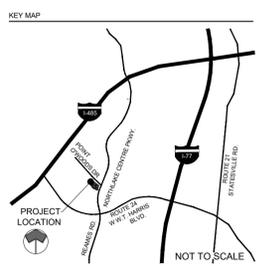


CLIENT OWNER  
**TRUE HOMES, LLC**  
 2848 BREKONRIDGE CENTER DRIVE  
 MONROE, NC 28110  
 704-271-1191

SURVEYOR  
**PROVIDENCE LAND GROUP, PLLC.**  
 3716 PROVIDENCE RD. SOUTH  
 WAXHAW, NC 28173  
 704-400-0117



**TOWNES AT NORTHLAKE**

PET # 2023-089  
 POINT O'WOODS DR.  
 CHARLOTTE, NC 28202

PROJECT NUMBER  
 21014  
 DATE  
 05/23/2023

ISSUED FOR  
**STAFF REVIEW**

REVISIONS

NO.	DATE	DESCRIPTION
1	12/09/2023	INDIVIDUAL DRIVEWAYS & GREEN SPACE UPDATE
2	01/18/2024	TEXT CORRECTIONS

PROJ. MANAGER: HN  
 DRAWN BY: JN  
 CHECKED BY: HN

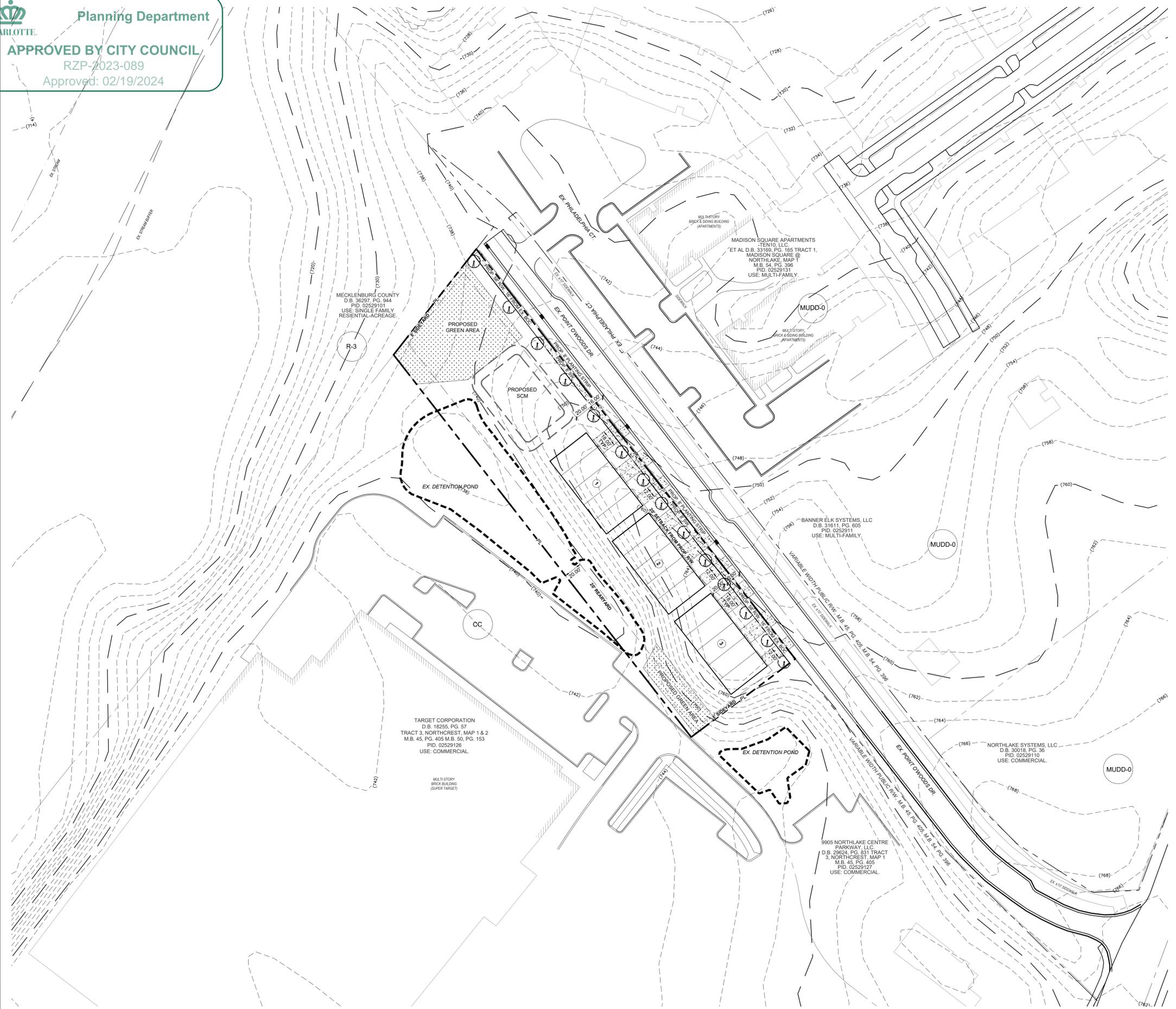
SCALE  
 AS INDICATED

DRAWING  
**TECHNICAL DATA SHEET**

**RZ-1.0**

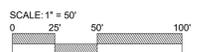
**GENERAL NOTES FOR PETITION (RZP-2023-089)**

