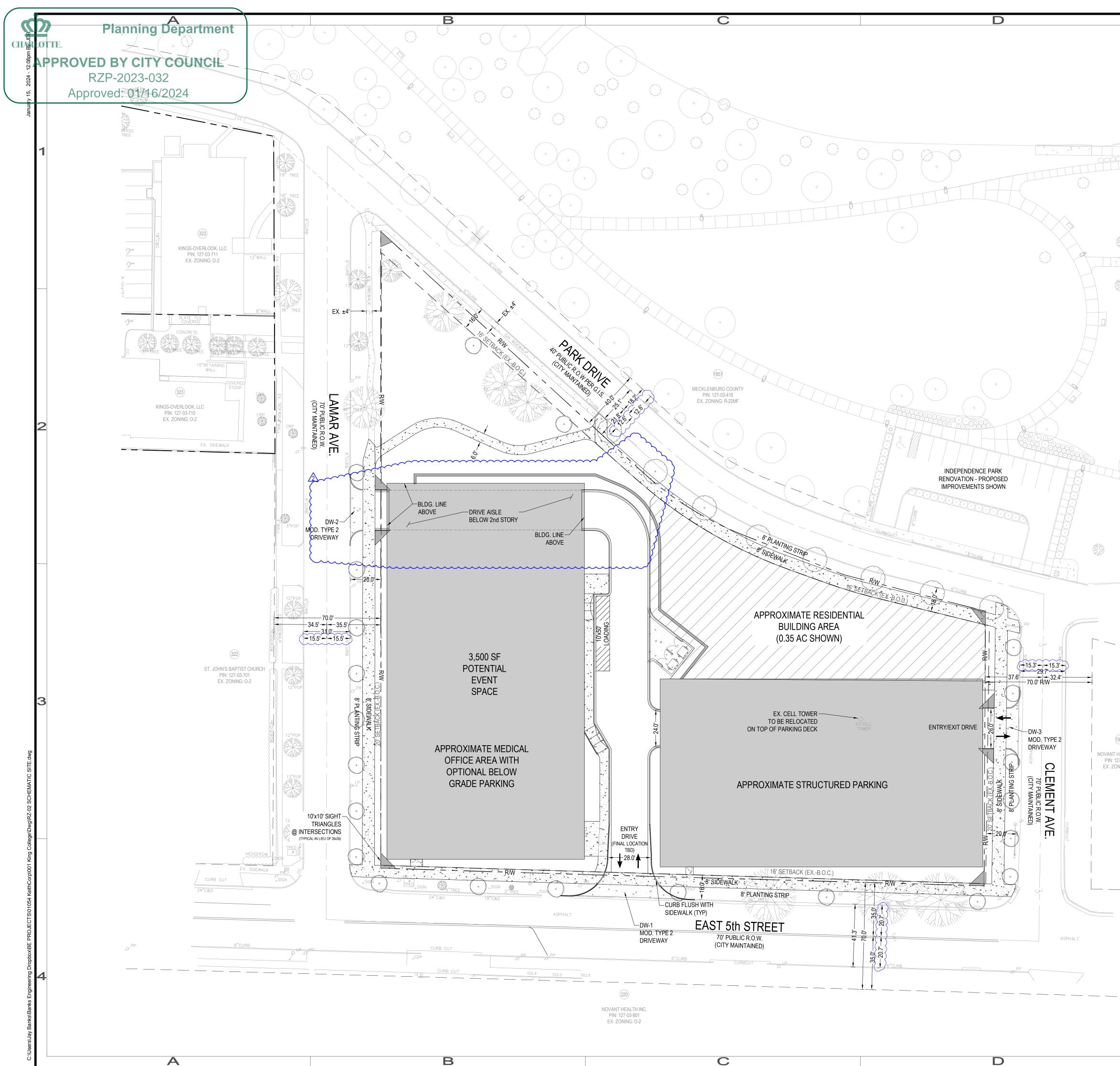


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	E		
			1927 S. TRYON ST. SUITE 106 CHARLOTTE, NC 28203 T: 704.780.4972 NC License #P-1370 © 2023
			OWNER: THE KEITH CORPORATION 4500 CAMERON VALLEY PKWY. SUITE 400 CHARLOTTE, NC 28211
$\left(\begin{array}{c} + \end{array}\right)$			ARCHITECT: A R C H I T E C T U R E 1435 W. MOREHEAD ST. SUITE 160 CHARLOTTE, NC 28208
			PROJECT: KINGS COLLEGE REZONING PETITION 2023-032
1901 HEAL TH INC			SCHEMATIC SITE PLAN
HEALTH INC. 27-06-601 JNING: 0-2			3 01.15.24 Rev DW-2 drive access loc. w/ Park Dr. alt driveway 1 2 10.25.23 Revised DW-2 drive access location & RZ notes 1 1 08.13.23 Revised per RZ 1st review comments 1 REV. DATE DESCRIPTION 1
	Know what's below.	ALE: 1"= 30'	m m m DESIGNED: JDB DRAWN: Image: Checked: CHECKED: Image: Checked: PROJECT: 1054001 DATE: 01.30.23
		15 30 60	

