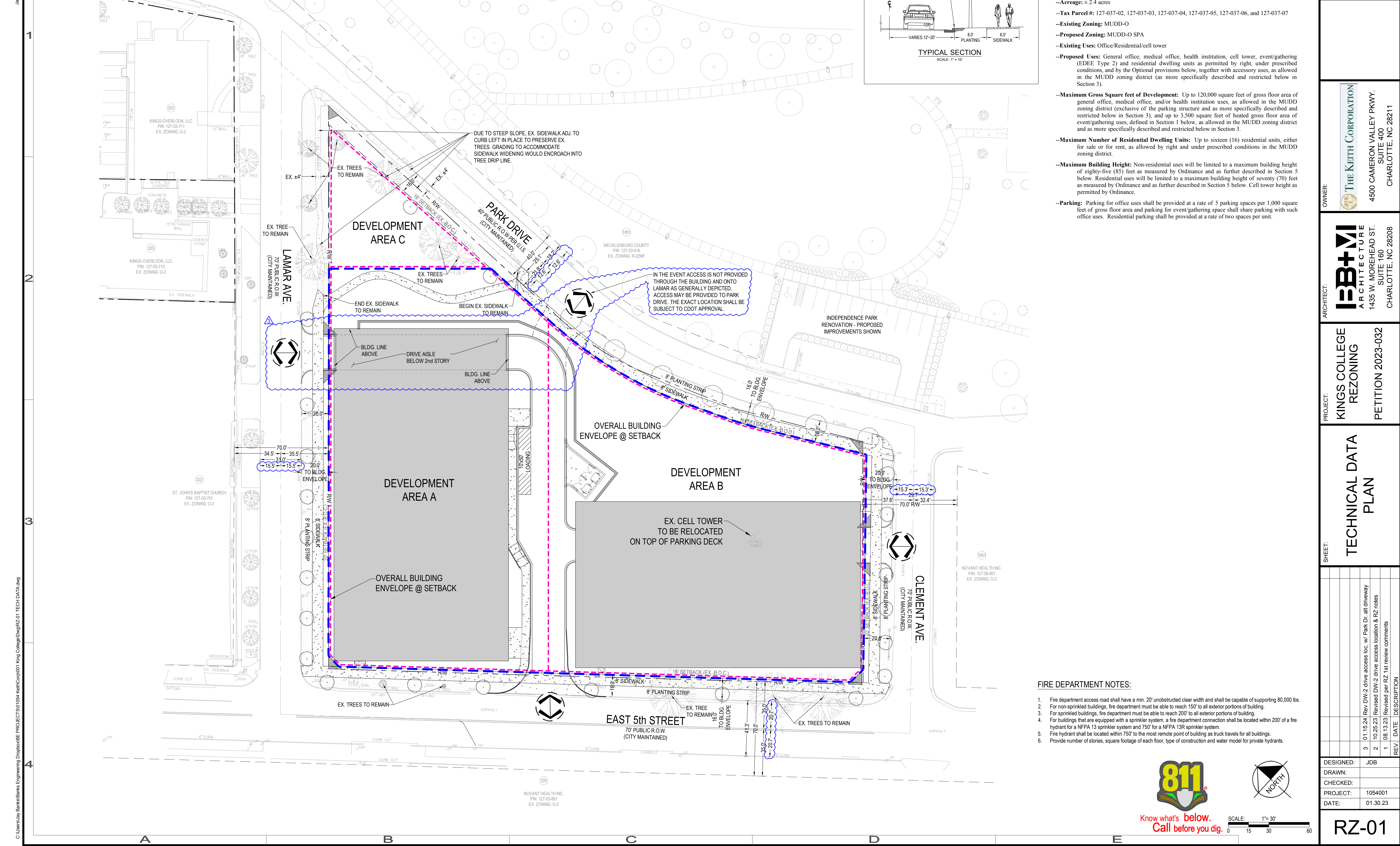
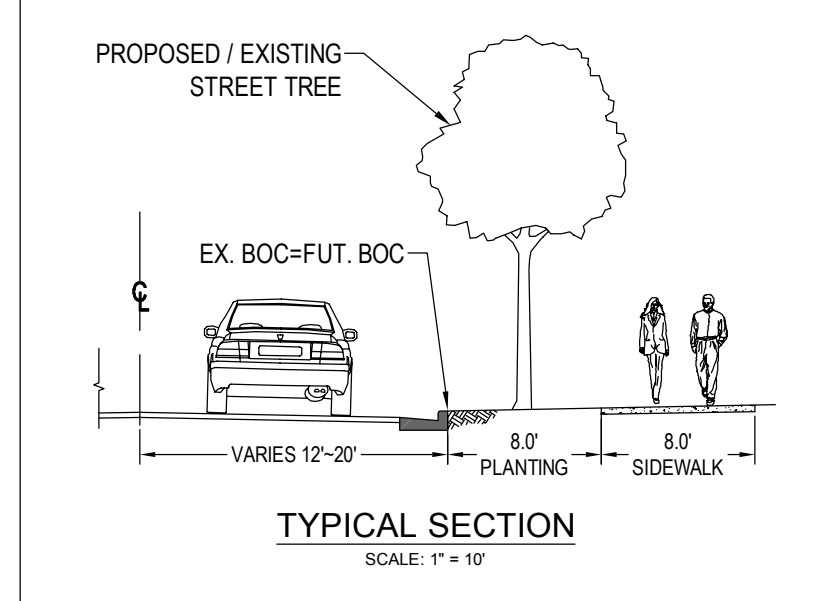


