



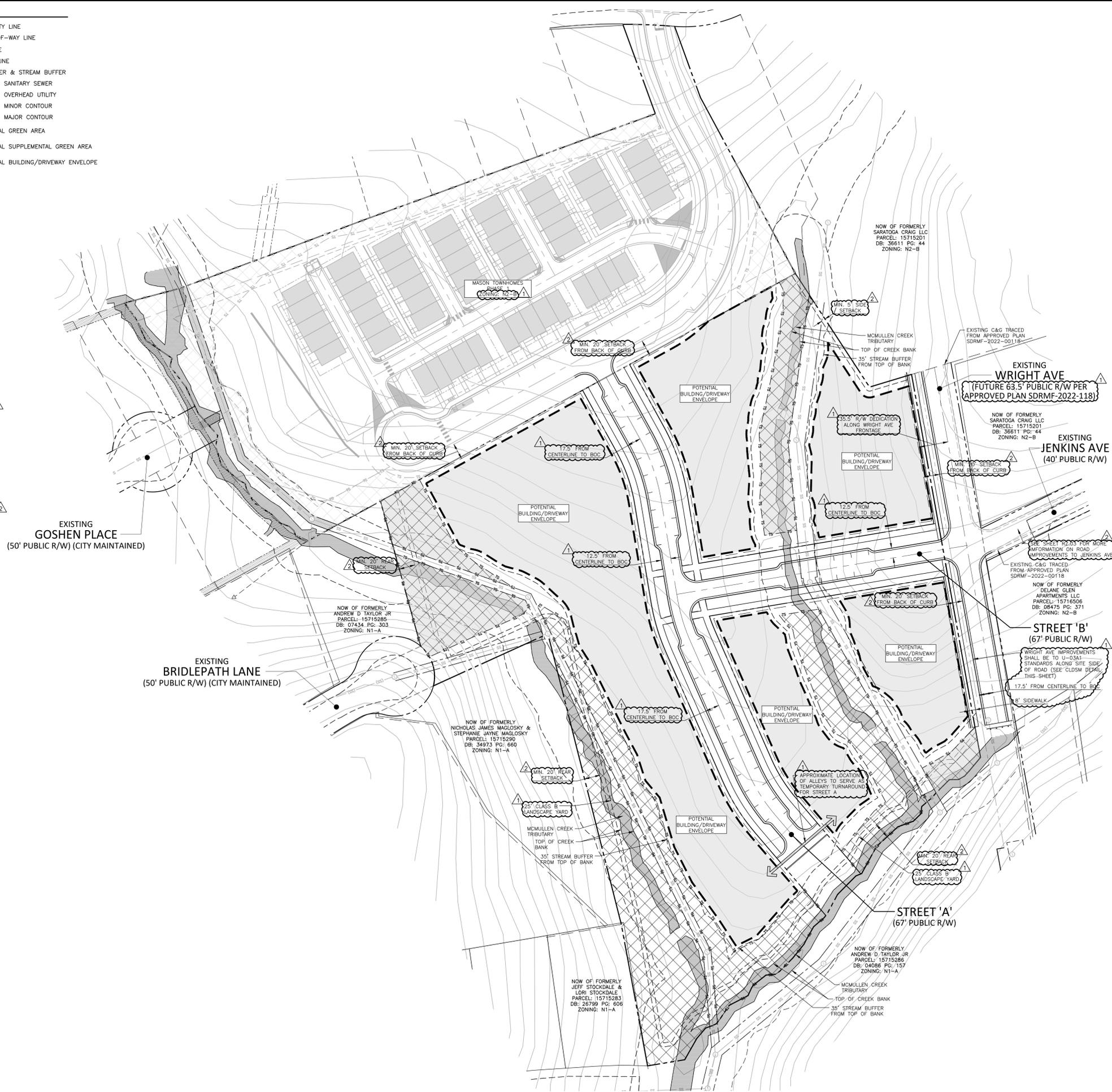
**SITE LEGEND**

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	LOT LINE
---	CENTERLINE
---	PERIMETER & STREAM BUFFER
---	EXISTING SANITARY SEWER
---	EXISTING OVERHEAD UTILITY
---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	POTENTIAL GREEN AREA
---	POTENTIAL SUPPLEMENTAL GREEN AREA
---	POTENTIAL BUILDING/DRIVEWAY ENVELOPE