		B
RLOTTE	Planning Department 5772819v3 The Keith Corporation	iii. Health institution uses (specifically uses the
	Development Standards	or more) shall be limited as follows:a) No more than 40 beds, in the aggrega
APPR	OVED BY CITY CORECONING Petition No. 2023-032	inpatient overnight and/or for periods of building.
	Site Development Data: 32	b) No tenant will provide general acute c
	App <u>roved</u> : 01/16/2024	overnight and/or for periods of 24 hours may only be provided, to patients on an
	Tax Parcel #: 127-037-02, 127-037-03, 127-037-04, 127-037-05, 127-037-06, and 127-037-07	acute and subacute medical care service overnight and/or for periods of 24 hours
	Existing Zoning: MUDD-O	condition that it is one of the following us
	Proposed Zoning: MUDD-O SPA Existing Uses: Office/Residential/cell tower	1. physical rehabilitation performed by prehabilitation services and the deliver
1	Proposed Uses: General office, medical office, health institution, cell tower, event/gathering	therapy; 2. wound care;
	(EDEE Type 2) and residential dwelling units as permitted by right, under prescribed conditions, and by the Optional provisions below, together with accessory uses, as allowed	3. infusion therapy;
	in the MUDD zoning district (as more specifically described and restricted below in Section 3).	 4. orthopedic care; 5. post-surgical care and recovery progr
	Maximum Gross Square feet of Development: Up to 120,000 square feet of gross floor area of	6. treatment of eating disorders.
	general office, medical office, and/or health institution uses, as allowed in the MUDD zoning district (exclusive of the parking structure and as more specifically described and	c) Unless as permitted for the provision of no tenant shall:
	restricted below in Section 3), and up to 3,500 square feet of heated gross floor area of event/gathering uses, defined in Section 1 below, as allowed in the MUDD zoning district	1. operate a "hospital," as defined withi
	and as more specifically described and restricted below in Section 3.	 and/or regulations promulgated in co seek, obtain or otherwise maintain lice
	Maximum Number of Residential Dwelling Units: Up to sixteen (16) residential units, either for sale or for rent, as allowed by right and under prescribed conditions in the MUDD	Carolina's Hospital Licensure Act, N amended hereafter; provided, howev
	zoning district. Maximum Building Height: Non-residential uses will be limited to a maximum building height	department, including a portion of a l department, that provides services on
	of eighty-five (85) feet as measured by Ordinance and as further described in Section 5 below. Residential uses will be limited to a maximum building height of seventy (70) feet	accordance with iii.b above. For examinaging center are permitted uses.
	as measured by Ordinance and as further described in Section 5 below. Cell tower height as permitted by Ordinance.	3. authorize or allow any of its beds to b
	Parking: Parking for office uses shall be provided at a rate of 5 parking spaces per 1,000 square	temporary shelter in accordance with authorized by the North Carolina Div
	feet of gross floor area and parking for event/gathering space shall share parking with such office uses. Residential parking shall be provided at a rate of two spaces per unit.	accordance with N.C.G.S. §131E-84d) No tenant will provide services for the tr
	1. <u>General Provisions</u> :	limitation, treatment of substance use d and/or any form of psychiatric treatmen
	a. Site Location. These Development Standards form a part of the Technical Data Sheet	and/or for periods of 24 hours or more residential, partial hospitalization and/or
	associated with the Rezoning Petition filed by The Keith Corporation to accommodate development of a mix of residential and office uses allowed in the MUDD zoning district	primary diagnosis, including to patients v
	on an approximately ± 2.397 acre site located on the southwest side of W. 5th Street between Lamar Avenue and Clement Avenue (the "Site").	 or more as described in subsection (iii.b.6 e) No tenant shall authorize or allow any or
	b. Zoning District/Ordinance . Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the	chemical dependency treatment beds exce
2	"Ordinance"). Unless the Rezoning Plan establishes more stringent standards, the regulations established under the Ordinance for the MUDD-O zoning classification shall	f) No tenant shall operate an emergen department," as that term is defined within
	govern all development taking place on the Site, subject to the Optional Provisions provided below.	hereafter; provided, however, that a ten provides services on a less than 24 hour b
	c. Graphics and Alterations . The schematic depictions of the uses, parking areas,	licensure from the State of North Card department.
	sidewalks, structures and buildings, building elevations, driveways, streets, and other development matters and site elements (collectively the "Development/Site Elements") set	
	forth on the Rezoning Plan shall be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes and formulations of the	<i>It is understood that above subsection iii regarding Hea</i> <i>intended to permit certain uses with an overnight stay a</i>
	Development/Site Elements depicted on the Rezoning Plan are graphic representations of the Development/Site Elements proposed. Changes to the Rezoning Plan not anticipated by	<i>emergency hospital services. It is not intended to limit permitted under the Ordinance.</i>
