

STORMWATER FACILITIES

HE LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	CENTERLINE
	PERIMETER & STREAM

PERIMETER & STREAM BUFFER EXISTING SANITARY SEWER

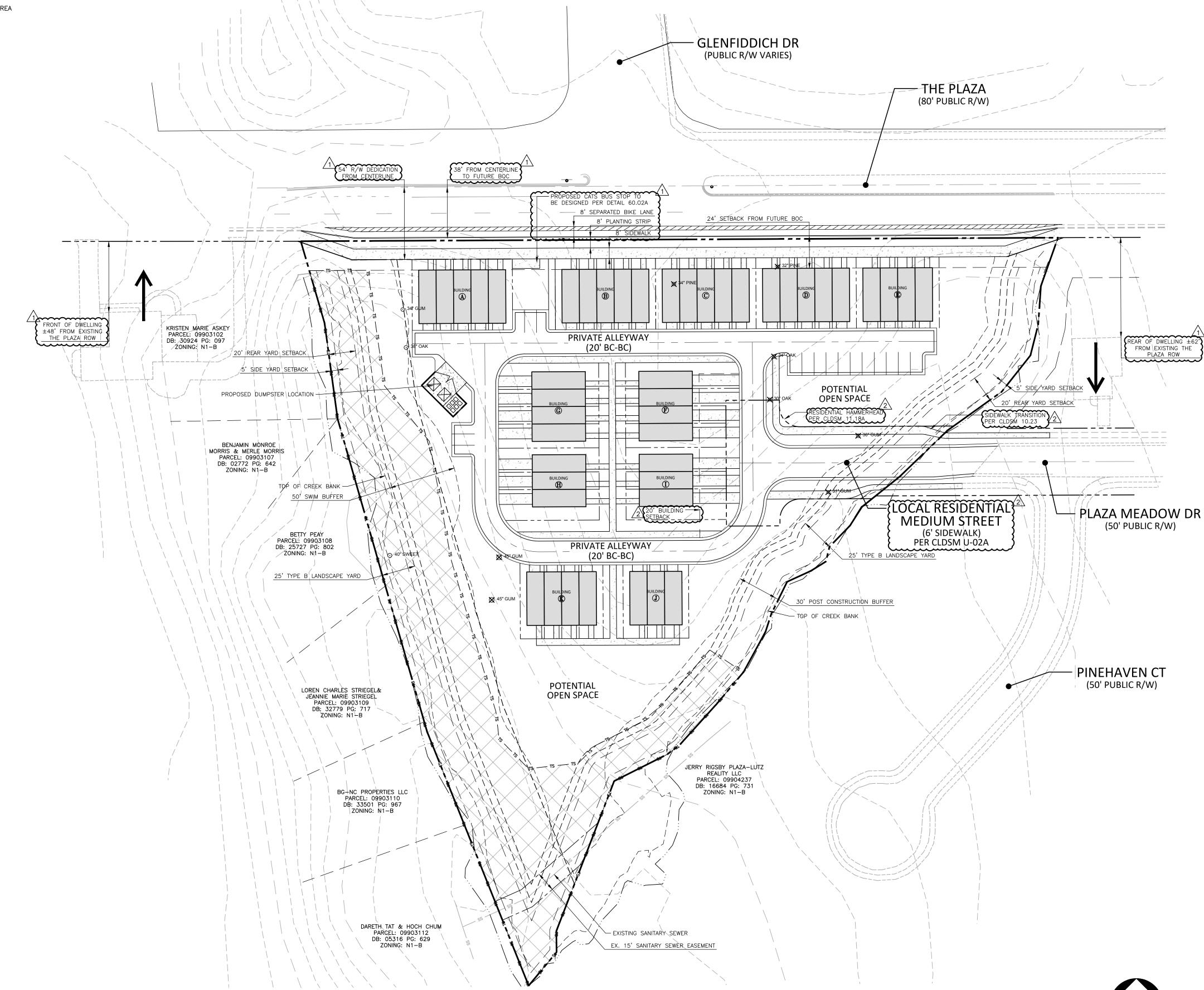
EXISTING OVERHEAD UTILITY EXISTING MINOR CONTOUR EXISTING MAJOR CONTOUR

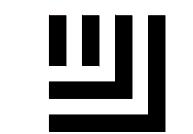
15 T5 T5 T5 T5 T5 POTENTIAL GREEN AREA

SITE DATA PREPARED BY: MCADAMS COMPANY (MARC VAN DINE) 2100 S TRYON STREET, SUITE 400 CHARLOTTE, NC 28203 704.527.0800 DEVELOPER: THE DRAKEFORD COMPANY 1914 BRUNSWICK AVENUE, 1A CHARLOTTE, NC 28207 VANDINE@MCADAMSCO.COM PARCEL ID NUMBER: 09904125 & 09904161 TOTAL SITE ACREAGE: CURRENT ZONING:
PROPOSED ZONING:
CURRENT USE: N2-A (CD) RESIDENTIAL DWELLING

UP TO 45 MULTI-FAMILY ATTACHED DWELLINGS UNITS

UP TO 48' PROPOSED USE:
MAXIMUM BUILDING HEIGHT ALLOWED: SETBACK REQUIREMENTS: FRONT SETBACK FROM FUTURE BACK OF CURB: 24 FT FROM PROPOSED BACK OF CURB ALONG THE PLAZA SIDE YARD: REAR YARD: **BUILDING SEPARATION:** 250 SF PER UNIT OR 11,250 SF BASED ON 45 UNIT REQUIRED PRIVATE OPEN SPACE POTENTIAL PRIVATE OPEN SPACE: MIN. 11,250 SF REQUIRED GREEN AREA: +/- 0.56 AC (15% OF SITE AREA) +/- 0.56 AC (15% OF TOTAL SITE AREA)
UNDERGROUND POTENTIAL GREEN AREA:





The John R. McAdams Company, Inc. 621 Hillsborough Street Suite 500 Raleigh, NC 27603

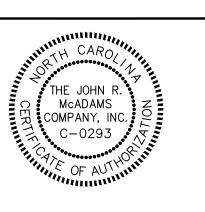
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### www.mcadamsco.com

### CLIENT

MR. BOBBY DRAKEFORD THE DRAKEFORD COMPANY 1914 BRUNSWICK AVENUE, 1A CHARLOTTE, NC 28207



# **REVISIONS**

NO. DATE 1 07. 15. 2024 PER CITY COMMENTS 2 08. 12. 2024 PER CITY COMMENTS

3 09. 19. 2024 PER CITY COMMENTS 4 11. 08. 2024 PER CITY COMMENTS