**SITE DATA**

DEVELOPER: EMPIRE COMMUNITIES 8008 CORPORATE CENTER DRIVE, SUITE 300 CHARLOTTE, NC 28226	PREPARED BY: MCADAMS COMPANY (MARC VAN DINE) 2100 S TRYON STREET, SUITE 400 CHARLOTTE, NC 28203 704.527.0800 VANDINE@MCADAMSCO.COM
PARCEL ID NUMBER: PORTION OF 15715286, 15715287	TOTAL SITE ACREAGE: 9.24 AC
CURRENT ZONING: N1-A	PROPOSED ZONING: N2-A (CD)
CURRENT USE: VACANT	PROPOSED USE: UP TO 99 SINGLE FAMILY ATTACHED DWELLINGS
MAXIMUM BUILDING HEIGHT ALLOWED: 48 FT	SETBACK REQUIREMENTS: FRONT SETBACK FROM FUTURE BACK OF CURB: 20 FT SIDE YARD: 5 FT REAR YARD: 10 FT NOT ABUTTING NEIGHBORHOOD 1 PLACE TYPE; 20' ABUTTING NEIGHBORHOOD 1 PLACE TYPE
BUILDING SEPARATION: 10 FT MIN	REQUIRED PRIVATE OPEN SPACE: 250 SF PER UNIT PER UDO REQUIREMENT
REQUIRED GREEN AREA: +/- 1.39 AC (15% OF SITE AREA)	POTENTIAL GREEN AREA: +/- 1.45 AC (15.7% OF TOTAL SITE AREA)
POTENTIAL SUPPLEMENTAL GREEN AREA: +/- 0.71 AC	STORMWATER FACILITIES: UNDERGROUND

- NOTES:**
- PETITIONER COMMITS TO MEETING PROWAG REQUIREMENTS FOR ON-STREET PARKING
  - SOLID WASTE REQUIREMENTS WILL BE MET PER ARTICLE 21.
- ENVIRONMENTAL FEATURES**
- DEVELOPMENT WITHIN THE SWIM/PCSO BUFFER SHALL BE COORDINATED WITH AND SUBJECT TO APPROVAL BY CHARLOTTE-MECKLENBURG STORM WATER SERVICES AND MITIGATED IF REQUIRED BY CITY ORDINANCE.
  - ALL STREAM DELINEATION REPORTS ARE SUBJECT TO REVIEW AND APPROVAL BY CHARLOTTE STORM WATER SERVICES.
  - THE PETITIONER SHALL COMPLY WITH THE CITY OF CHARLOTTE POST CONSTRUCTION STORMWATER REGULATIONS (UDO ARTICLE 25)
  - DURING DEVELOPMENT OF THE SITE, THE PETITIONER COMMITS TO PROVIDING ENHANCED EROSION CONTROL MEASURES AS LISTED UNDER THE CITY OF CHARLOTTE SOIL, EROSION, AND SEDIMENTATION CONTROL ORDINANCE.



**McADAMS**  
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**CLIENT**  
EMPIRE COMMUNITIES  
DAN ROBERTSON  
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CHARLOTTE, NC 28226  
PHONE: 501. 658. 9191