	the Rezoning Plan will be reviewed and approved as allowed by Section 6.207 of the Ordinance.	b. Development Area B may be developed with s building), a cell tower, and up to sixteen (16) r
	Since the project has not undergone the design development and construction	c. Development Area C shall be preserved as a m
	documentation phases, it is intended that this Rezoning Plan provide for flexibility in allowing some alterations or modifications from the graphic representations of the	feet of open space with improved landscaping
_	Development/Site Elements. Therefore, there may be instances where minor modifications will be allowed without requiring the Administrative Amendment Process per Section	 <u>Transportation and Access</u>: a. Access to the Site shall be provided as general
	6.207 of the Ordinance.	placement and configuration of the access poin required by CDOT in accordance with applica
	d. Number of Buildings Principal and Accessory . Notwithstanding the number of buildings shown on the Rezoning Plan, the total number of principal buildings to be	b. The alignment of vehicular circulation areas a
	developed on the Site will be limited to two (2) buildings not including the accessory parking structure. Accessory buildings and structures located on the Site shall not be	to accommodate changes in traffic patterns, pa for approval by CDOT in accordance with app
	considered in any limitation on the number of buildings on the Site. Accessory buildings and structures will be constructed utilizing similar building materials, colors, architectural	c. The Petitioner will provide a permanent sidew
	elements and designs as the principal building(s) located within the same Development Area as the accessory structure/building.	sidewalks located along the public streets loca permanent sidewalk easement will be located a
	e. Gross Floor Area. When determining the maximum development levels set forth in this Rezoning Plan, gross floor area as defined in the Ordinance shall exclude any surface or	primary sidewalk where feasible. d. All transportation improvements that are the re
	structured parking facilities (including, without limitation, below grade parking, corridors and elevators within such facilities) and enclosed loading dock/service areas.	approved and constructed prior to the release of Site subject to the Petitioner's ability to post a l
	f. Principal Building . The term "Principal Building" shall refer to the office building to be	the time of the issuance of the first certificate of
3	constructed on the site. Provisions set forth herein specific to the Principal Building shall not apply to the accessory structure parking unless otherwise noted.	e. Parking for office uses shall be provided at a r of gross floor area and parking for event/gathe
	g. Event/Gathering/Activity. The terms "Event/Gathering/ uses" and/or "Event/Gathering"	office uses. Parking for residential uses shall b per unit.
	(whether capitalized or not) will mean and refer to uses that are individually permitted in the MUDD zoning district but are stated here for clarity and simplicity purpose such as	f. In an effort to further support pedestrian mobil
	meetings, retreats, conferences, exhibits, civic activities, weddings, reunions, and/or similar.	the Petitioner shall install a pedestrian crosswa existing road section.
	2. <u>Optional Provisions.</u>	g. The Petitioner shall modify the traffic signal a associated Traffic Impact Study subject to app
	 a. To not require doorways to be recessed into the face of the building(s). b. To allow the use of anomal and anondral class non Section 5 below. 	h. Subject to CDOT approval, the Petitioner shal
	b. To allow the use of opaque and spandrel glass per Section 5 below.c. To allow 10x10 site triangles as permitted by Section 12.109 of the Ordinance.	Greenway Avenue to a three-way stop.
	d. To not require the cell tower located on the parking structure in Development Area B to be	i. It is understood, a Right-of-Way Encroachmer of any non-standard item(s) (irrigation systems
	indiscernible.	pavers, etc.) within a proposed/existing City-n individual, group, business, or homeowner's/bu
	 3. <u>Permitted Uses & Development Limitations:</u> a. The Site may be developed as follows: Development Area A may be developed with up to 	encroachment agreement must be approved by 5. Architectural Standards:
	120,000 square feet of gross floor area devoted to general office, medical office and/or health institution uses with below grade parking as well as 3,500 heated square feet of	 <u>Arcnitectural Standards:</u> a. Building Height: The maximum building hei
	rooftop event/gathering space (EDEE type 2) with accessory rooftop outdoor space subject to the following:	per Ordinance for non-residential uses and sha Ordinance for residential uses along the Park I
	i. The hours of operation for Event/Gathering uses on the Site shall be from 5:00 pm to 9:00	b. Conceptual Renderings. The elevations provi
	pm on weekdays and 8:00 am to 10:00pm on weekends.	architectural renderings that are intended to de style, character of the building, and overall des
	ii. Outdoor music performances and amplified outdoor music is prohibited.	be designed and constructed so that each eleva conceptual, architectural elevation with respec
		the use of color is not intended to depict a spec material unless otherwise noted. Notwithstand
		further development to the exterior of the build overall conceptual architectural style and chara
		

