



Charlotte-Mecklenburg Planning, Design, & Development

DATE: August 20, 2019

TO: Sonja Sanders
Zoning Supervisor

FROM: Taiwo Jaiyeoba
Planning Director

SUBJECT: Administrative Approval for Petition No. 1991-003C Clyde A. Armstrong

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Allow removal of an existing buffer since the adjacent property was rezoned to a commercial district that does not require a buffer.
- New site plan for a proposed indoor medical use.
- Landscaping plan
- Elevations

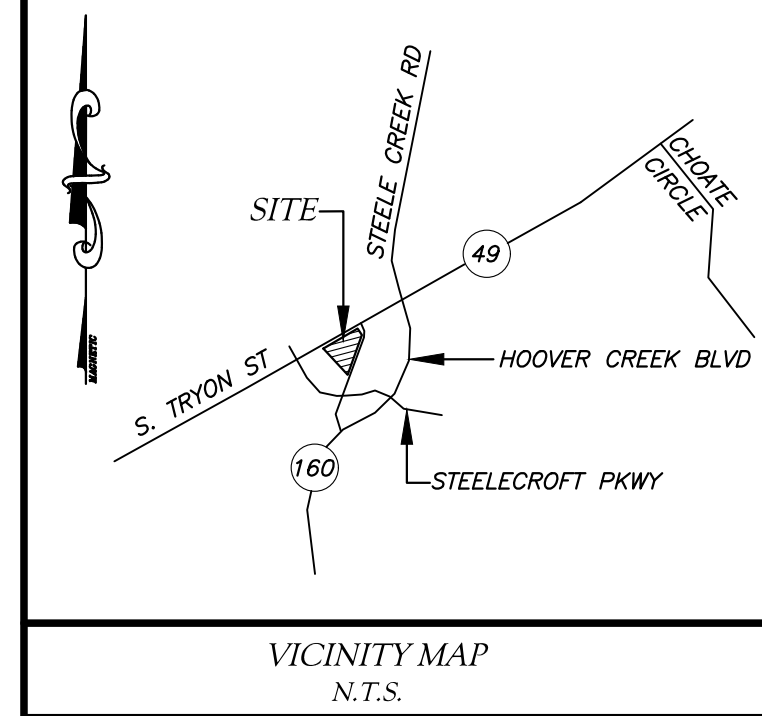
Staff supports of the request because:

- The site plan complies with the conditional notes and still meets the intent of the original approval by the County Commissioners.

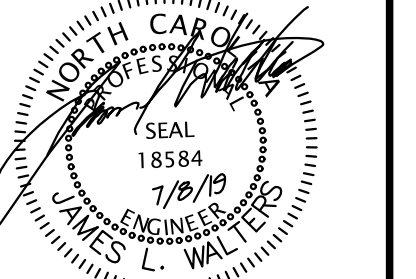
Note: All other Zoning, Subdivision, Tree, PCSO Ordinances, conditional requirements and building codes still apply.

Attached to Administrative
Approval

Solomon A. Fortune
Solomon A. Fortune



LWE
LATHAM-WALTERS
ENGINEERING, INC.
N.C. CORP. LIC. C-1815
16507-A NORTHCROSS DRIVE
HUNTERSVILLE, N.C. 28078
PHONE: (704) 895-8484
FAX: (704) 237-4362