**EMPIRE**

**MASON TOWNHOMES PHASE 2**  
REZONING PETITION # 2023-122  
WRIGHT AVENUE  
CHARLOTTE, NORTH CAROLINA, 28211



**REVISIONS**

NO.	DATE	DESCRIPTION
1	11.13.2023	PER CITY COMMENTS
2	01.18.2024	PER CITY COMMENTS
3	02.02.2024	PER CITY COMMENTS

**PLAN INFORMATION**

PROJECT NO.	EMP22011
FILENAME	EMP22011X-Phase2
CHECKED BY	EM
DRAWN BY	JDS
SCALE	1" = 60'
DATE	08.18.2023

**REZONING PLAN**

**RZ.01**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\EMP22011\04\_Production\Engineering\Rezone\EMP22011X-Phase2.dwg, 2/1/2024 3:07:30 PM, Heather McAdams



**SITE LEGEND**

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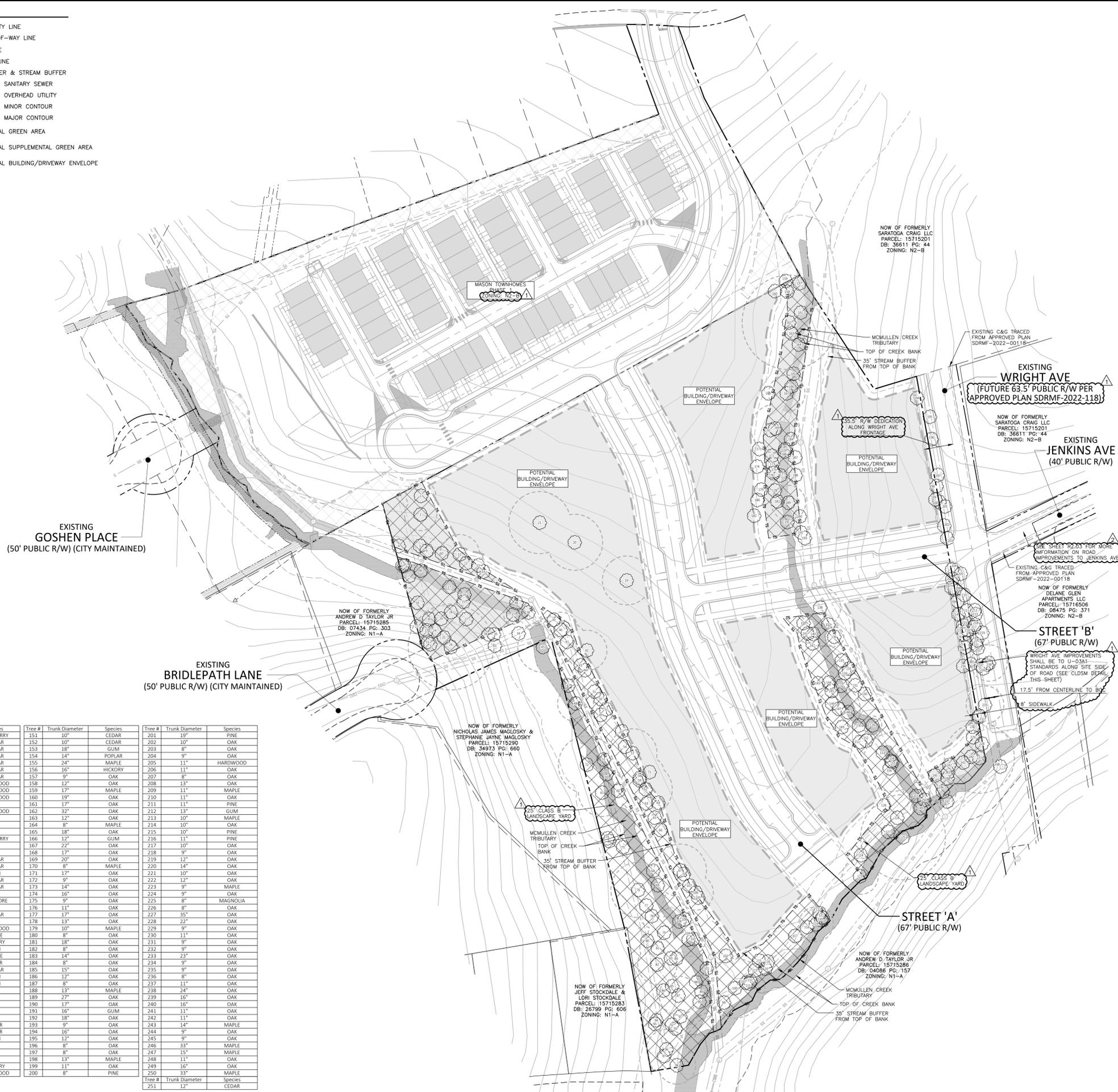
DEVELOPER: EMPIRE COMMUNITIES  
8008 CORPORATE CENTER DRIVE, SUITE 300 CHARLOTTE, NC 28226

