

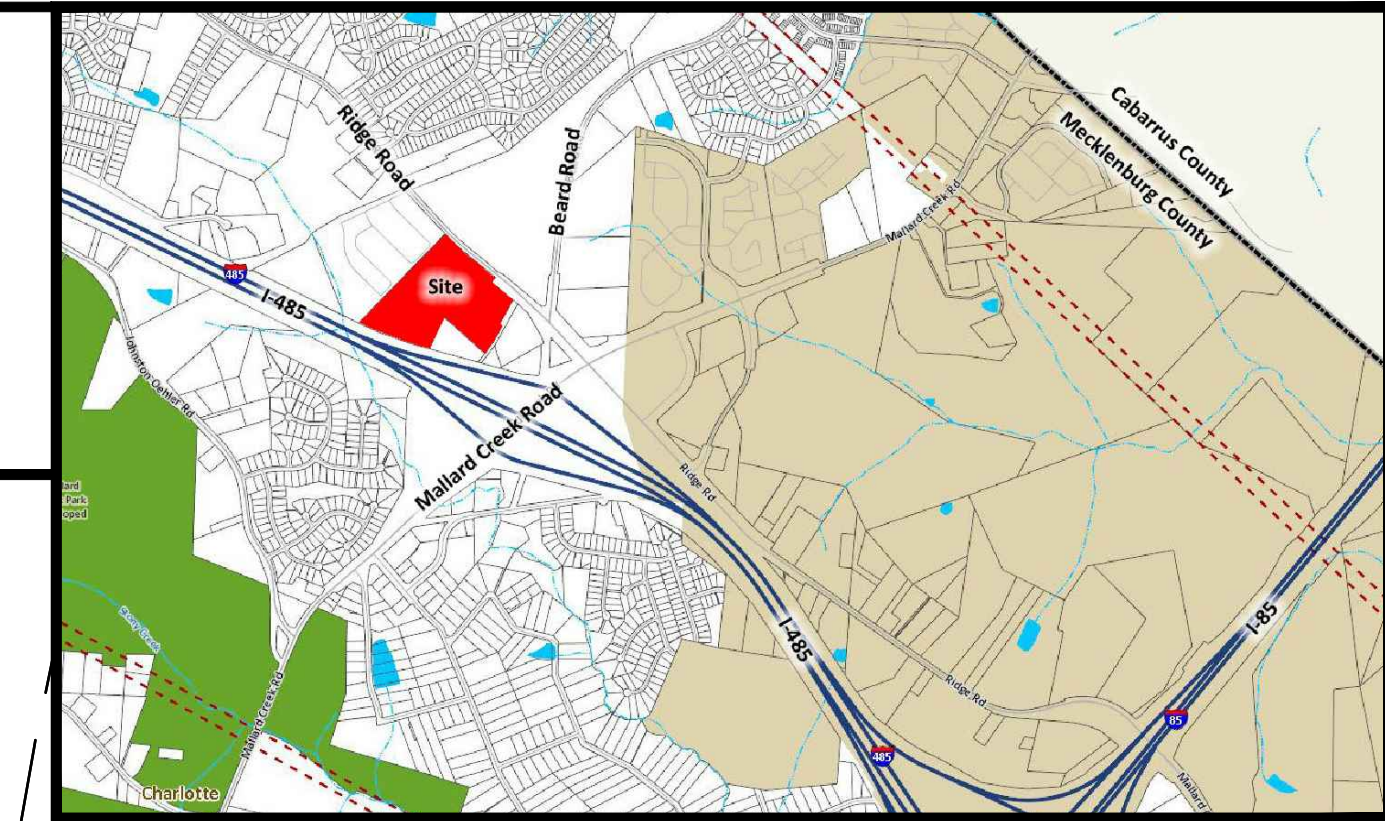
# Ridge Road Hunter Townhomes

## Conditional District Rezoning - Petition # 2020-075

Located In:  
City of Charlotte / Mecklenburg County, North Carolina

Property Owner		
PID:	Owner:	Zoning
02972112	MARTIN E OEHLER JR & CHRISTINE C OEHLER	R-3
02972113	MARTIN E OEHLER JR & CHRISTINE C OEHLER	R-3
02972107	MARTIN E OEHLER JR & CHRISTINE C OEHLER	R-3