5772819-3
The Keith Corporation
 Development Standards
 11/16/2023
 Rezoning Petition No. 2023-032

- Site Development Data:**
- Acreage: # 2.4 acres
 - Tax Parcel #: 127-037-02, 127-037-03, 127-037-04, 127-037-05, 127-037-06, and 127-037-07
 - Existing Zoning: MUDD-O
 - Proposed Zoning: MUDD-O SPA
 - Existing Uses: Office/Residential/cell tower
 - Proposed Uses: General office, medical office, health institution, cell tower, event/gathering (EDGE Type 2) and residential dwelling units as permitted by right, under prescribed conditions, and by the Optional provisions below, together with accessory uses, as allowed in the MUDD zoning district (as more specifically described and restricted below in Section 3).
 - Maximum Gross Square feet of Development: Up to 120,000 square feet of gross floor area of general office, medical office, and/or health institution uses, as allowed in the MUDD zoning district (exclusive of the parking structure and as more specifically described and restricted below in Section 3), and up to 3,500 square feet of heated gross floor area of event/gathering uses, defined in Section 1 below, as allowed in the MUDD zoning district and as more specifically described and restricted below in Section 3.
 - Maximum Number of Residential Dwelling Units: Up to sixteen (16) residential units, either for sale or for rent, as allowed by right and under prescribed conditions in the MUDD zoning district.
 - Maximum Building Height: Non-residential uses will be limited to a maximum building height of eighty-five (85) feet as measured by Ordinance and as further described in Section 5 below. Residential uses will be limited to a maximum building height of seventy (70) feet as measured by Ordinance and as further described in Section 5 below. Cell tower height as permitted by Ordinance.
 - Parking: Parking for office uses shall be provided at a rate of 5 parking spaces per 1,000 square feet of gross floor area and parking for event/gathering space shall share parking with such office uses. Residential parking shall be provided at a rate of two spaces per unit.



IN THE EVENT ACCESS IS NOT PROVIDED THROUGH THE BUILDING AND ONTO LAMAR AS GENERALLY DEPICTED, ACCESS MAY BE PROVIDED TO PARK DRIVE. THE EXACT LOCATION SHALL BE SUBJECT TO CDOT APPROVAL.

- FIRE DEPARTMENT NOTES:**
1. Fire department access road shall have a min. 20' unobstructed clear width and shall be capable of supporting 80,000 lbs.
 2. For non-sprinkled buildings, fire department must be able to reach 150' to all exterior portions of building.
 3. For sprinkled buildings, fire department must be able to reach 200' to all exterior portions of building.
 4. For buildings that are equipped with a sprinkler system, a fire department connection shall be located within 200' of a fire hydrant for a NFPA 13 sprinkler system and 750' for a NFPA 13R sprinkler system.
 5. Fire hydrant shall be located within 750' to the most remote point of building as truck travels for all buildings.
 6. Provide number of stories, square footage of each floor, type of construction and water model for private hydrants.

OWNER:
THE KEITH CORPORATION
 4500 CAMERON VALLEY PKWY.
 SUITE 400
 CHARLOTTE, NC 28211

ARCHITECT:
BB+M ARCHITECTURE
 1435 W. MOREHEAD ST.
 SUITE 160
 CHARLOTTE, NC 28208

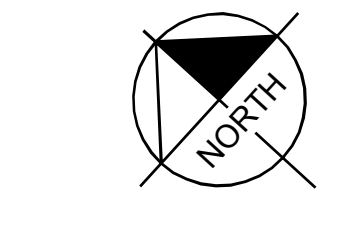
PROJECT:
KINGS COLLEGE REZONING PETITION 2023-032

TECHNICAL DATA PLAN

REV.	DATE	DESCRIPTION
1	08.13.23	Revised per RZ 1st review comments
2	10.25.23	Revised DW-2 drive access location & RZ notes
3	01.15.24	Rev DW-2 drive access loc. w/ Park Dr. alt driveway

DESIGNED: JDB
 DRAWN:
 CHECKED:
 PROJECT: 1054001
 DATE: 01.30.23

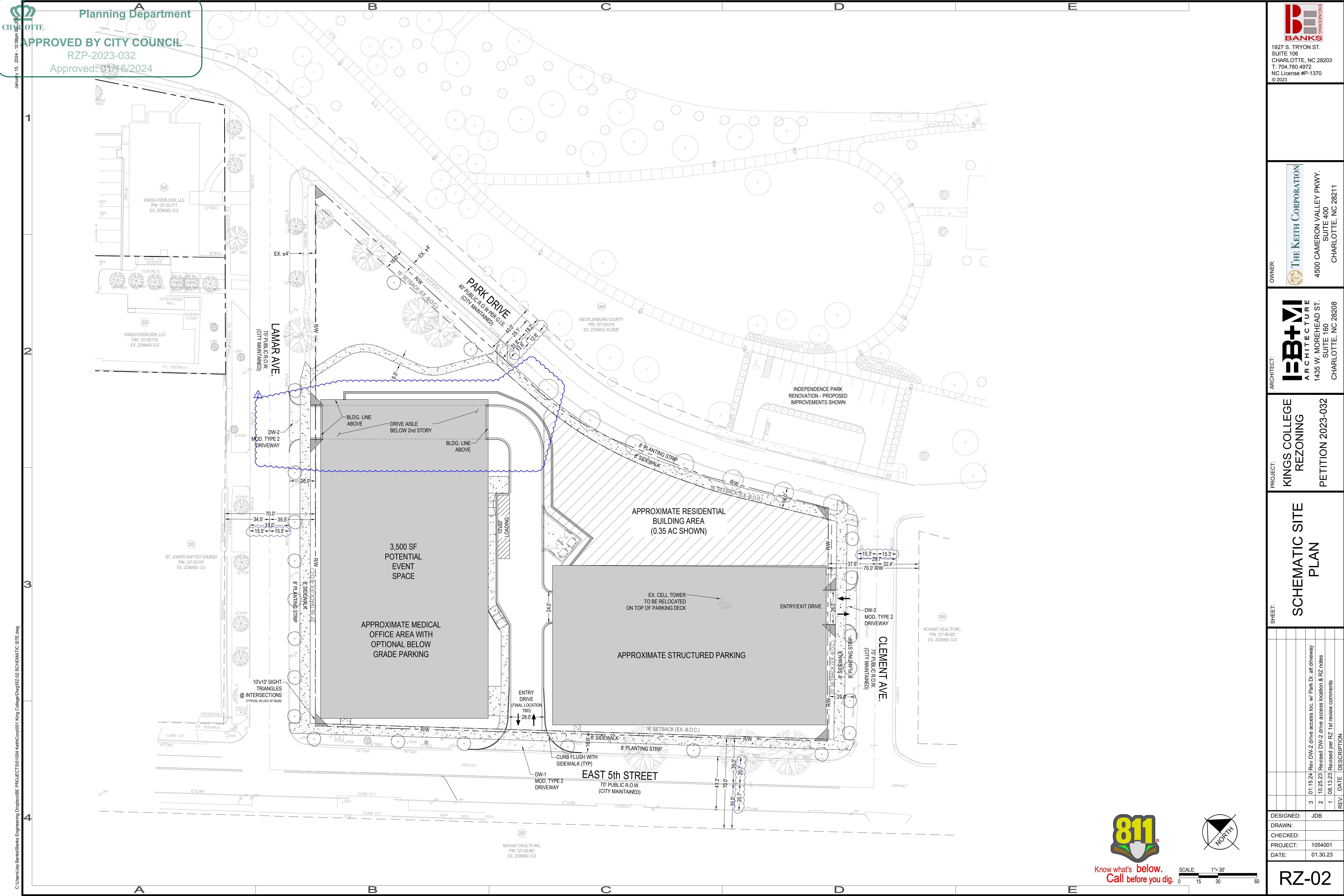
RZ-01



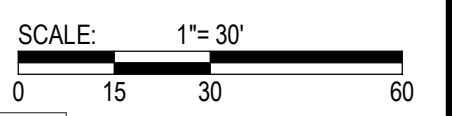
SCALE: 1" = 30'
 0 15 30 60

REV.	DATE	DESCRIPTION
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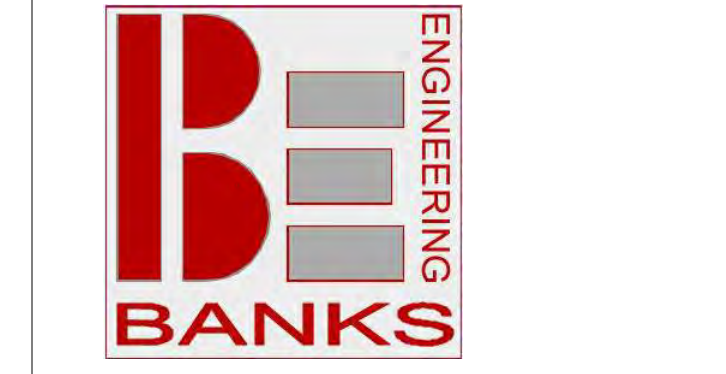
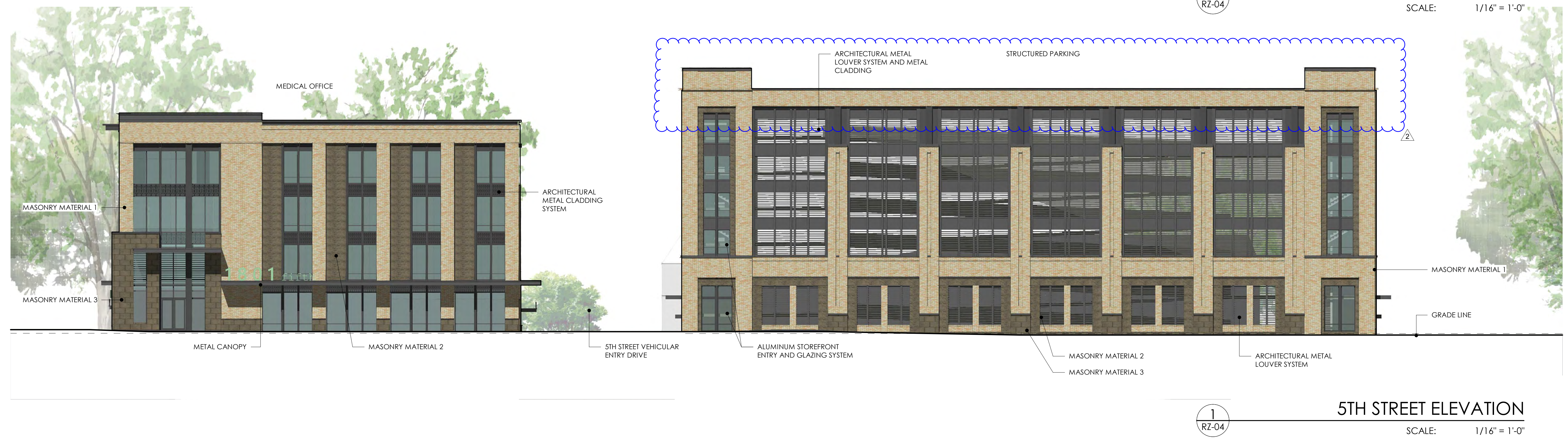
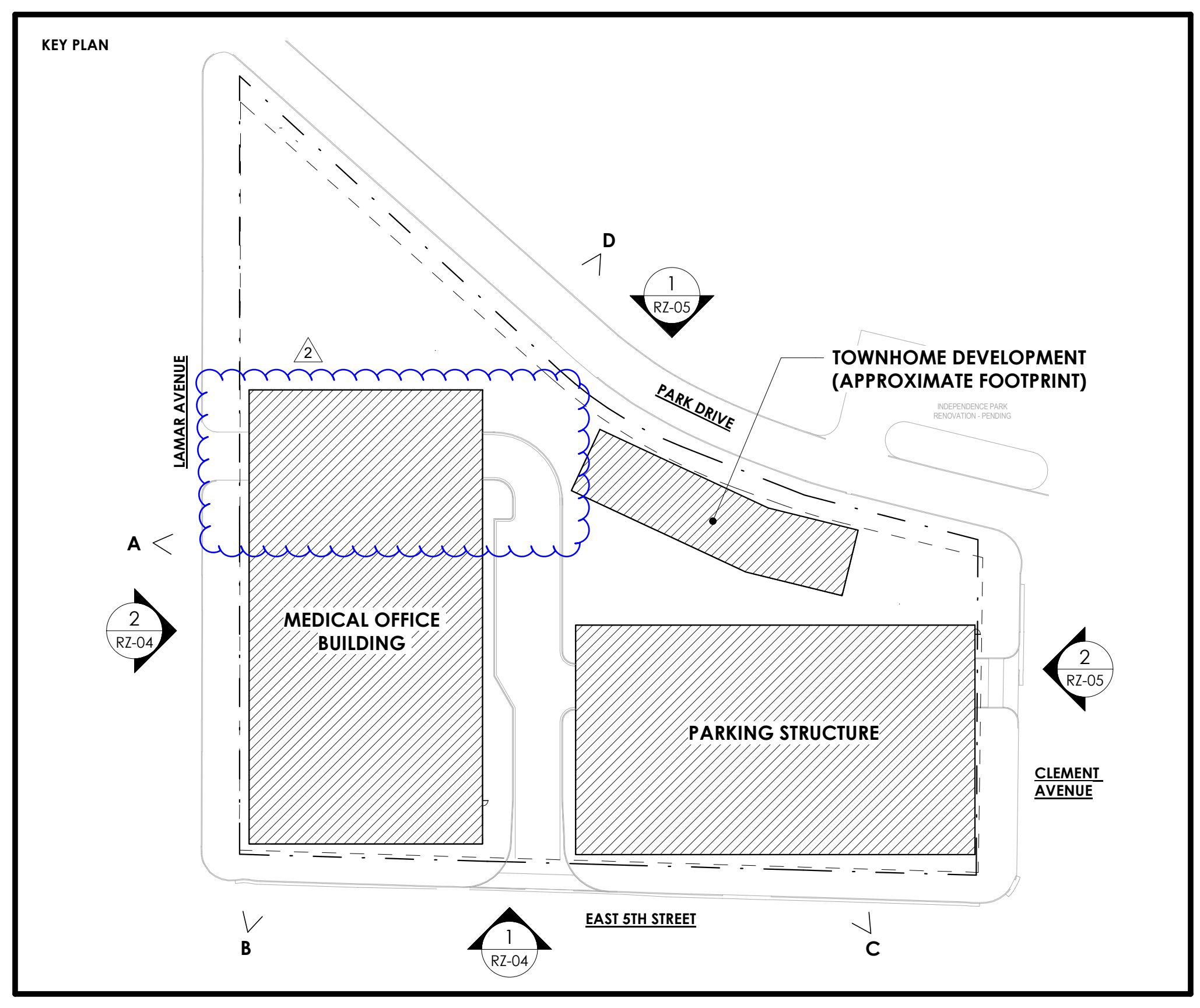


Know what's below.
 Call before you dig.





