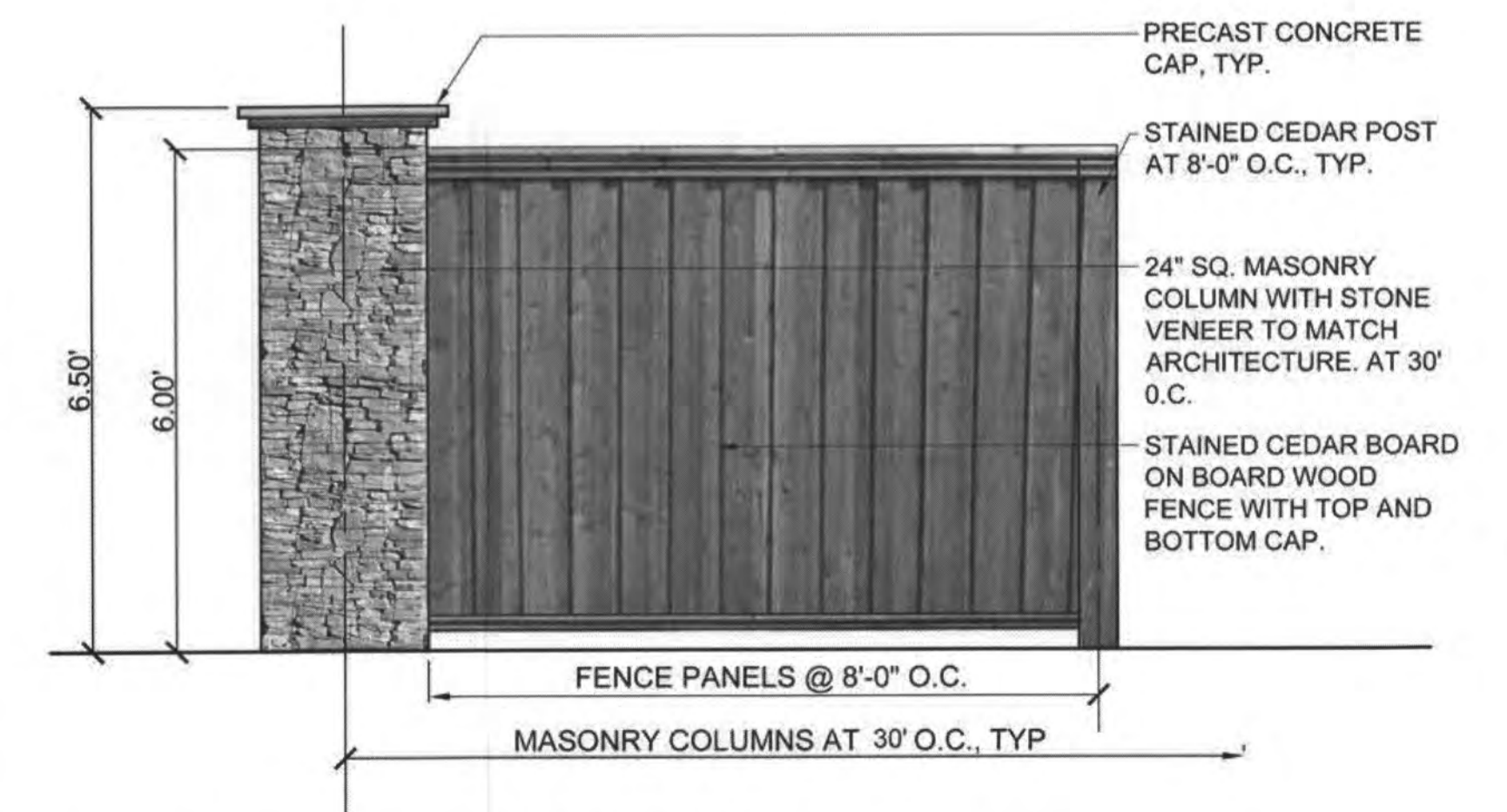
WOONERF 'A' - PARKING PRIVATE ALLEY SCALE: 1"=10'



WOONERF 'B' - NO PARKING PRIVATE ALLEY SCALE: 1"=10'



APPROVED BY CITY COUNCIL
 OCT 17 2016



TYPICAL WOOD SCREEN FENCE TYPICAL ELEVATION SCALE: N.T.S

REVISIONS: