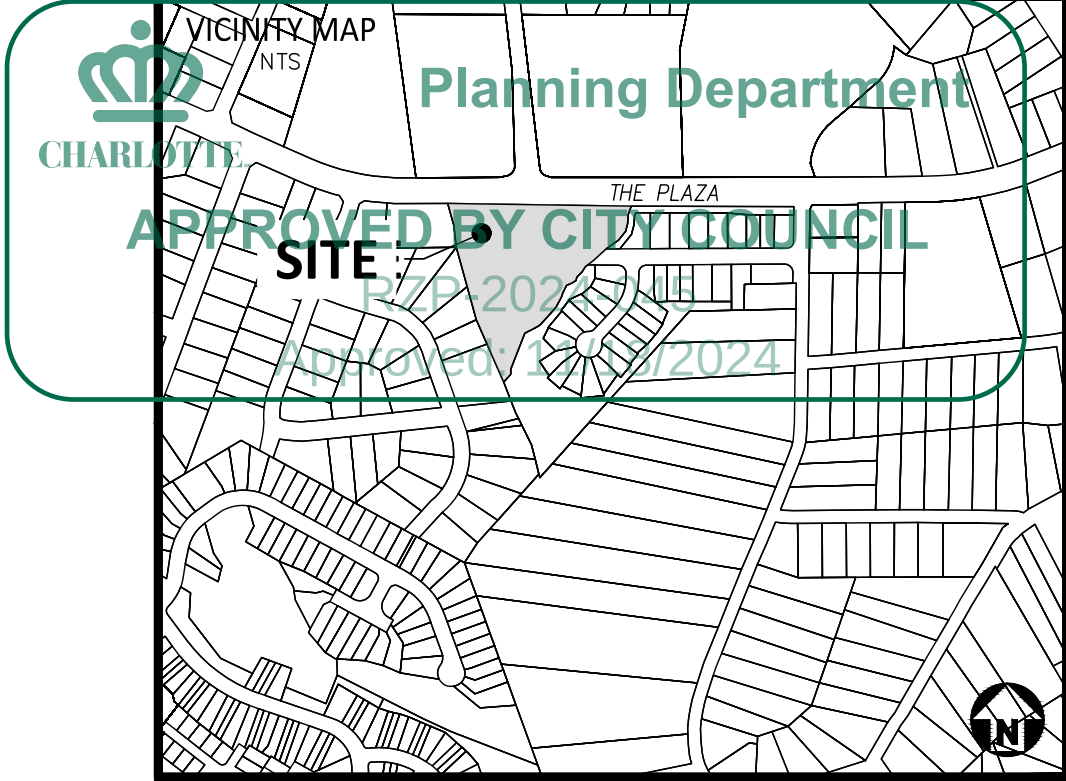
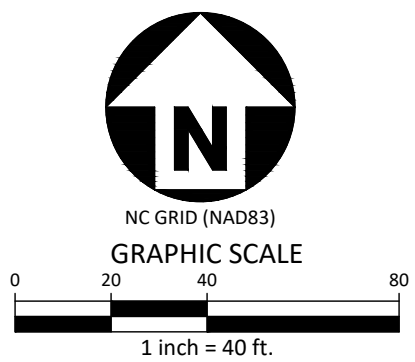
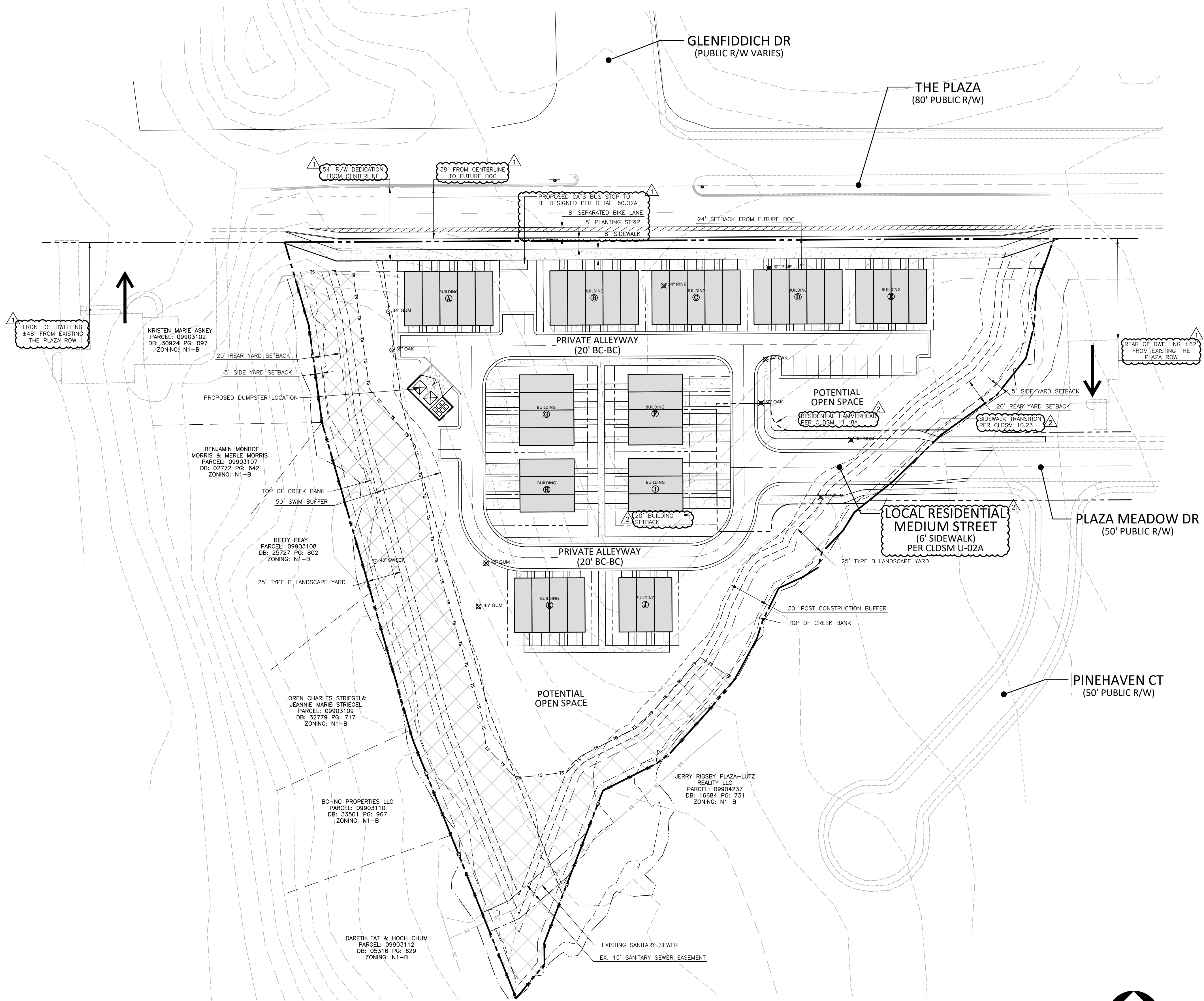




SITE LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	CENTERLINE
	PERIMETER & STREAM BUFFER
	EXISTING SANITARY SEWER
	EXISTING OVERHEAD UTILITY
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	POTENTIAL GREEN AREA

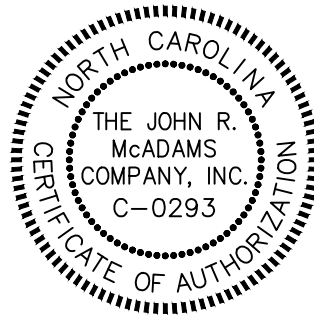
SITE DATA	
DEVELOPER: THE DRAKEFORD COMPANY 1914 BRUNSWICK AVENUE, 1A CHARLOTTE, NC 28207	PREPARED BY: MCADAMS COMPANY (MARC VAN DINE) 2100 S TRYON STREET, SUITE 400 CHARLOTTE, NC 28203 704.527.0800 VANDINE@MCADAMSCO.COM
PARCEL ID NUMBER: 09904125 & 09904161	
TOTAL SITE ACREAGE:	6.372 AC
CURRENT ZONING:	N1-B
PROPOSED ZONING:	N2-A (CD)
CURRENT USE:	RESIDENTIAL DWELLING
PROPOSED USE:	UP TO 45 MULTI-FAMILY ATTACHED DWELLINGS UNITS
MAXIMUM BUILDING HEIGHT ALLOWED:	UP TO 48'
SETBACK REQUIREMENTS:	
FRONT SETBACK FROM FUTURE BACK OF CURB:	24 FT FROM PROPOSED BACK OF CURB ALONG THE PLAZA
SIDE YARD:	5 FT
REAR YARD:	20 FT
BUILDING SEPARATION:	10 FT MIN
REQUIRED PRIVATE OPEN SPACE:	250 SF PER UNIT OR 11,250 SF BASED ON 45 UNITS
POTENTIAL PRIVATE OPEN SPACE:	MIN. 11,250 SF
REQUIRED GREEN AREA:	+/- 0.56 AC (15% OF SITE AREA)
POTENTIAL GREEN AREA:	+/- 0.56 AC (15% OF TOTAL SITE AREA)
STORMWATER FACILITIES:	UNDERGROUND



McADAMS
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phone 919. 361. 5000
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license number: C-0293, C-187
www.mcadamsco.com

CLIENT
MR. BOBBY DRAKEFORD
THE DRAKEFORD COMPANY
1914 BRUNSWICK AVENUE, 1A
CHARLOTTE, NC 28207

5042 THE PLAZA
REZONING PETITION # 2024-045
CHARLOTTE, NORTH CAROLINA, 28211



REVISIONS		
NO.	DATE	
1	07.15.2024	PER CITY COMMENTS
2	08.12.2024	PER CITY COMMENTS
3	09.19.2024	PER CITY COMMENTS
4	11.08.2024	PER CITY COMMENTS

PLAN INFORMATION	
PROJECT NO.	SPEC24150
FILENAME	SPEC24150-RZ1
CHECKED BY	EM
DRAWN BY	HM
SCALE	1" = 40'
DATE	07.29.2024

REZONING PLAN
RZ.01