A

that involve patient admissions for 24 hours

ate, that are dedicated to patients admitted of 24 hours or more will be located in the

care to patients who are admitted inpatient s or more; the provisions of general acute care outpatient basis; the provision of specialized ices to patients who are admitted inpatient s or more is expressly permitted, only on the ises:

providers of cardiac and pulmonary ery of physical, occupational and/or speech

grams; or

services described in subsection (iii.b) above,

- in Section 1861 of the Social Security Act onjunction therewith;
- censure pursuant to the State of North N.C.G.S §131E-75, et seq., or as may be
- ver, a tenant may operate an outpatient hospital operating as an outpatient
- 1 less than a 24-hour basis except as in ample, operation of a surgery center or an

be used for temporary services and/or h any emergency or disaster related waivers vision of Health Service Regulation, in 4, or as may be amended hereafter.

reatment of mental illness, including, without disorders, treatment of chemical dependency, nt, to patients admitted inpatient overnight e; provided, *however*, a tenant(s) may provide r outpatient treatment of eating disorders as a who receive treatment for periods of 24 hours 6) above.

of its beds to be used as psychiatric beds or cept as permitted in b) and d) above.

ncy department or "dedicated emergency in 42 CFR §489.24(b), or as may be amended nant may operate an urgent care center than basis except that no tenant shall seek or obtain rolina as an emergency room or emergency

ealth Care Institutions as a permitted use is and prohibit traditional hospital and/or any general and/or medical office uses

----structure parking (accessory to the principal residential units.

minimum of three thousand (3,000) square g and seating areas.

lly depicted on the Rezoning Plan. The ints are subject to any minor modifications able published standards.

- and driveways may be modified by Petitioner arking layouts and any adjustments required plicable published standards.
- walk easement for any of the proposed primary ated outside of the right-of-way. The a minimum of two (2) feet behind the
- responsibility of the Petitioner, shall be of the first certificate of occupancy for the bond for any improvements not in place at of occupancy, as approved by CDOT.

rate of 5 parking spaces per 1,000 square feet ering space shall share parking with such be provided at a rate of two (2) parking spaces

ility for residents within the Elizabeth area, alk at Greenway and Caswell within the

at 5th Street and Hawthorne as set forth in the proval by CDOT.

ll convert the intersection of Park Drive and

ent Agreement is required for the installation ns, decorative concrete pavement, brick maintained street right-of-way by a private business association. It is understood, an y CDOT prior to construction/installation.

ight shall be eighty-five (85) feet as measured all be seventy (70) feet as measured by Drive frontage.

vided on Sheet RZ-04 are conceptual, epict the general conceptual architectural sign intent. Accordingly, each elevation shall ation is similar in appearance to the relevant ct to architectural style and character. As such, ecific material or the location and amount of a iding the foregoing, changes, refinements, and ding which do not materially change the racter shall be permitted.