Adjacent Property Owners		
PID:	Owner:	Zoning
1	02972135 DEPARTMENT OF TRANSPORTATION	R-3
2	02972199 SAMUEL W & JOHNSIE R RABORN	R-3
3	02972118 REDWOOD CHARLOTTE RIDGE ROAD NC P1 LLC	R-8MF (CD)
4	02922107 DEPARTMENT OF TRANSPORTATION	R-3
5	02972111 LAWRENCE GRAY & C/O WILLIE P DAVIS	R-3
6	02972115 THEODORE & ROSA K COLEMAN	R-3



Vicinity Map  
Not to Scale

Site Data	
Tax Parcel:	02972112, 02972113 & 02972107
Total Acreage:	+/- 19.6 Acres
Location:	City of Charlotte ETJ Mecklenburg County
Existing Zoning:	R-3
Proposed Zoning:	R-8MF (CD)
Existing Use:	Vacant
Proposed Use:	Single Family Residential (Attached)
Permitted # of Units:	Up to 139 Single Family Attached (Townhome) Units
Proposed Density:	7.1 Dwelling Units Per Acre (DUA)
Parking:	Shall meet or exceed Ordinance Standards
Amenitized Open Space:	+/- 0.3 Acres
Open Space:	Required: 400 SF per Unit or 10% Site Area Common Open Space Proposed: 400 SF per Unit or 10% Site Area Common Open Space
Natural Area:	Required: +/- 1.96 Acres (10%) Provided: +/- 1.96 Acres (10%) Minimum
Tree Save:	Required: +/- 2.94 Acres (15%) Provided: +/- 2.94 Acres (15%) Minimum*

\* Note: Base on Gross Site Acreage.

General Notes			
1.	Base information obtained from Mecklenburg County GIS and "Topographic Survey of Parcels 02972112, 02972113 & 02972107" provided by ESP Associates Inc., dated April 2020 for Mattamy Homes, and should be verified for accuracy.	NO.	1
2.	Stream / Wetland Information is based on "Topographic Survey of Parcels 02972112, 02972113 & 02972107" provided by ESP Associates Inc., dated April 2020 for Mattamy Homes	NO.	2

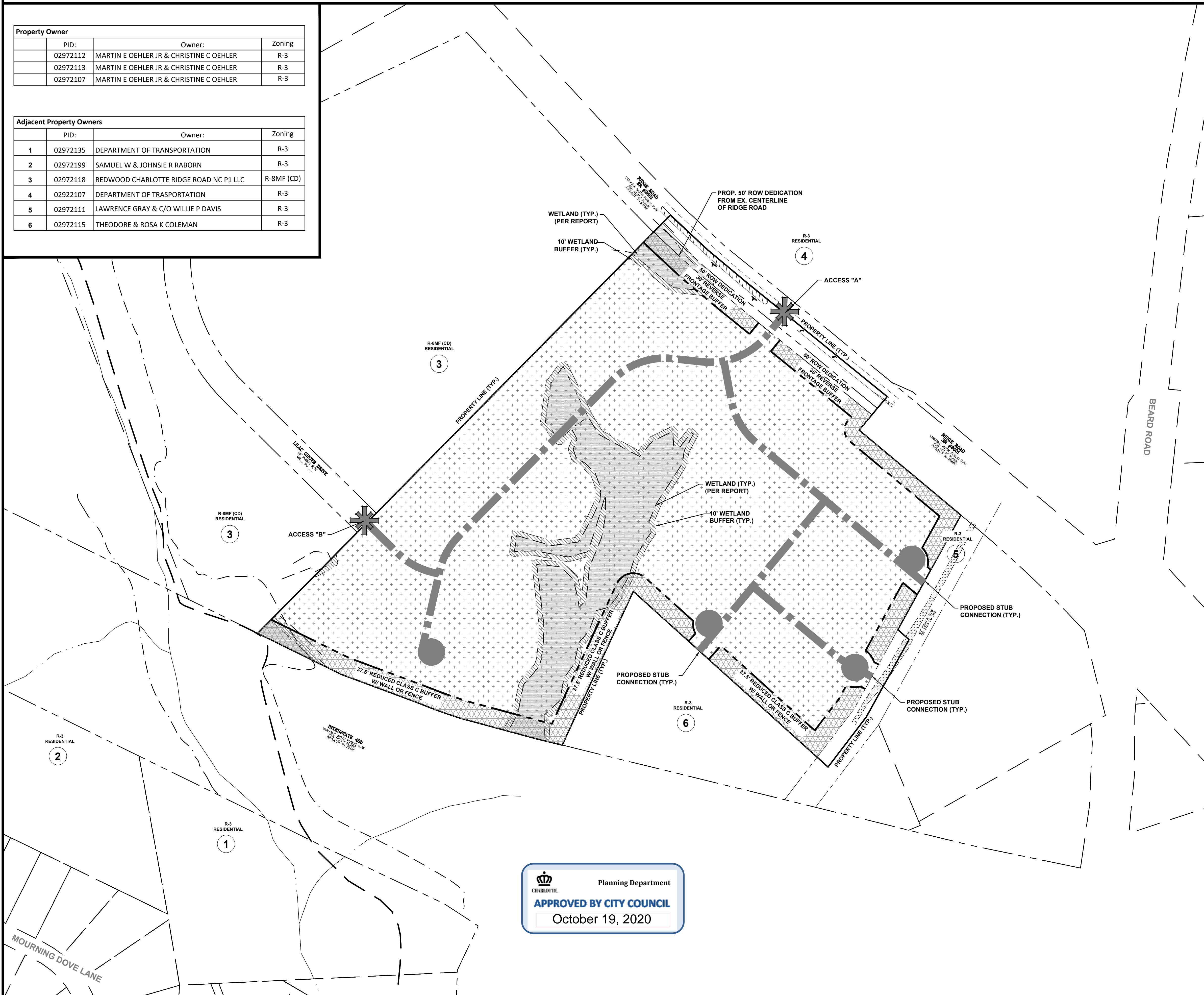
Legend	
	Residential Development Area - Building & Parking Envelope
	56' Public ROW
	Proposed Access Location
	Proposed Buffer