PREPARED BY: MCADAMS COMPANY (MARC VAN DINE)  
2100 S TRYON STREET, SUITE 400 CHARLOTTE, NC 28203  
704.527.0800  
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STORMWATER FACILITIES: UNDERGROUND

**NOTES:**

- TREE SURVEY PROVIDED FOR CONDITIONAL REZONING TO MEET 20.18 A.1 OF THE UDO. FINAL DETERMINATION OF TREES TO BE SAVED WILL OCCUR DURING THE CONSTRUCTION PLAN DESIGN OF THE PROJECT.



**TREE SURVEY TABLE**

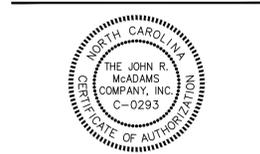
Tree #	Trunk Diameter	Species	Tree #	Trunk Diameter	Species	Tree #	Trunk Diameter	Species	Tree #	Trunk Diameter	Species	Tree #	Trunk Diameter	Species
1	24"	OAK	51	14"	SYCAMORE	101	19"	HACKBERRY	201	19"	PINE			
2	30"	OAK	52	15"	POPLAR	102	14"	POPLAR	202	10"	OAK			
3	12"	MAGNOLIA	53	19"	POPLAR	103	18"	POPLAR	203	8"	OAK			
4	8"	MAPLE	54	8"	ELM	104	24"	POPLAR	204	9"	OAK			
5	12"	HARDWOOD	55	9"	HICKORY	105	18"	POPLAR	205	11"	HARDWOOD			
6	8"	HARDWOOD	56	12"	HARDWOOD	106	22"	POPLAR	206	11"	OAK			
7	24"	SYCAMORE	57	22"	GUM	107	28"	POPLAR	207	8"	OAK			
8	12"	HARDWOOD	58	16"	MAPLE	108	16"	HARDWOOD	208	13"	OAK			
9	11"	MAPLE	59	8"	ELM	109	8"	HARDWOOD	209	11"	MAPLE			
10	14"	ELM	60	10"	ASH	110	14"	HARDWOOD	210	11"	OAK			
11	21"	OAK	61	31"	POPLAR	111	14"	OAK	211	11"	PINE			
12	30"	POPLAR	62	25"	SYCAMORE	112	9"	HARDWOOD	212	13"	GUM			
13	10"	GUM	63	12"	GUM	113	9"	ASH	213	10"	MAPLE			
14	10"	GUM	64	19"	POPLAR	114	17"	OAK	214	10"	OAK			
15	29"	POPLAR	65	14"	POPLAR	115	16"	ELM	215	10"	PINE			
16	18"	SYCAMORE	66	11"	POPLAR	116	10"	HACKBERRY	216	11"	PINE			
17	28"	TWIN SYCAMORE	67	28"	GUM	117	17"	OAK	217	10"	OAK			
18	11"	CEDAR	68	14"	POPLAR	118	19"	OAK	218	9"	OAK			
19	33"	OAK	69	18"	POPLAR	119	22"	POPLAR	219	12"	OAK			
20	33"	OAK	70	18"	POPLAR	120	26"	POPLAR	220	14"	OAK			
21	31"	OAK	71	31"	POPLAR	121	18"	GUM	221	10"	OAK			
22	19"	PINE	72	51"	POPLAR	122	9"	POPLAR	222	12"	OAK			
23	19"	PINE	73	14"	ELM	123	25"	POPLAR	223	9"	MAPLE			
24	12"	OAK	74	16"	ELM	124	10"	OAK	224	9"	OAK			
25	10"	OAK	75	10"	MAPLE	125	28"	SYCAMORE	225	8"	MAGNOLIA			
26	41"	OAK	76	33"	POPLAR	126	18"	OAK	226	8"	OAK			
27	19"	HARDWOOD	77	22"	POPLAR	127	24"	POPLAR	227	35"	OAK			