# PLAN INFORMATION

PROJECT NO. SPEC24150 FILENAME SPEC24150-RZ1 CHECKED BY DRAWN BY SCALE 1" = 40'

SHEET

DATE

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**REZONING PLAN** 

07. 29. 2024

**RZ.01** 



# **Planning Department** Development Standards Rezoning Petition No 2024-045

# APPRSite Development Data: Y COUNCIL

-- Tax Rarcel #2024-045

-Existing Zoning: AProposed Zoning: 1/18/2024

--Proposed Uses:

-- Maximum Number of Residential Dwelling Units:

-- Maximum Building Height: --Parking:

General Provisions:

Residential dwellings units as permitted by right and

under prescribed conditions, together with accessory

uses, as allowed in the N2-A zoning district (all as

more specifically described and restricted below in

Up to forty five (45) multi-family attached dwelling units as allowed by right and under prescribed

conditions in the N2-A zoning district.

As required by the Ordinance.

N2-A(CD)

Section 3).

**Site Location**. These Development Standards, the Technical Data Sheet, Schematic Site Plan and

Zoning Districts/Ordinance. Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Unified Development Ordinance (the "Ordinance").

other site plan sheets form this rezoning plan (collectively referred to as the "Rezoning Plan") associated

Unless the Rezoning Plan establishes more stringent standards, the regulations established under the Ordinance for the N2-A zoning classification shall govern all development taking place on the Site.

with the Rezoning Petition filed by The Drakeford Company ("Petitioner") to accommodate the development of a residential community on an approximately 3.72-acre site located on The Plaza (the "Site").