INDEX OF SHEETS			
SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISED DATE
1 of 4	CONCEPTUAL SITE PLAN	4/16/2020	9/28/2020
2 of 4	TECHNICAL DATA	4/16/2020	9/28/2020
3 of 4	MASTER PLAN	4/16/2020	9/28/2020
4 of 4	CONCEPTUAL MASTER PLAN	4/16/2020	9/28/2020

PROJECT INFORMATION

PROJECT MANAGER: MM  
DESIGNED BY: AB  
DRAWN BY: ZW  
PROJECT NUMBER: IM06.100  
ORIGINAL DATE: 4/16/2020  
SHEET: 1 OF 4

GRAPHIC SCALE  
(IN FEET)  
1 INCH = 100 FT.



Planning Department  
**APPROVED BY CITY COUNCIL**  
October 19, 2020

ESP Associates, Inc.  
P.O. Box 27020  
Charlotte, NC 28241  
3475 Lakemont Blvd.  
Fort Mill, SC 29708  
704-583-9949 (NC)  
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BY	AB	SW

NO.	DATE	REVISION	REVISED PER STAFF COMMENTS
1	08/17/2020		
2	09/28/2020		

CONCEPTUAL SITE PLAN  
REZONING PETITION #2020-075  
RIDGE ROAD HUNTER TOWNHOMES  
MATTAMY HOMES  
CITY OF CHARLOTTE

U:\2020 Projects (IM)\06 - Oehler Property (Mattamy)\Submittal\Working Drawings\2020-04-17\_3rd Rezoning\Submittal\Sheets\IM06 - RRH - Conceptual Site Plan.dwg, Conceptual Site Plan, w/white

**Ridge Road Hunter Townhomes - Petition # 2020-075**  
**Conditional District Rezoning - Development Standards**

**I. General Provisions**

1. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Mattamy Homes (the "Petitioner") to accommodate the development of a single-family attached (townhome) residential community on that approximately 19.6-acre site located on the southern side of Ridge Road near the intersection with Beard Road, more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Numbers 029-721-12, 029-721-13, and 029-721-07.
2. Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
3. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the R-8MF zoning district shall govern the development and use of the Site.
4. The development and street layout depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of such uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback, yard, landscaping and tree save requirements set forth on this Rezoning Plan and the Development Standards, provided, however, that any such alterations and modifications shall be minor in nature and not materially change the overall design intent depicted on the Rezoning Plan.
5. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner(s) of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Minor alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

**II. Permitted Uses**

The Site may be devoted only to a residential community containing a maximum of 139 single-family attached dwelling units and any incidental and accessory uses relating thereto that are permitted in the R-8MF zoning district.