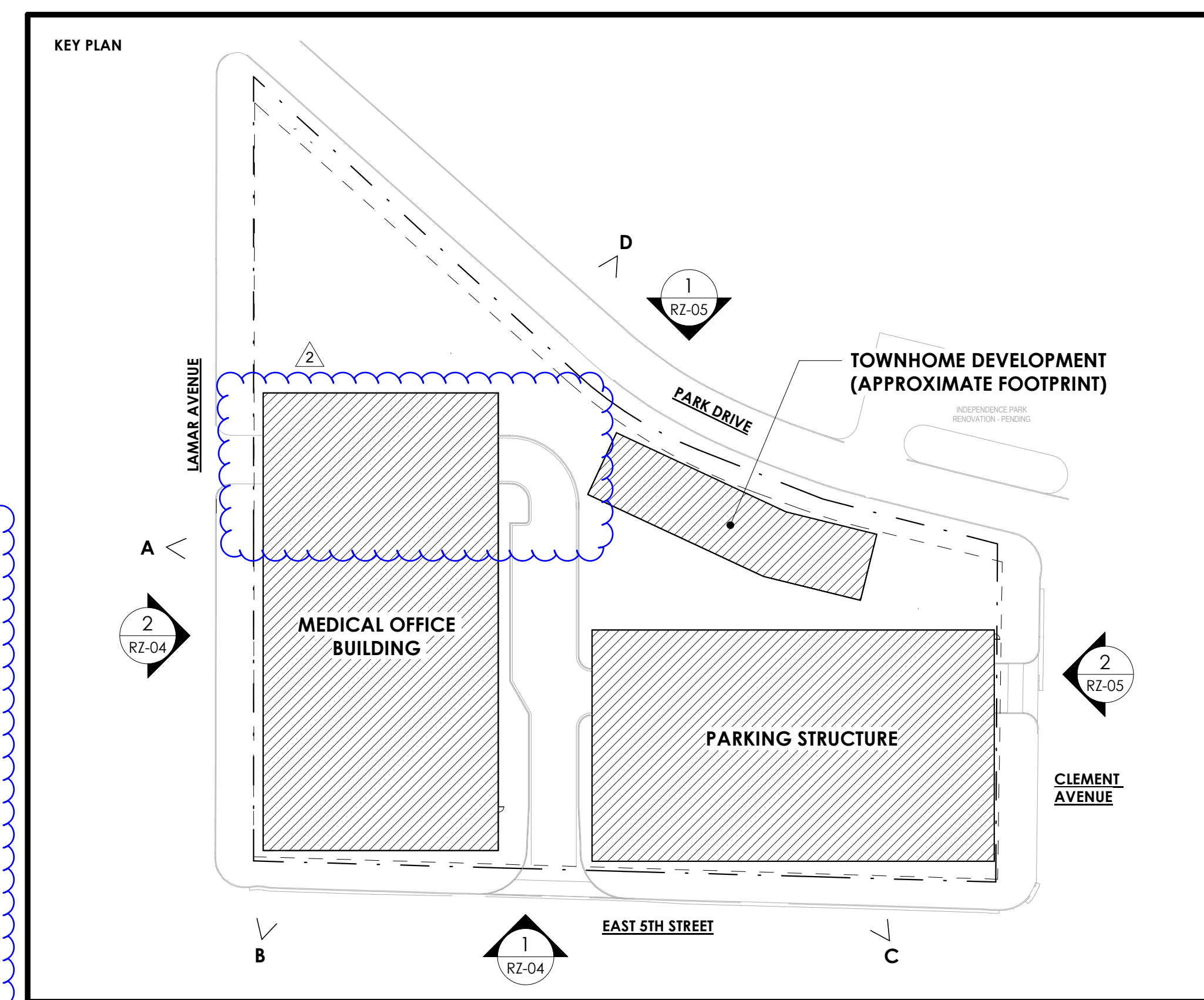
NOTES:
 1. THESE ELEVATIONS ARE CONCEPTUAL IN NATURE ONLY AND ARE INTENDED TO REFLECT THE OVERALL SCALE OF THE BUILDING AND VARIOUS BUILDING EXPRESSIONS. HEIGHT SHALL BE PERMITTED AS SET FORTH IN SECTION 5 OF THESE DEVELOPMENT STANDARDS. THE ACTUAL BUILDINGS TO BE CONSTRUCTED ON THE SITE MAY VARY.
 2. REFER TO SHEETS AND NOTES AS PART OF THIS SET FOR ADDITIONAL INFORMATION