1. DEVELOPMENT DATA TABLE	MODIFICATIONS FROM THE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS THEREFORE, THERE MAY BE INSTANCES WHERE MINOR MODIFICATIONS WILL BE ALLOWED WITHOUT REQUIRING THE ADMINISTRATIVE AMENDMENT PROCESS PER ARTICLE 37 OF THE ORDINANCE. THESE INSTANCES WOULD INCLUDE CHANGES TO GRAPHICS IF THEY ARE MINOR AND DON'T MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE REZONING PLAN. THE PLANNING DIRECTOR WILL DETERMINE IF SUCH MINOR MODIFICATIONS ARE ALLOWED PER THIS AMENDED PROCESS, AND IF IT IS DETERMINED THAT THE ALTERATION DOES NOT MEET THE CRITERIA DESCRIBED ABOVE, THE PETITIONER SHALL THEN FOLLOW THE ADMINISTRATIVE AMENDMENT PROCESS (ARTICLE 37) OF THE ORDINANCE. IN EACH INSTANCE, HOWEVER, SUBJECT TO THE PETITIONER'S APPEAL RIGHTS SET FORTH IN THE ORDINANCE.	PETITIONER ON ITS OWN OR IN CONJUNCTION WITH OTHER DEVELOPMENT OR ROADWAY PROJECTS TAKING PLACE WITHIN THE MECKLENBURG AREA BY WAY OF A PRIVATE/PUBLIC PARTNERSHIP EFFORT OR OTHER PUBLIC SECTOR PROJECT SUPPORT. THE PETITIONER PROPOSES 8' PLANTING STRIP AND 8' SIDEWALK ALONG POINT O'WOODS PROJECT FRONTAGE. NOTE: A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ANY NON-STANDARD ITEM(S) (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY-MAINTAINED STREET RIGHT-OF-WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNERS/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO CONSTRUCTION/INSTALLATION. CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS. THE PETITIONER SHALL DEDICATE AND CONVEY IN FEE SIMPLE ALL RIGHTS-OF-WAY TO THE CITY BEFORE THE SITES FIRST BUILDING CERTIFICATE OF OCCUPANCY IS ISSUED. CDOT REQUESTS RIGHTS-OF-WAY SET AT 2' BEHIND BACK OF SIDEWALK WHERE FEASIBLE, OR A SIDEWALK EASEMENT MAY BE PROVIDED AS MENTIONED IN PARAGRAPH 5.c.	REVIEW AND APPROVAL UPON SUBMISSION OF DEVELOPMENT PLANS FOR PERMITTING AND ARE NOT APPROVED WITH REZONING DECISIONS.
1.a. SITE ACREAGE: ± 1.76AC.	2.d. NUMBER OF BUILDINGS PRINCIPAL AND ACCESSORY. THE TOTAL NUMBER OF PRINCIPAL RESIDENTIAL BUILDINGS TO BE DEVELOPED ON THE SITE SHALL BE LIMITED TO 3. ACCESSORY BUILDINGS AND STRUCTURES LOCATED ON THE SITE SHALL NOT BE CONSIDERED IN ANY LIMITATION ON THE NUMBER OF BUILDINGS ON THE SITE. ACCESSORY BUILDINGS AND STRUCTURES WILL BE CONSTRUCTED UTILIZING SIMILAR BUILDING MATERIALS, ARCHITECTURAL ELEMENTS AND DESIGNS AS THE PRINCIPAL BUILDINGS LOCATED ON THE SITE.	5.e. THE PETITIONER SHALL ANALYZE THE ADEQUACY OF THE EXISTING STORMWATER CONVEYANCE TO THE NEAREST PUBLIC RIGHT-OF-WAY. IF THE EXISTING STORMWATER CONVEYANCE(S) IS FOUND TO BE INADEQUATE, THE PETITIONER SHALL MAKE A GOOD FAITH EFFORT TO IMPROVE THE STORM WATER CONVEYANCE OR MITIGATE THE STORM WATER DISCHARGE.	
