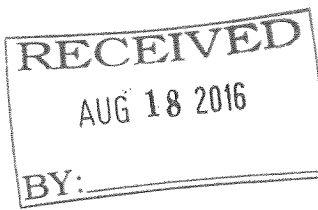


**I. REZONING APPLICATION  
CITY OF CHARLOTTE**



Petition #: 2016-13A  
Date Filed: 8/18/2016  
Received By: Bj

**Complete All Fields (Use additional pages if needed)**

Property Owner: Ashley Road Holdings LLC

Owner's Address: 4601 Nobility Ct., City, State, Zip: Charlotte, NC 28269

Date Property Acquired: March 22, 2016

Property Address: Ashley Road/Joy Street

Tax Parcel Number(s): 06109202

Current Land Use: Business, Residential Size (Acres): 5.81

Existing Zoning: B-1, R-12MF Proposed Zoning: UR-2(CD)

Overlay: N/A (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting\* with: Claire Lyte-Graham, Alberto Gonzalez, Josh Warner, Terry Gortney  
Date of meeting: August 09, 2016

(\*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

**For Conditional Rezoning Only:**

Requesting a vesting period exceeding the 2 year minimum?  Yes/No. Number of years (maximum of 5): 5

Purpose/description of Conditional Zoning Plan: Seeking to build up to 180 units consisting of up to 80 elderly apartments and up to 100 family affordable housing units.

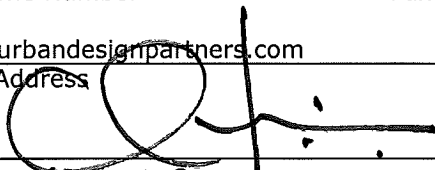
Brian Smith  
Name of Rezoning Agent

1318-e6 Central Avenue  
Agent's Address

Charlotte, NC 28205  
City, State, Zip

704-334-3303 ext. 102      704-334-3305  
Telephone Number      Fax Number

brian@urbandesigndesignpartners.com  
E-Mail Address

  
Signature of Property Owner

Chris Ogunrinde  
Name Typed / Printed)

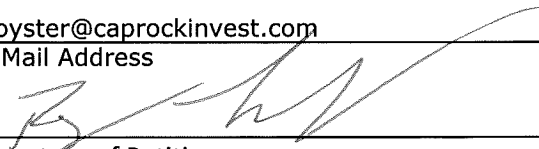
CapRock LLC  
Name of Petitioner(s)

2410 Dunavant Street  
Address of Petitioner(s)

Charlotte, NC 28203  
City, State, Zip

980-201-3265      800-954-0823  
Telephone Number      Fax Number

jroyster@caprockinvest.com  
E-Mail Address

  
Signature of Petitioner

Ryan Lambert  
(Name Typed / Printed)