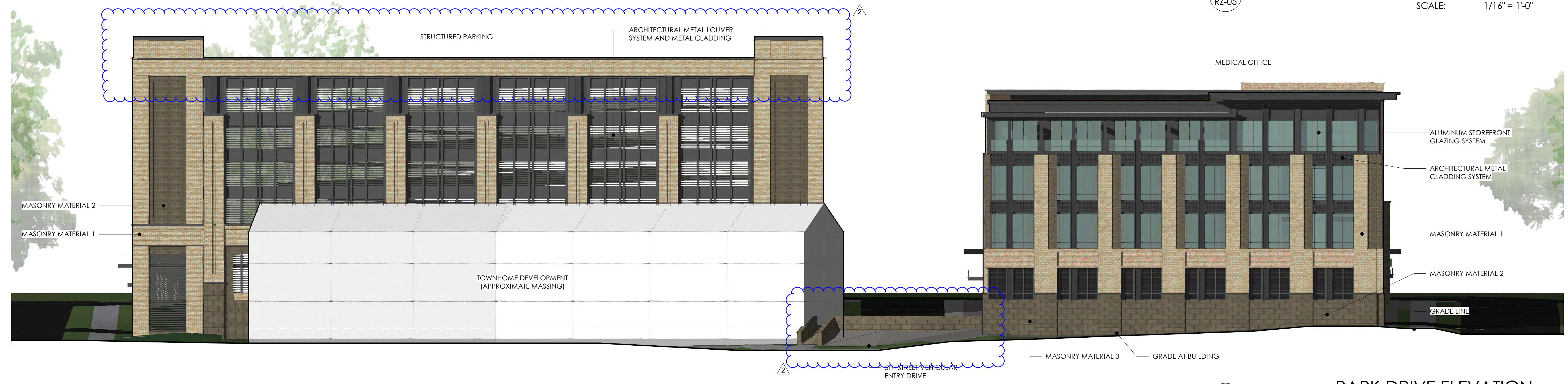
Revisions		
No.	Description	Date
1	Revised per RZ 1st review comments	08.13.23
2	Revised RZ 2nd submittal	11.22.23



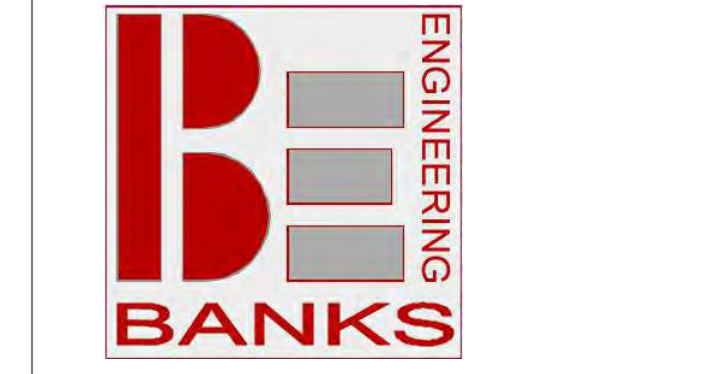
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CLEMENT AVENUE ELEVATION
 SCALE: 1/16" = 1'-0"




PARK DRIVE ELEVATION
 SCALE: 1/16" = 1'-0"



Revisions		
No.	Description	Date
1	Revised per RZ 1st review comments	08.13.23
2	Revised RZ 2nd submittal	11.22.23




Planning Department
APPROVED BY CITY COUNCIL
 RZP-2023-032
 Approved: 01/16/2023


 1927 S. TRYON ST.
 SUITE 106
 CHARLOTTE, NC 28203
 T: 704.780.4972
 NC License #P-1370
 © 2023

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 4500 CAMERON VALLEY PKWY.
 SUITE 400
 CHARLOTTE, NC 28211

ARCHITECT:

BB+M
 ARCHITECTURE
 1435 W. MOREHEAD ST.
 SUITE 160
 CHARLOTTE, NC 28208

PROJECT:
**KINGS COLLEGE
 REZONING**
 PETITION 2023-032


SHEET:
**EXISTING
 CONDITIONS
 SURVEY**


REV.	DATE	DESCRIPTION
2	11.22.23	Revised DW-2 drive access location & RZ notes
1	08.13.23	Revised per RZ 1st review comments

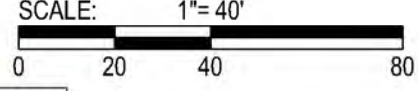
DESIGNED: JDB
 DRAWN:
 CHECKED:
 PROJECT: 1054001
 DATE: 01.30.23

RZ-07




811
 Know what's below.
 Call before you dig.


 NORTH

SCALE: 1"=40'


C:\Users\jdb\Banks\Banks\Engineering\Dropbox\BE PROJECTS\101064\KeithCorp\001 Kings College\Draw\PC-07 EXISTING COND.dwg