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- **c. Office Building Architectural Standards**. The following provisions shall apply to the office building to be constructed on the site subject to minor deviations/variations permitted to address site and development constraints/conditions:
- 1) The primary building material shall be a combination of architectural masonry, architectural precast concrete, and architectural metal products. Other architectural accent materials may be used subject to the provisions set forth below.
- 2) A minimum of 30% of glazing provided on the ground floor along Lamar and 50% of the glazing provided on the ground floor along East 5th Street shall be clear vision glass. The maximum sill height for required transparency shall not exceed 4'-0" above adjacent street sidewalk. The use of spandrel glass shall be limited the balance of the glazing provided on the ground floor, to the upper stories, and between floor lines.
- 3) Glass utilized on upper stories will have a reflectivity level to balance low reflectivity with energy code requirements.
- 4) Building materials shall be utilized to architecturally differentiate the ground floor from upper stories along public streets.
- 5) The use of exposed non-architectural CMU masonry on the exterior of the principal building shall not be permitted. Thin brick shall not be permitted as a principal material on the exterior of the building.
- 6) Vinyl shall not be a permitted exterior cladding material on the building.
- 7) The exterior building materials for all retaining walls installed on the Site shall be brick, stone or architectural block.
- 8) Unless otherwise noted on Sheet RZ-04 and/or Sheet RZ-05, fiber cement (hardiplank) and/or EIFS shall not be permitted on the non-residential building.
- 9) All roof mounted mechanical equipment will be screened from view from adjoining public rights-of-way and abutting properties as viewed from grade.
- 10) Building Placement and Site Design shall focus on and enhance the pedestrian environment on public or private network required streets, through the following: • Buildings shall be placed so as to present a front or side facade to all streets.
- The facades of first/ground floor of the buildings along streets shall incorporate a minimum of 30% masonry materials such as brick, stone, and/or architectural precast concrete.
- Direct pedestrian connection shall be provided between street facing doors, corner entrance features to sidewalks on adjacent streets.
- Building elevations shall not have expanses of blank walls greater than 20 feet in all directions and architectural features such as but not limited to banding, medallions or design features or materials will be provided to avoid a sterile, unarticulated blank treatment of such walls.
- Building elevations shall be designed with vertical bays or articulated architectural features which shall include a combination of at least three of the following: a combination of exterior wall offsets (projections and recesses), columns, pilasters, change in materials or colors, awnings, arcades, or other architectural elements.
- Multi-story buildings shall have a minimum of 20% transparency on all upper stories.
- d. Structured Parking Architectural Standards. The exterior vertical walls of the structured parking facility that are visible from public rights of way or adjacent parcels of land shall be clad in architectural masonry and architectural masonry clad precast concrete with masonry accents and/or include public art or screening as generally depicted on the relevant conceptual renderings. Parking deck screening shall comply with the Ordinance. The structured parking design shall also adhere to the following, subject to minor deviations/variations permitted to address site and development constraints/conditions:
- i. On portions of a facade abutting any frontage, where active uses, ingress/egress points, and/or mechanical equipment are not present, pedestrian-scale interest and activity shall be created through the inclusion of at least three architectural elements, such as awnings, overhangs, decorative screens, grills, louvers, or other similar features.
- ii. Facade openings that face any frontage shall be vertically and horizontally aligned, and all floors fronting on those facades shall be level, not inclined.
- iii. Parking structures shall be designed so that vehicles parked on all levels of the structure and associated lighting are screened by a wall or panel measuring a minimum of 48 inches in height. Screening shall include both vertical and horizontal treatment that resembles patterns and architecture of the occupied portions of the building, including use of similar materials and a similar rhythm of window openings on frontages. The remaining opening shall be screened using decorative elements such as grillwork, louvers, or a similar treatment. For parking structures with rooftop open-air parking, a parapet wall of sufficient height to ensure vehicles are not visible from the nearest sidewalk is required. Any such parapet wall shall be a minimum of four feet in height.
- e. Residential Architectural Standards. The following provisions shall apply to the residential building(s) to be constructed on the site subject to minor deviations/variations permitted to address site and development constraints/conditions:
- 1) The residential building shall adhere to the following standards.
- Units will be constructed of materials consistent with those required for the primary office building structure, however, may utilize fiber cement products. Fiber cement may only account for a maximum of 25% of the exterior building materials.
- 2) Usable porches shall form a predominant feature of the building design and be located on the front and/or side of the building. Usable porches shall be covered and be at least 8 feet deep.
- 3) Blank wall expanses shall be limited to 10 feet on all building levels.
- 4) It is understood that parking will be provided on the ground floor of the residential building. As such, the ground floor shall be treated with decorative louvers, changes in material patterns, enhanced landscaping, seat walls with landscaping, façade recesses to create seating areas, or other architectural details to create visual interest. Evergreen foundation plantings, where utilized to treat blank walls, shall be a minimum of 8' upon installation.
- **f.** Loading and Trash. All loading and trash related aspects shall occur interior to the Site as generally depicted on Sheet RZ-02 or within the structured parking deck. The final location of the loading and trash related aspects shall be determined during land development permitting. The trash containers and the recycling containers may only be emptied between the hours of 7 AM and 8 PM Monday through Saturday.
- 6. Streetscape, Landscaping, Sidewalks & Tree Save:
- **a.** A sixteen (16) foot setback shall be provided along East 5th Street and Park Drive as measured from the existing/future back of curb as generally depicted on the Rezoning Plan.
- **b.** A twenty (20) foot setback shall be provided along Clement Avenue and Lamar Avenue as measured from the existing/future back of curb as generally depicted on the Rezoning Plan.
- c. An eight (8) foot planting strip and eight (8) foot sidewalk shall be provided along East 5th Street and Clement Avenue as generally depicted on the Rezoning Plan.
- **d.** An eight (8) foot planting strip and eight (8) foot sidewalk shall be provided along Park Drive and Lamar Avenue except where the existing sidewalk shall remain to preserve existing trees near the intersection of Park Drive and Lamar Avenue as generally depicted.