Graphics and Alterations. The schematic depictions of the uses, parking areas, sidewalks,

structures and buildings, building elevations, driveways, streets, building and parking envelopes, open space areas, and other development matters and site elements (collectively the "Development/Site Elements") set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development

Standards. The layout, locations, sizes, and formulations of the Development/Site Elements depicted on the

Rezoning Plan are graphic representations of the Development/Site elements proposed. Changes to the

Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Article

Since the project has not undergone the design development and construction phases, it is intended that

this Rezoning Plan provide for flexibility in allowing some alterations or modifications from the graphic

modifications will be allowed without requiring the Administrative Minor Amendment Process per Article

The Planning Director will determine if such minor modifications are allowed per this amended process, and

Number of Buildings Principal and Accessory. The total number of principal buildings to be developed on the Site will be limited to eleven (11). Accessory buildings and structures located on the Site

if it is determined that the alteration does not meet the criteria described above, the Petitioner shall then follow the Administrative Minor Amendment Process per Article 37.3 of the Ordinance; in each instance,

shall not be considered in any limitation on the number of buildings on the Site. Accessory buildings and structures will be constructed utilizing similar building materials, colors, architectural elements, and designs

a. The principal building(s) constructed on the Site shall be developed with up to forty five (45) multi-family attached residential dwelling units together with accessory uses, as allowed by right and under

prescribed conditions in the N2-A zoning district Access and Transportation Improvements, per Number 3. 1/4 below shall apply should the Site be developed as townhomes.

b. The site may also be used as a park or other open space activities with related improvements such as walking trails, exercise, equipment, athletic activity courts, etc. Should the Site be developed as a park, access to the Site will be determined by NCDOT and CDOT upon submission of land development approval.

In addition, Access and Transportation Improvements along The Plaza frontage, as outlined in 3. below, may

be modified and agreed upon by CDOT. An ADA compliant bus stop, meeting standard detail 60.02A, along The Plaza will be provided. The final location will be coordinated with the Petitioner during the Land

and configuration of the access points are subject to any minor modifications required by CDOT and/or

required to accommodate final site development and construction plans and to any adjustments required for

c. All transportation improvements, if any, will be approved and constructed prior to the issuance of the certificate of occupancy for the first building on the Site, subject to the Petitioner's ability to

post a bond for any improvements not in place at the time of the issuance of the first certificate of occupancy.

Rezoning Plan as right-of-way to be dedicated, and the additional right-of-way will be dedicated prior to the

e. The Petitioner shall provide an eight (8) foot planting strip, eight (8) foot sidewalk/shared-use path and eight (8) foot separated bike lane along the Site's The Plaza frontage. The Petitioner will provide a permanent sidewalk easement for any of the proposed sidewalks that are located

non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City maintained street right-of-way by a private individual, group, business, or

that such improvements may be undertaken by the Petitioner on its own or in conjunction with other

final location will be coordinated with the Petitioner during the Land Development plan review process. ......

along the public streets and outside of the right-of-way. The permanent sidewalk easement will be located a

homeowner's/business association, an encroachment agreement will be submitted for approved by CDOT

g. All transportation improvements will be subject to the standards and criteria of CDOT and NCDOT, as applicable, to the roadway improvements within their respective road system authority. It is understood

development or roadway projects taking place within the broad southwestern Mecklenburg area, by way of a

An ADA compliant bus stop, meeting standard detail 60.02A, along The Plaza will be provided. The

In the event a Right-of-Way Encroachment Agreement is necessary for the installation of any

The Petitioner will dedicate via fee simple conveyance any additional right-of-way indicated on the

approval by the CDOT and/or NCDOT in accordance with applicable published standards.

Access to the Site will be from The Plaza as generally depicted on the Rezoning Plan. The placement

The placement and configuration of the vehicular access point is subject to any minor modifications

representations of the Development/Site Elements. Therefore, there may be instances where minor

37.3 of the Ordinance. These instances would include changes to graphics if they are minor and don't

materially change the overall design intent depicted on the Rezoning Plan.

however, subject to the Petitioner's appeal rights set forth in the Ordinance.

as the principal building(s) located on the Site.

Development plan review process.

**Access and Transportation Improvements:** 

issuance of the first certificate of occupancy.

prior to construction/installation.

NCDOT in accordance with applicable published standards.

minimum of two (2) feet behind the sidewalk where feasible.

private/public partnership effort or other public sector project support.

**Permitted Uses & Development Area Limitations:** 

a. A twenty-five (25) foot wide Class Blandscape yard will be provided as generally depicted on the Rezoning Plan as per Article 20.9 of the Ordinance.