28	18"	OAK	78	24"	GUM	128	16"	OAK	228	23"	OAK			
29	14"	HARDWOOD	79	26"	POPLAR	129	24"	HARDWOOD	229	9"	OAK			
30	8"	OAK	80	16"	MAPLE	130	12"	MAPLE	230	11"	OAK			
31	10"	HARDWOOD	81	33"	POPLAR	131	12"	HICKORY	231	9"	OAK			
32	12"	HARDWOOD	82	27"	OAK	132	18"	OAK	232	9"	OAK			
33	9"	MAGNOLIA	83	19"	POPLAR	133	16"	MAPLE	233	23"	OAK			
34	18"	GUM	84	10"	ELM	134	10"	CEDAR	234	9"	OAK			
35	9"	POPLAR	85	13"	POPLAR	135	24"	POPLAR	235	9"	OAK			
36	10"	POPLAR	86	10"	HICKORY	136	19"	GUM	236	8"	OAK			
37	18"	POPLAR	87	31"	MAPLE	137	14"	GUM	237	11"	OAK			
38	18"	HARDWOOD	88	8"	MAGNOLIA	138	22"	OAK	238	24"	OAK			
39	18"	HARDWOOD	89	26"	GUM	139	12"	OAK	239	27"	OAK			
40	24"	POPLAR	90	18"	POPLAR	140	12"	ASH	240	16"	OAK			
41	31"	POPLAR	91	12"	HICKORY	141	24"	OAK	241	11"	OAK			
42	31"	POPLAR	92	14"	HICKORY	142	12"	OAK	242	11"	OAK			
43	10"	CEDAR	93	18"	HICKORY	143	8"	CEDAR	243	14"	MAPLE			
44	10"	ELM	94	18"	HICKORY	144	16"	CEDAR	244	9"	OAK			
45	23"	POPLAR	95	12"	POPLAR	145	12"	GUM	245	9"	OAK			
46	12"	HARDWOOD	96	27"	POPLAR	146	14"	ASH	246	33"	MAPLE			
47	8"	HICKORY	97	20"	MAPLE	147	25"	OAK	247	15"	MAPLE			
48	22"	POPLAR	98	22"	POPLAR	148	12"	ELM	248	11"	OAK			
49	10"	HICKORY	99	18"	HICKORY	149	8"	CEDAR	249	16"	OAK			
50	16"	SYCAMORE	100	22"	HARDWOOD	150	13"	HARDWOOD	250	33"	MAPLE			
									251	12"	CEDAR			

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**MASON TOWNHOMES PHASE 2**  
REZONING PETITION # 2023-122  
WRIGHT AVENUE  
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**REVISIONS**

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**PLAN INFORMATION**

PROJECT NO. EMP22011  
FILENAME EMP22011X-Phase2  
CHECKED BY EM  
DRAWN BY JDS  
SCALE 1" = 60'  
DATE 08.18.2023

**SHEET**

TREE SURVEY  
**RZ.02**

Site Area: 9.24 acres  
 Tax Parcel: 157-152-87 and a portion of 157-152-86  
 Existing Zoning: N1-A  
 Proposed Zoning: N2-A(CD)  
 Existing Use: Vacant/Single-Family Residential  
 Proposed Uses: Up to 93 Single-family Attached (Townhome) Dwelling Units  
 Maximum Building Height: Per the Ordinance  
 Parking: Shall meet or exceed Ordinance standards