**III. Transportation**

1. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and as required for approval by the Charlotte Department of Transportation (CDOT).
2. As depicted on the Rezoning Plan, the Site will be served by internal public and/or private streets, and minor adjustments to the location of these streets shall be allowed during the construction permitting process in coordination with CDOT.
3. Petitioner shall construct a ten (10) foot sidewalk in accordance with the Ridge Road cross section along the Site's Ridge Road frontage, as included within the Prosperity Hucks Area Plan.
4. Petitioner shall provide a three (3)-lane driveway section at proposed Access A, to provide one thru lane (ingress) and a right and left-turn lane (egress), as generally depicted on the Rezoning Plan.
5. Petitioner shall provide a three-lane cross section along the Site's frontage of Ridge Road, as generally depicted on the Rezoning Plan.
6. Petitioner shall install curb and gutter along the Site's frontage of Ridge Road, in the location as generally depicted on the Rezoning Plan.
7. Petitioner shall provide internal sidewalks and pedestrian connections on the Site as generally depicted on the Rezoning Plan. Internal sidewalks may meander to save existing trees.

8. Petitioner shall dedicate all rights-of-way where necessary, in fee simple conveyance to the City of Charlotte prior to the issuance of the Site's first building certificate of occupancy.
9. Unless stated otherwise herein, the Petitioner shall ensure that all transportation improvements are substantially completed prior to the issuance of the Site's first building certificate of occupancy.

**IV. Architectural Standards**

1. Preferred Exterior Building Materials: All principal and accessory buildings shall be comprised of a combination of portions of brick, brick veneer, natural stone (or its synthetic equivalent), and/or vinyl siding.
2. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.
3. Roof overhangs, eaves, cornices, chimneys, gutters, vents, bay windows, pilasters, pillars, open porches (if provided), and other architectural elements may project up to twenty-four (24) inches into the required setbacks.
4. For all units, Petitioner shall provide blank wall provisions that limit the maximum blank wall expanse to twenty (20) feet on all building levels, provisions may include but not be limited to doors, windows, shutters, awnings, material or color changes, brick or stone foundation water-tables, trim bands, and/or enhancements. Porches or stoops and overhangs that extend beyond the walls of the main building footprint shall not be used in calculating the twenty (20) foot expanses for blank wall purposes. For townhomes entering the front door on the side of the home, front door area porches or stoops shall be used in calculating the twenty (20) foot expanses for blank wall purposes. Side entry porches or stoops shall be considered to be provisions or enhancements.
5. All townhome units shall be provided with a garage for a minimum of one (1) car.
6. Refuse collection throughout the Site shall be in the form of roll-out containers. Service dumpster locations are reserved on the Rezoning Plan, however, construction of such dumpster pads shall not be required in the event that private trash collection is utilized for the entire Site.
7. Attached dwelling units shall be limited to a maximum of six (6) townhome units per building. Six (6) unit buildings shall not be located directly adjacent to each other on the same side of the street
8. Garage doors visible from public or private streets should minimize the visual impact by either providing a setback of twelve (12) to twenty-four (twenty four) inches from the front wall plane or include additional architectural treatments such as translucent windows or projecting elements over the garage door opening.
9. Lead walks shall be provided to connect to drives or public/private streets.

10. The Petitioner may subdivide the Site and create lots within the Site with no side or rear yards as part of a unified development plan.

**V. Environmental Features**

1. The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Stormwater Ordinance. The location, size, and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points
2. The Petitioner shall comply with the Charlotte Tree Ordinance.

**VI. Lighting**

1. All freestanding lighting fixtures installed on the Site greater than twenty one (21) feet in total height (i.e., excluding decorative lighting less than 21' in height that may be installed along the driveways and sidewalks as pedestrian/landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed.

**VII. Binding Effect of the Rezoning Documents and Definitions**

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective successors in interest and assigns.

Throughout these Development Standards, the terms, "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of any part of the Site from time to time who may be involved in any future development thereof.