The proposed development shall provide either 250 square feet of Private Open Space per dwelling unit on each unit Sublot or outside the Sublots of the Site shall be provided as Useable Common Open Space per Article 5.4 A.2. Such open space may be private open space, common open space, public not limited to, sidewalks and/or paths, seating, lighting, and landscaping.

The Petitioner shall dedicate and convey a greenway and stormwater easement to Mecklenburg County which would include a minimum of 60' width along the western property boundary, which includes the 50' SWIM buffer of Briar Creek Tributary. The easement can overlap the tree save areas. The easement will be conveyed prior to the first certificate of occupancy.

- HVAC and related mechanical equipment will be screened from public view and from view of adjacent properties at grade. Ground-mounted mechanical equipment shall not be located in the established setback along The Plaza frontage and not visible from an abutting frontage.
- Dumpster and recycling area will be enclosed by a solid wall or fence with one side being a decorative gate. The wall or fence used to enclose the dumpster will be architecturally compatible with the

hundred fifty (150) feet.

- Preferred Exterior Building Materials: All principal and accessory buildings shall be comprised of a combination of portions of brick, natural stone (or its synthetic equivalent), stucco, cementitious siding,
- **Prohibited Exterior Building Materials:** (i) vinyl siding, excluding vinyl handrails, windows, soffits, doors or door trim, and (ii) concrete masonry units not architecturally finished.
- Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for
- All units shall have either a porch or stoop oriented toward the front of each unit to meet Article 18.2. Minimum size of a front porch or stoop shall be 3 feet deep and 5 feet wide. Petitioner reserves the right to provide larger front porches or stoops as long as the minimum size is met.

The Petitioner shall comply with the Charlotte City Council approved and adopted Unified Development Ordinance, Stormwater Articles 23 through 28. The location, size, and type of storm water management systems that may be depicted on the Rezoning Plan are subject to review an approval as part of the full development submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge

- The Site will comply with the Tree provisions of the Ordinance found in Article 20. The final location of the required tree save areas will be determined during the land development approval process for
- approval by Charlotte-Mecklenburg Storm Water Services and mitigated if required by Ordinance. There are no Water Quality Buffers identified on the Site.

# **Lighting:**

All freestanding exterior lighting installed on the Site shall comply with Article 16.2 of the

# **Amendments to the Rezoning Plan:**

Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable development area or portion of the Site affected

**a.** If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site or Development Areas, as applicable, and their respective heirs, devisees, personal representatives, successors

# Streetscape, Buffers, Yards, Open Space, and Landscaping:

- Walkways shall be provided to connect all residential entrances to the proposed sidewalk along The
- open space, or any combination thereof. Residential on-site open space shall meet the design requirements of Article 16.5 of the Ordinance (Usable Common Open Space areas outside the Sublots shall consist of, but

## **Architectural Standards:**

- **a.** The buildings on the Site will comply with the applicable residential site layout, building design standards, and building material restrictions found in Article 5 of the Ordinance. Accessory buildings and structures will be constructed utilizing similar building materials, colors, architectural elements, and designs as the principal building(s) located on the Site.
- Meter banks will be screened from adjoining properties and from public streets.
- building materials and colors used on the principal buildings.
- No more than five (5) units may be within each building and not exceed a length of one
- fiber cement ("HardiPlank") and/or other materials approved by the Planning Director.
- porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.

## **Environmental Features:**

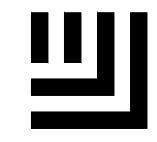
- the Site. Tree save areas will comply with the requirements of the Tree Ordinance.
- Development within any SWIM/PCSO Buffers shall be coordinated with and subject to

Ordinance.

by such amendment in accordance with the provisions herein and of Article 37.3 of the Ordinance.

# **Binding Effect of the Rezoning Application:**

in interest or assigns.



The John R. McAdams Company, Inc. 621 Hillsborough Street Suite 500 Raleigh, NC 27603

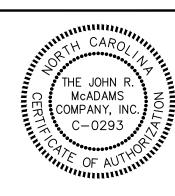
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license number: C-0293, C-187

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DRAWN BY SCALE DATE

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# **REZONING NOTES**