1.b. TAX PARCELS: 025-29-129.	2.e. FUTURE AMENDMENTS TO THE REZONING PLAN (WHICH INCLUDES THESE DEVELOPMENT STANDARDS) MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE APPLICABLE DEVELOPMENT AREA PORTION OF THE SITE AFFECTED BY SUCH AMENDMENT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.	5.f. THE EXISTING STORM FACILITY SERVING EXISTING ADJACENT DEVELOPMENT AS DEPICTED ON THE PLAN SHALL REMAIN. IT ENCLOSES INTO THE PROPOSED DEVELOPMENT REAR SETBACK.	
1.c. EXISTING ZONING: (INCLUDING OVERLAYS AND VESTING): R-3, & CC	3. OPTIONAL PROVISIONS: N/A.	6. ARCHITECTURAL STANDARDS	
1.d. PROPOSED ZONING: N2-A(CD).	4. PERMITTED USES	6.a. THE BUILDING MATERIALS USED ON THE PRINCIPAL BUILDINGS CONSTRUCTED ON SITE WILL BE A COMBINATION OF SIMILAR USE OF THE FOLLOWING: BRICK, STONE, PRECAST STONE, PRECAST CONCRETE, SYNTHETIC STONE, CEMENTITIOUS FIBER BOARD, STUCCO, EIFS, DECORATIVE BLOCK, WOOD, VINYL AND/OR ALUMINUM.	
1.e. NUMBER OF RESIDENTIAL UNITS BY HOUSING TYPE: 15 MULTI FAMILY ATTACHED TOWNHOMES AND RELATED ACCESSORY USES.	4.a. THE SITE MAY BE DEVELOPED WITH UP TO 15 SINGLE FAMILY ATTACHED ON SUB-LOTS RESIDENTIAL DWELLINGS UNITS TOGETHER WITH ACCESSORY USES ALLOWED IN THE N2-A ZONING DISTRICT AS GENERALLY DEPICTED ON THE REZONING PLAN.	6.b. FENCE/WALL STANDARDS: IF INSTALLED, FENCES GATES, AND/OR WALLS ARE LIMITED TO THESE MATERIALS: TREATED WOOD OR REDWOOD, SIMULATED WOOD, DECORATIVE BRICK, STONE, SIMULATED STONE, FINISHED MASONRY, WROUGHT IRON, ALUMINUM OR STEEL DESIGNED TO SIMULATE WROUGHT IRON, VINYL, (CHAIN LINK AND FENCE SLATS ARE PROHIBITED.)	
1.f. RESIDENTIAL DENSITY: 8.6 DU PER AC.	5. TRANSPORTATION	7. STREETSCAPE AND LANDSCAPING:	
1.g. FLOOR AREA RATIO: MAXIMUM BUILDING COVERAGE = 50%.	5.a. ACCESS TO THE SITE WILL BE FROM POINT O'WOODS DRIVE.	7.a. SIDE AND REAR YARDS WILL BE PROVIDED AS REQUIRED BY THE ORDINANCE AND AS GENERALLY DEPICTED ON THE REZONING PLAN.	
1.h. MAXIMUM BUILDING HEIGHT: 48'	5.b. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINT(S) IS SUBJECT TO MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE DEVELOPMENT AND CONSTRUCTION PLANS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CDOT IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS.	7.b. NO LANDSCAPE YARDS WILL BE PROVIDED. THE ONLY ADJACENT PROPERTY IS MECKLENBURG COUNTY PARCEL 02529101.	
1.i. MAXIMUM NUMBER OF BUILDINGS: 3	5.c. THE PETITIONER WILL DEDICATE VIA FEE SIMPLE CONVEYANCE ANY ADDITIONAL RIGHT-OF-WAY INDICATED ON THE REZONING PLAN AS RIGHT-OF-WAY TO BE DEDICATED. IF APPLICABLE, THE ADDITIONAL RIGHT-OF-WAY WILL BE DEDICATED PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY. THE PETITIONER WILL PROVIDE A PERMANENT SIDEWALK EASEMENT FOR ANY OF THE PROPOSED SIDEWALKS LOCATED ALONG THE PUBLIC STREETS LOCATED OUTSIDE OF THE RIGHT-OF-WAY. THE PERMANENT SIDEWALK EASEMENT WILL BE LOCATED A MINIMUM OF TWO (2) FEET BEHIND THE SIDEWALK WHERE FEASIBLE.	7.c. SERVICE AREA SCREENING - SERVICE AREAS SUCH AS DUMPSTERS, REFUSE AREAS, RECYCLING AND STORAGE, IF UTILIZED, SHALL BE SCREENED FROM VIEW UTILIZING FENCINGS.	