**I. General Provisions**

- These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Empire Communities (the "Petitioner") to accommodate the development of a single-family attached (townhome) residential community on that approximately 9.24-acre site located east of Bridlepath Lane, north of Linda Lane and west of Jenkins Avenue, more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Numbers 157-152-87 and a portion of 157-152-86.
- Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Unified Development Ordinance (the "Ordinance").
- Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the N2-A zoning district shall govern the development and use of the Site.
- The development and street layout depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of such uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback, yard, landscaping and tree save requirements set forth on this Rezoning Plan and the Development Standards, provided, however, that any such alterations and modifications shall be minor in nature and not materially change the overall design intent depicted on the Rezoning Plan.
- Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner(s) of the Site in accordance with the provisions of Article 37 of the Ordinance. Minor alterations to the Rezoning Plan are subject to Article 37.3 of the Ordinance.

**II. Permitted Uses**

The Site may be devoted only to a residential community containing a maximum of 93 single-family attached dwelling units and any incidental and accessory uses relating thereto that are permitted in the N2-A zoning district.

**III. Transportation**

- Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and as required for approval by the Charlotte Department of Transportation (CDOT).
- As depicted on the Rezoning Plan, the Site will be served by internal public and/or private streets, and minor adjustments to the location of these streets shall be allowed during the construction permitting process in coordination with CDOT.
- A Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City-maintained street right-of-way by a private individual, group, business, or homeowner/business association. An encroachment agreement must be approved by CDOT prior to construction/installation. Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements.
- Petitioner shall dedicate all rights-of-way where necessary, in fee simple conveyance to the City of Charlotte prior to the issuance of the Site's first building certificate of occupancy. Right-of-way shall be set at two (2) feet behind the back of sidewalk where feasible.
- Petitioner shall construct a minimum eight (8) foot sidewalk and eight (8) foot wide planting strip along the Site's frontage of Wright Avenue.
- Petitioner shall dedicate 35.5 feet of right of way as shown on the zoning plan for Wright Avenue.
- Unless stated otherwise herein, the Petitioner shall ensure that all off-site transportation improvements are substantially completed prior to the issuance of the Site's first (1<sup>st</sup>) building certificate of occupancy.
- Final locations of proposed stub connection(s) shall be coordinated with the City of Charlotte

Subdivision Services.

9. Streets shall meet horizontal and vertical curve roadway geometry CDOT standards.

10. On street parking shall meet Public Right of Way Accessibility Guidelines (PROWAG) requirements.

11. The Petitioner will repave a portion of the existing pavement along Jenkins Avenue, per the attached outlined in red, for maintenance acceptance by CDOT. The petitioner will work in good faith with Owner of 15716506 should any temporary construction easements be necessary for this work. Per approved SDRMF-2022-00118, the Owner of 15715201 is responsible for improvements to a portion of Jenkins and Wright Avenues for maintenance acceptance by CDOT.

**IV. Architectural Standards**

- Preferred Exterior Building Materials: All principal and accessory buildings shall be comprised of a combination of portions of brick, natural stone (or its synthetic equivalent), stucco, cementitious siding, fiber cement ("HardiPlank") and/or other materials approved by the Planning Director.
- Prohibited Exterior Building Materials: (i) vinyl siding, excluding vinyl handrails, windows, soffits, doors or door trim, and (ii) concrete masonry units not architecturally finished.
- Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.
- Buildings shall have either a porch or stoop oriented toward the public street.
- Walkways shall be provided to connect all residential entrances to sidewalks along the public street.
- All mechanical and utility equipment such as HVAC, meters, and transformers shall be screened from view from public streets. Backflow preventer(s), if provided, shall not be located within the setback and shall be screened from view from public streets.

**V. Landscape yards/ Screening**

1. A twenty-five (25) foot Class B buffer shall be provided along the western and southern property lines as shown on the zoning plan.