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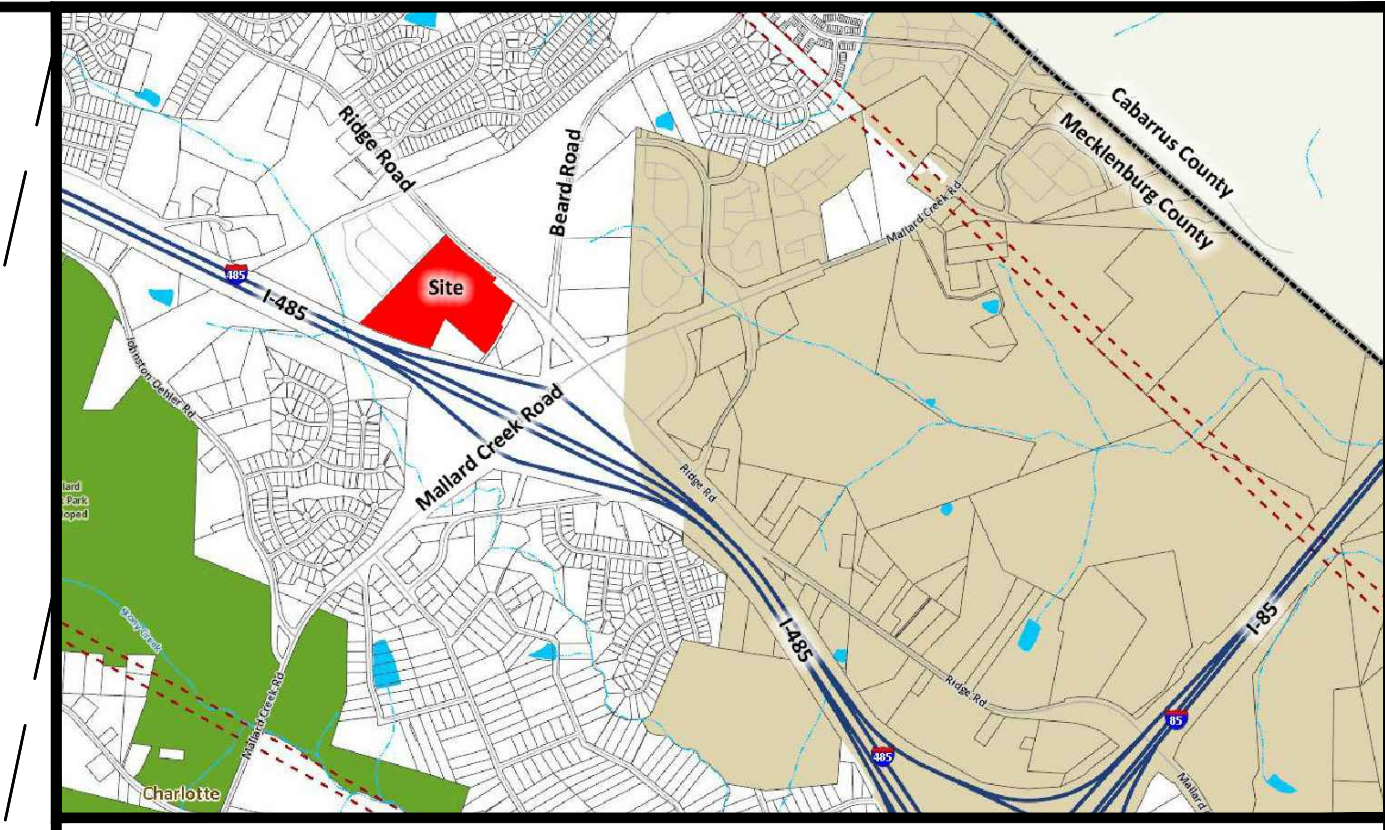
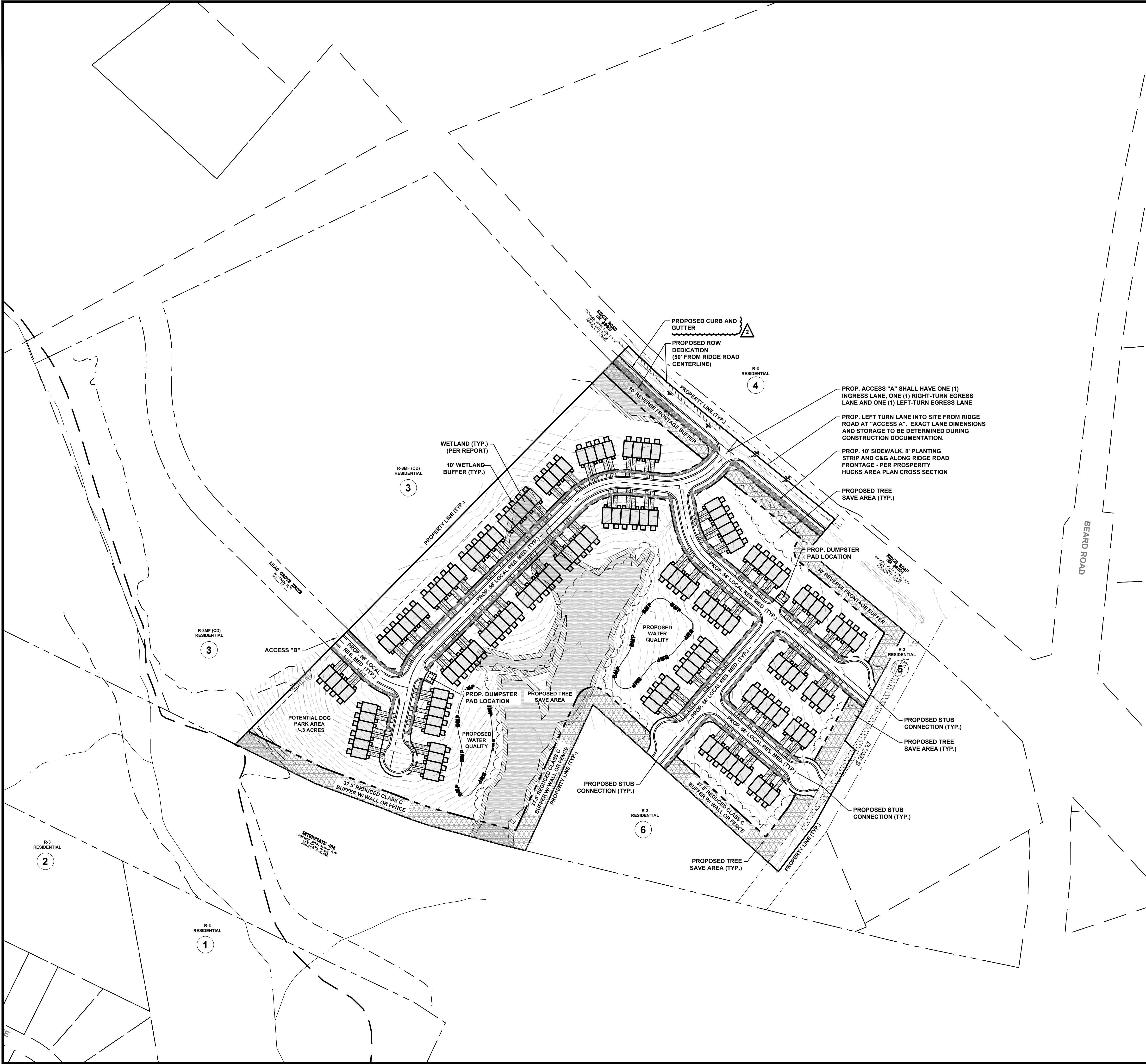