1.j. NUMBER AND/OR RATIO OF PARKING SPACES: 23 BASED ON 1.5 OFF-STREET PARKING PER DWELLING UNIT, MINIMUM.	5.d. ALL PUBLIC ROADWAY IMPROVEMENTS WILL BE SUBJECT TO THE STANDARDS AND CRITERIA OF CDOT, AS APPLICABLE AND PROPOSED BELOW. TO THE ROADWAY IMPROVEMENTS WITHIN THEIR RESPECTIVE ROAD SYSTEM AUTHORITY. IT IS UNDERSTOOD THAT SUCH IMPROVEMENTS WILL BE UNDERTAKEN BY THE	8. ENVIRONMENTAL FEATURES	
1.k. AMOUNT OF OPEN SPACE: TOTAL IS SUM OF 250 SF, PER DWELLING UNIT. MAY BE PRIVATE, COMMON, AND/OR PUBLIC OPEN SPACE TYPES.		8.a. PROPOSED GREEN SPACE AREA: 15% (11,500 SF), 0.264 AC)	
2. GENERAL PROVISIONS:		8.b. PROPOSED PCSO TREATMENT AREAS: THE LOCATION, SIZE AND TYPE OF STORMWATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORMWATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.	
2.a. SITE LOCATION: THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY TRUE HOMES, LLC. (PETITIONER) TO ACCOMMODATE THE DEVELOPMENT OF A RESIDENTIAL COMMUNITY ON APPROXIMATELY 1.7 ACRES SITE GENERALLY LOCATED NEAR THE INTERSECTION OF POINT O'WOODS DRIVE AND NORTHLAKE CENTRE PKWY. (THE "SITE").		8.c. PETITIONER ACKNOWLEDGES INTERMITTENT/PERENNIAL STREAM DELINEATION REPORTS ARE SUBJECT TO	
2.b. ZONING DISTRICTS/ORDINANCE. DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN AS WELL AS THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"). UNLESS THE REZONING PLAN ESTABLISHES MORE STRINGENT STANDARDS THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE N2-A ZONING CLASSIFICATION SHALL GOVERN, UNLESS SPECIFIED IN NOTE 5.d.			
2.c. GRAPHICS AND ALTERATIONS: THE SCHEMATIC DEPICTIONS OF THE USES, PARKING AREAS, SIDEWALKS, STRUCTURES AND BUILDINGS, BUILDING ELEVATIONS, DRIVEWAYS, STREETS AND OTHER DEVELOPMENT MATTERS AND SITE ELEMENTS, IF SHOWN, (COLLECTIVELY THE "DEVELOPMENT/SITE ELEMENTS") SET FORTH ON THE REZONING PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THESE DEVELOPMENT STANDARDS. THE LAYOUT, LOCATIONS, SIZES AND FORMULATIONS OF THE DEVELOPMENT/SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS PROPOSED. CHANGES TO THE REZONING PLAN NOT ANTICIPATED BY THE REZONING PLAN WILL BE REVIEWED AND APPROVED AS ALLOWED BY (ARTICLE 37) OF THE ORDINANCE. SINCE THE PROJECT HAS NOT UNDERGONE THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES, IT IS INTENDED THAT THIS REZONING PLAN PROVIDE FOR FLEXIBILITY IN ALLOWING SOME ALTERATIONS OR			



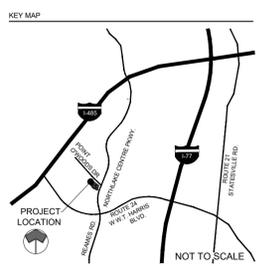
**LEGEND**

	EX. PROPERTY LINE
	EX. LOT LINES
	PROP. RIGHT OF WAY
	EX. RIGHT OF WAY
	PROP. SETBACK
	EX. CONTOUR LABEL
	PROP. GREEN AREAS



CLIENT/OWNER  
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PROJ. MANAGER: HN  
 DRAWN BY: JM  
 CHECKED BY: HN

SCALE

SCALE AS INDICATED

DRAWING: ILLUSTRATIVE SITE PLAN

**RZ-2.0**