D

e. The site shall comply with the tree ordinance. **f.** The sidewalk may meander to preserve trees.

С

D 7. <u>Lighting:</u>

- **a.** All freestanding lighting fixtures installed on the Site (excluding street lights, lower, Site
- Drive building elevations.
- 8. Amendments to the Rezoning Plan:
- Chapter 6 of the Ordinance.
- 9. Binding Effect of the Rezoning Application
- in interest or assigns.
- rezoning).

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b. Any lighting fixtures attached to a building to be constructed on the Site shall be decorative and capped. Architectural up lighting shall be permitted with the exception of any Park

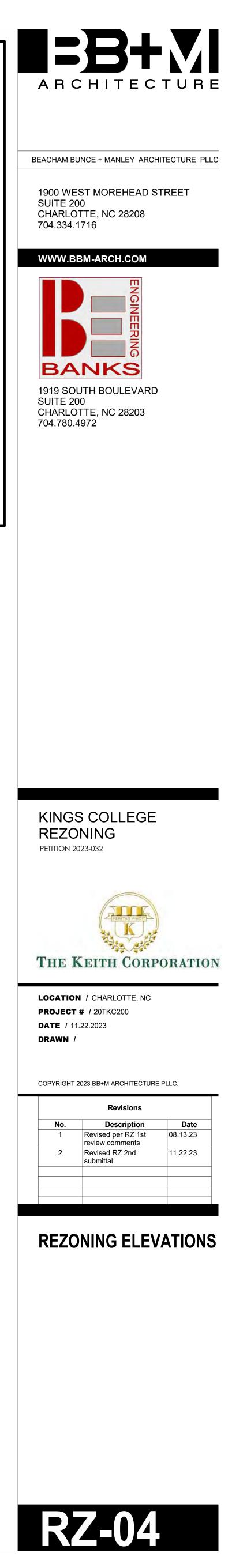
a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable Development Area portion of the Site affected by such amendment in accordance with the provisions of