JULY 8, 2019

DATE

CHEN
RIVERGATE I, LLC

568 JETTON STREET
SUITE 200
DAVIDSON, NC 28036
PHONE: (704) 895-2084
watson@piedmontlanddevelopment.com

HEARTLAND DENTAL-RIVERGATE
13101 S. TRYON STREET CHARLOTTE, NC 28273

SITE PLAN

REVISIONS

PROJECT NO.: 2019.08

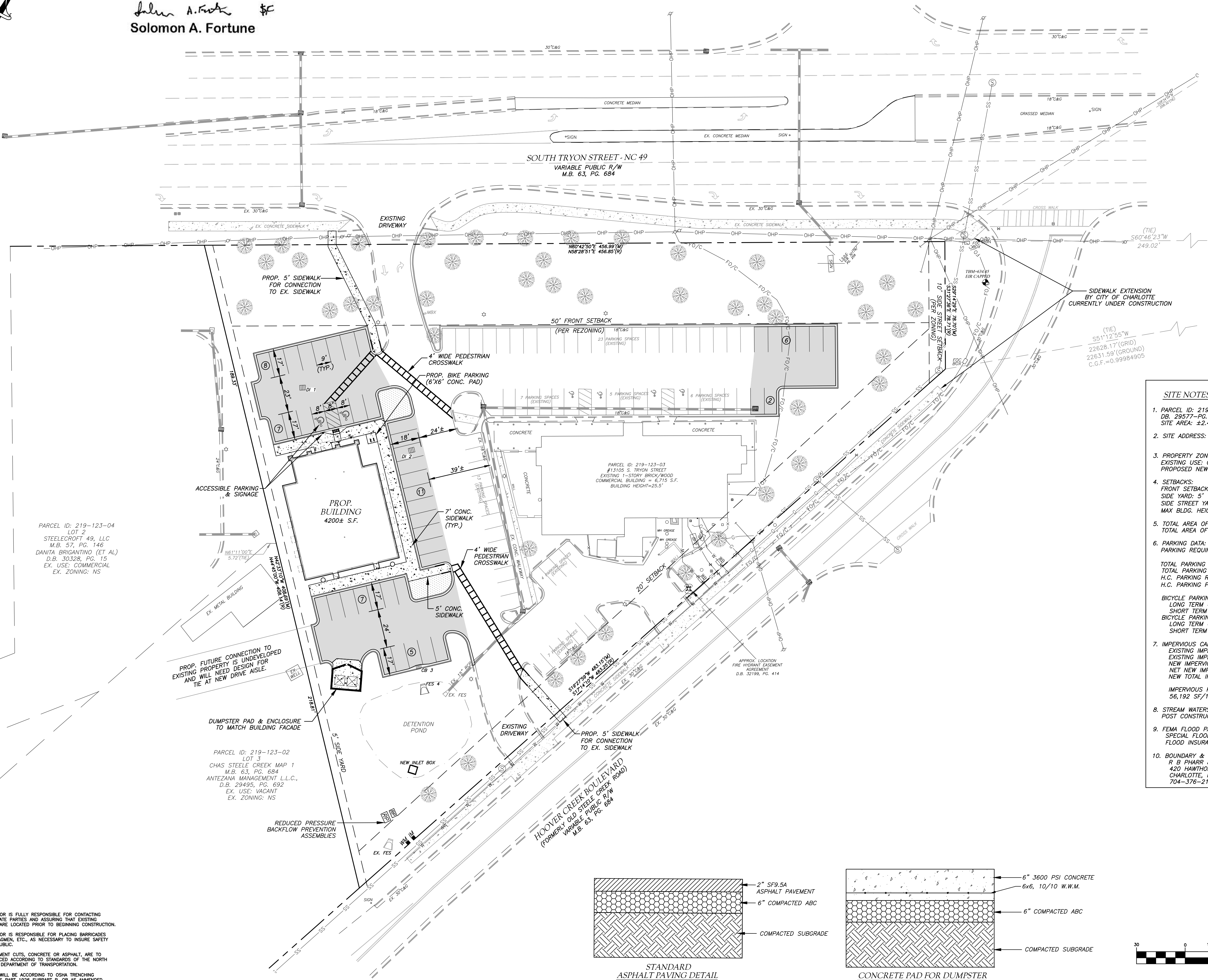
SCALE: 1" = 30'