NO.	DATE	REVISION	REVISOR	REVISION PER STAFF COMMENTS	REVISOR	REVISION PER STAFF COMMENTS
1	08/17/2020					
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TECHNICAL DATA  
**REZONING PETITION #2020-075**  
**RIDGE ROAD HUNTER TOWNHOMES**  
MATTAMY HOMES  
CITY OF CHARLOTTE

PROJECT INFORMATION	
PROJECT MANAGER:	MM
DESIGNED BY:	AB
DRAWN BY:	ZW
PROJECT NUMBER:	IM06.100
ORIGINAL DATE:	4/16/2020

U:\2020 Projects (IM06) - Other Property (Mattamy)\Submittal\Drawings\2020-04-17\_3rd Rezoning\Submittal\Sheets\IM06 - R3H - Master Plan.dwg, Master Plan, sheet 8



**Vicinity Map**  
Not to Scale



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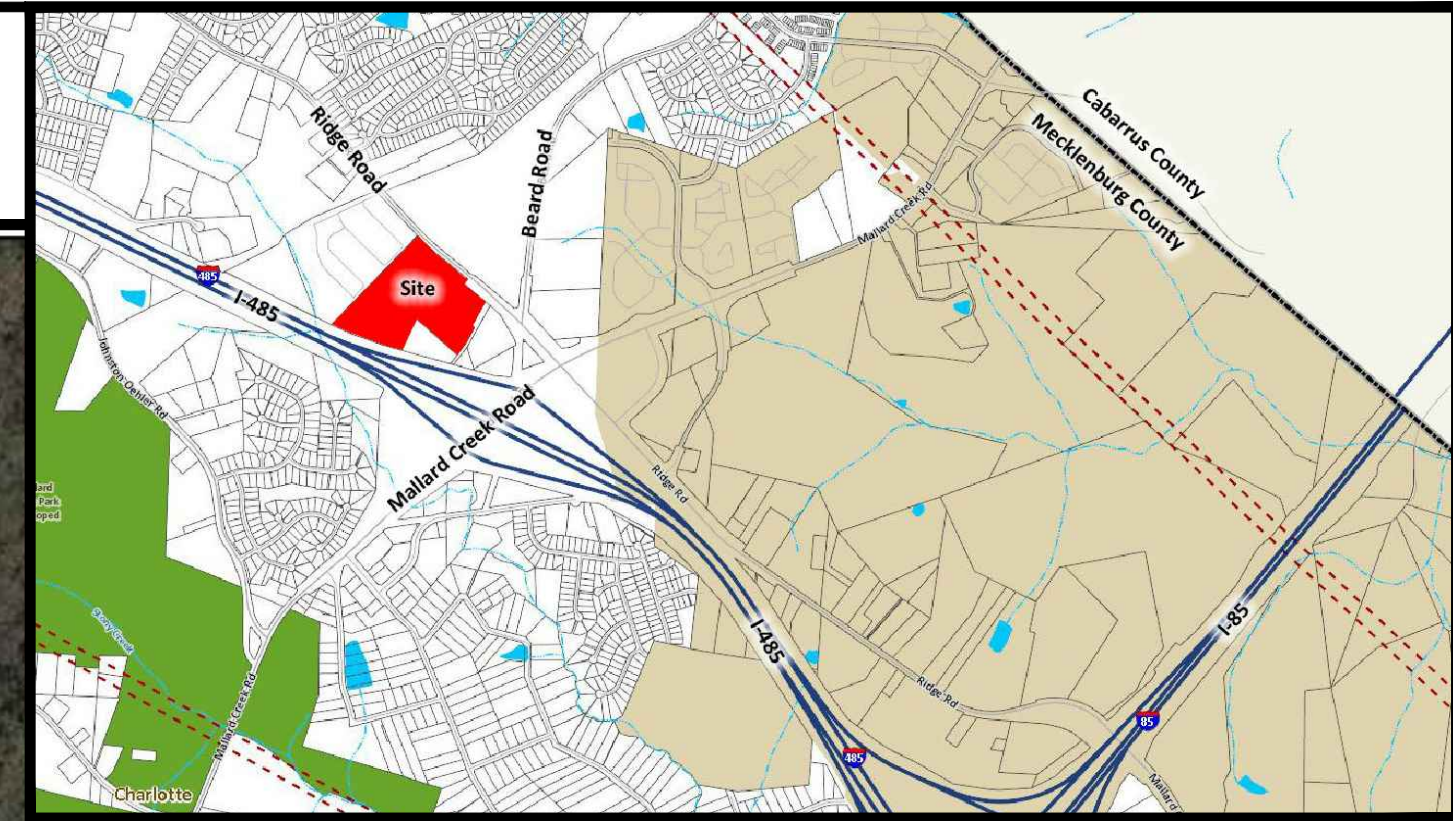
MASTER PLAN - REZONING PETITION #2020-075  
**RIDGE ROAD HUNTER TOWNHOMES**  
MATTAMY HOMES  
CITY OF CHARLOTTE

**GRAPHIC SCALE**  
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SHEET:	<b>3 OF 4</b>

Conceptual Master Plan



Vicinity Map  
Not to Scale



U:\2020 Projects (IM)\06 - Other Property (Mattamy)\Submittal\Drawings\2020-04-17\_3rd Rezoning\Submittal\Sheets\IM06 - RRH - Concept Master Plan.dwg, Concept Master Plan, white



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CONCEPTUAL MASTER PLAN  
REZONING PETITION #2020-075  
**RIDGE ROAD HUNTER TOWNHOMES**  
MATTAMY HOMES  
CITY OF CHARLOTTE

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