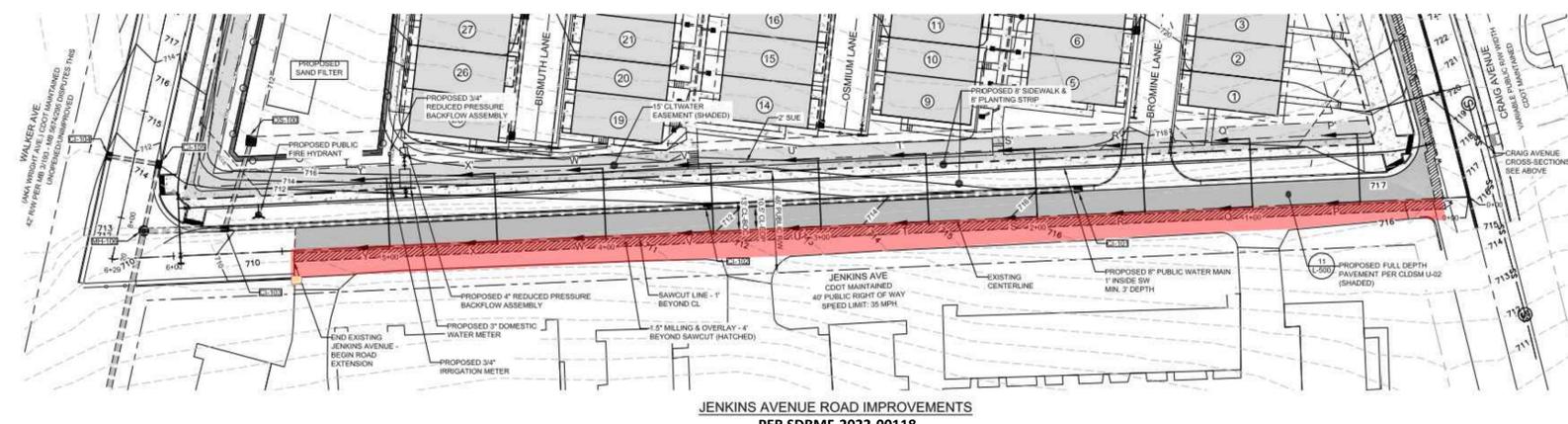
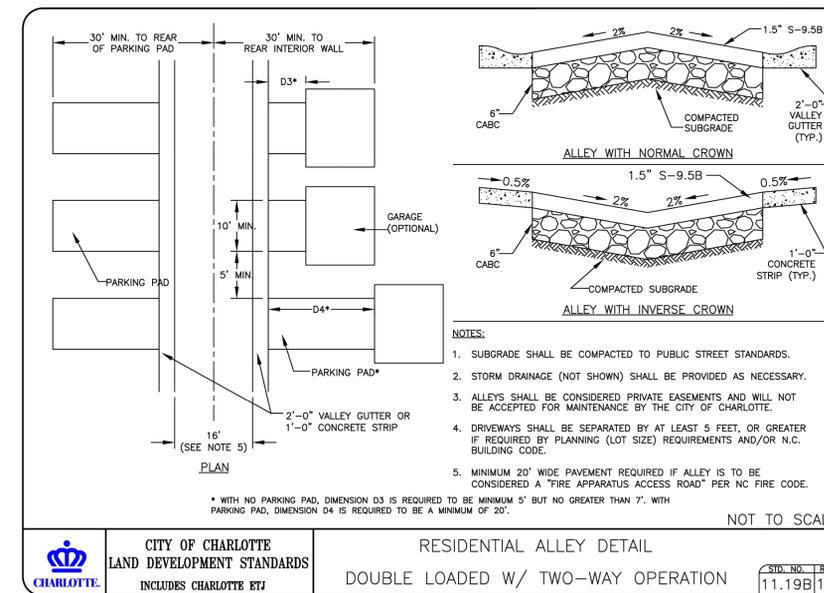
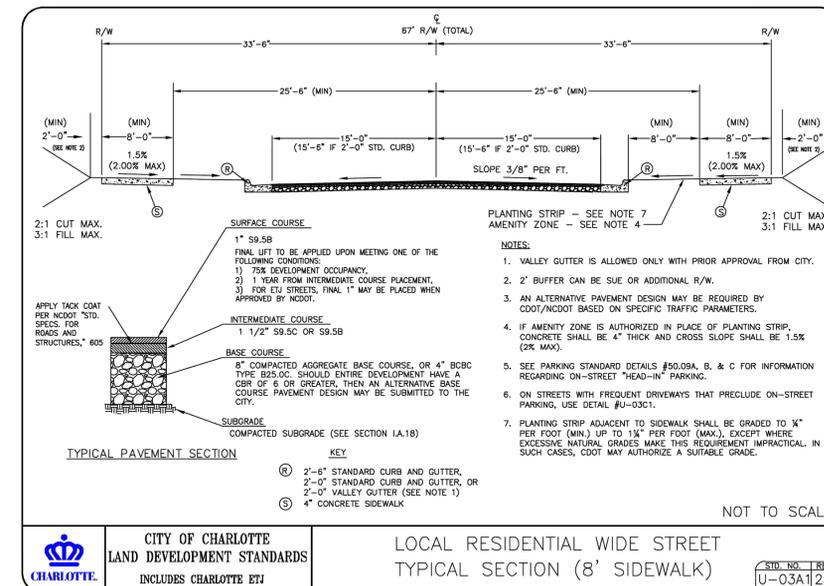
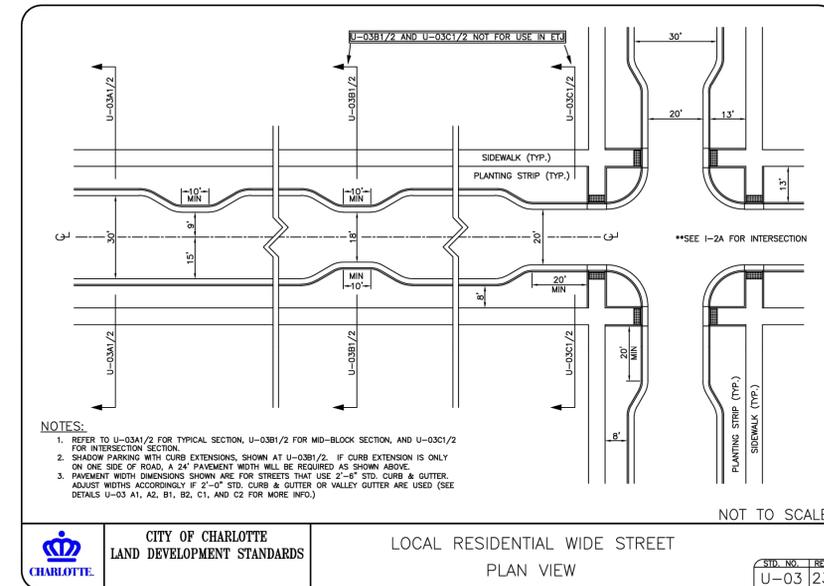
**VI. Environmental Features**

- The petitioner shall comply with the City of Charlotte Post Construction Stormwater Regulations (UDO Article 25).
- Development within the SWIM/PCSO Buffer shall be coordinated with and subject to approval by Charlotte-Mecklenburg Storm Water Services and mitigated if required by City ordinance.
- The petitioner commits to providing enhanced erosion control measures as listed under the City of Charlotte Soil, Erosion and Sedimentation Control Ordinance.
- Petitioner agrees to provide 100-yr stormwater peak control or provide a downstream analysis using the criteria specified in the SCM Design Manual.

**VII. Binding Effect of the Rezoning Documents and Definitions**

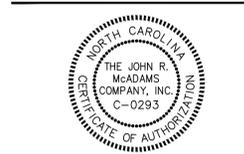
If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective successors in interest and assigns.

Throughout these Development Standards, the terms, "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of any part of the Site from time to time who may be involved in any future development thereof.



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**REZONING NOTES**

**RZ.03**