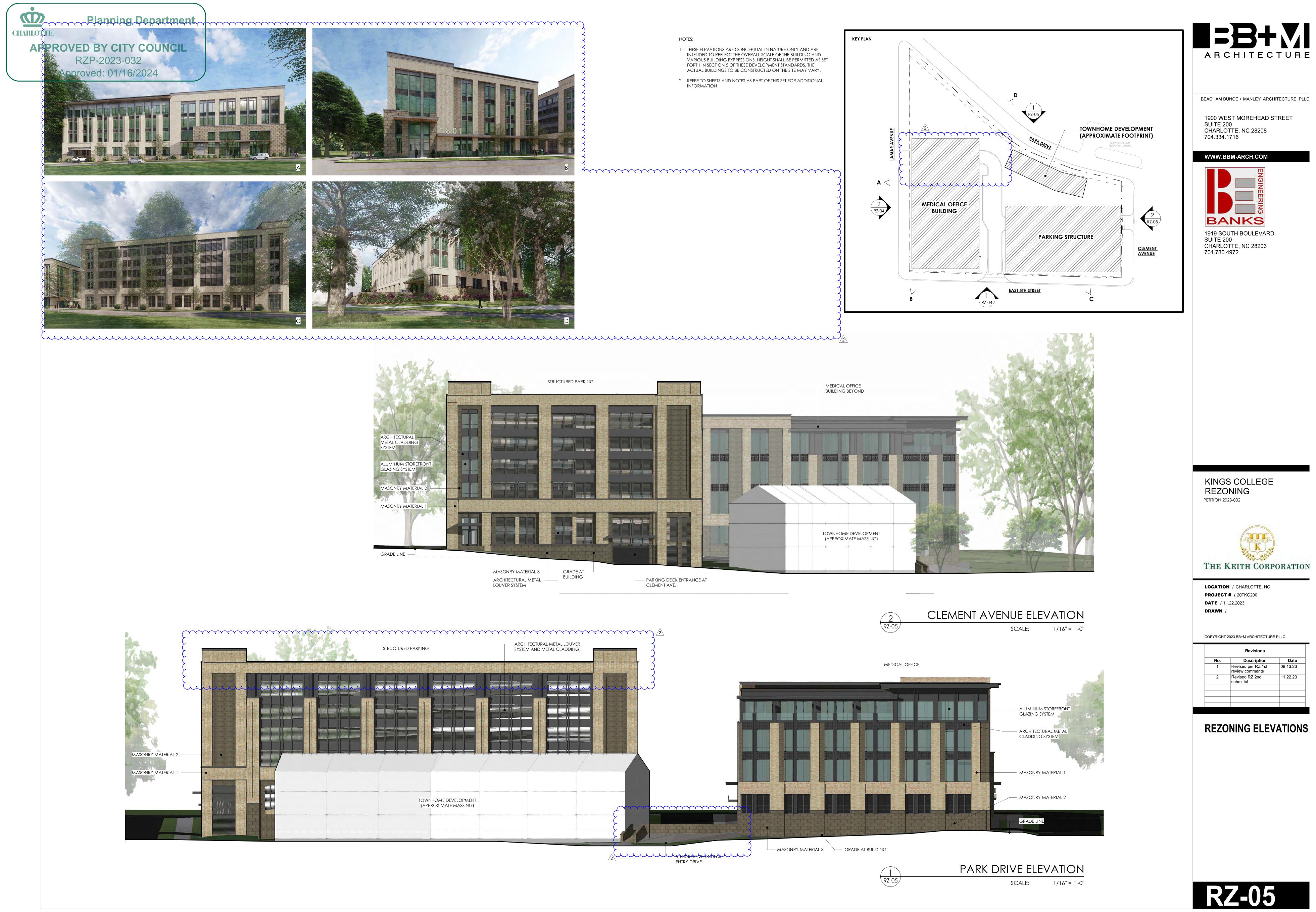
a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors

b. It is acknowledged and confirmed that continued use of the Property as currently used shall be allowed after approval of this rezoning as a legal, nonconforming use in accordance with and subject to Sections 7.101 and 7.102 of the Ordinance (as amplified upon by Zoning Interpretation dated November 10, 2009, without adherence to the terms of the MUDD-O

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PROJECT: KINGS COLLEGE REZONING PETITION 2023-032			
SHEET: DEVELOPMENT STANDARDS NOTES			
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RZ-06