DRAWN BY: PAB

CHECKED BY: JLW

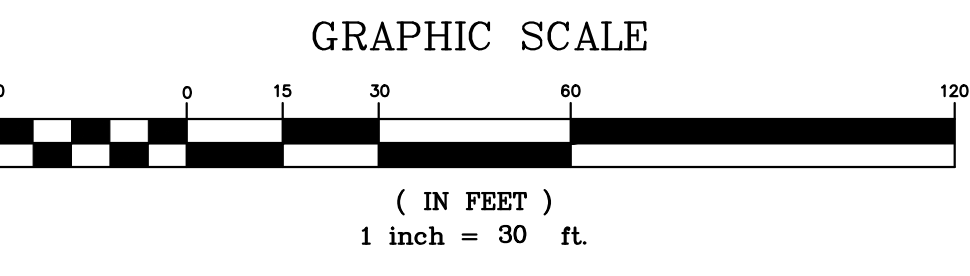
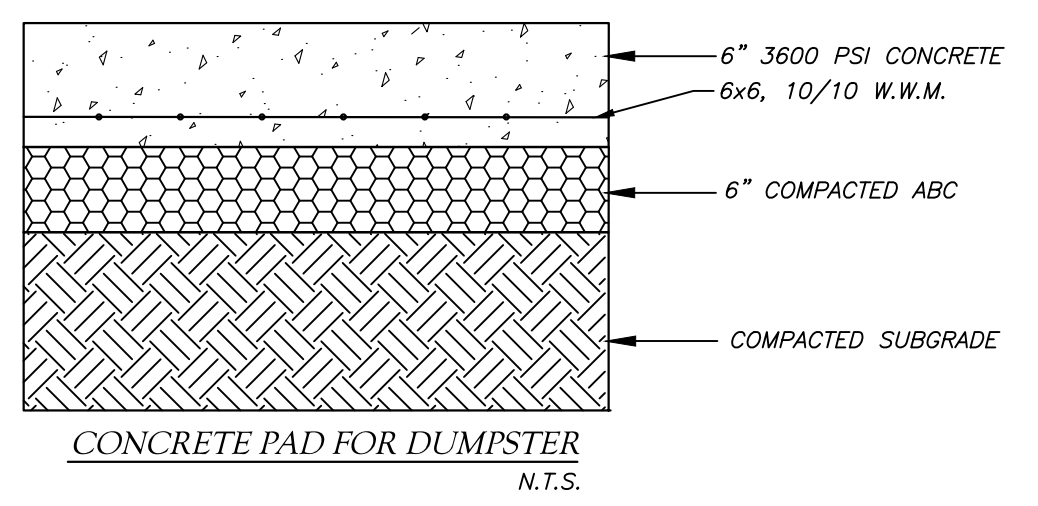
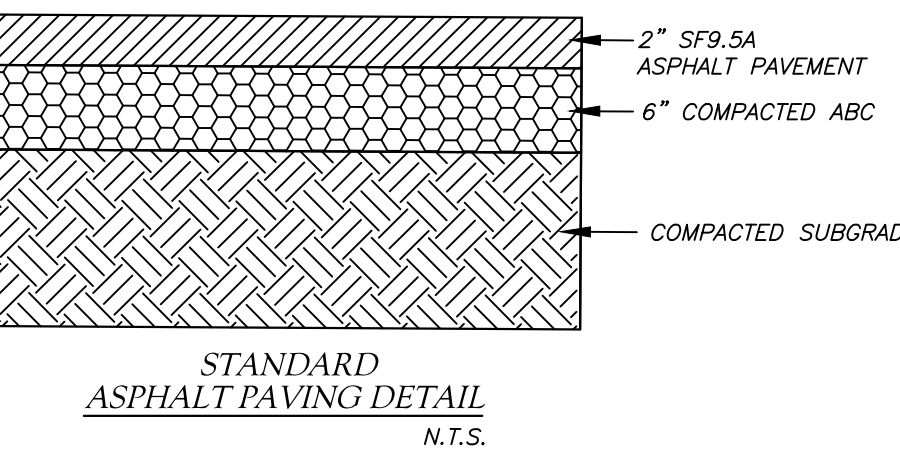
SHEET NO:

C2.0



SITE NOTES:

1. PARCEL ID: 219-123-03
DB. 29577-PG. 354
SITE AREA: ±2.4117 AC.
2. SITE ADDRESS: 13101 SOUTH TRYON STREET
CHARLOTTE, NC 28278
3. PROPERTY ZONING: B-2 (CD)
EXISTING USE: COMMERCIAL RESTAURANT
PROPOSED NEW BUILDING USE: DENTAL OFFICE
4. SETBACKS:
FRONT SETBACK: 50'
SIDE YARD: 5'
SIDE STREET YARD: 10'
MAX BLDG. HEIGHT: 40'
5. TOTAL AREA OF EX. RESTAURANT = 6,715± GFA
TOTAL AREA OF NEW DENTAL OFFICE = 4200± GFA
6. PARKING DATA:
PARKING REQUIRED: RESTAURANT 75 SPACES/SF = 90 SPACES
DENTAL OFFICE 1 SPACE/200 S.F. = 21 SPACES
TOTAL PARKING REQUIRED: 111 SPACES
TOTAL PARKING PROVIDED: 111 SPACES
H.C. PARKING REQ'D: 5 SPACES
H.C. PARKING PROVIDED: 6 SPACES (VAN ACCESSIBLE)
BICYCLE PARKING SPACES REQUIRED:
LONG TERM = 2 OR 1 PER 10,000 S.F.
SHORT TERM = 5% OF AUTO PARKING
BICYCLE PARKING SPACES PROVIDED:
LONG TERM = 1 PROVIDED
SHORT TERM = 1 PROVIDED (20 x 0.05 = 1 SPACE)
7. IMPERVIOUS CALCULATIONS:
EXISTING IMPERVIOUS: 48,090 S.F.
EXISTING IMPERVIOUS TO BE REMOVED: 8,509 S.F.
NEW IMPERVIOUS: 18,927 S.F.
NET NEW IMPERVIOUS: 10,418 S.F.
NEW TOTAL IMPERVIOUS: 56,192 S.F.
IMPERVIOUS PERCENTAGE:
56,192 SF/105,054 SF x 100 = 53.50% IMPERVIOUS
8. STREAM WATERSHED: STEELE
POST CONSTRUCTION DISTRICT: CENTRAL CATAWBA
9. FEMA FLOOD PANEL: SUBJECT PROPERTY IS NOT LOCATED IN A
SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY THE FEMA
FLOOD INSURANCE RATE MAP #3710440900K, DATED 9/2/2015
10. BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:
R B PHARR & ASSOCIATES
420 HAWTHORNE LANE
CHARLOTTE, NC 28204
704-376-2186



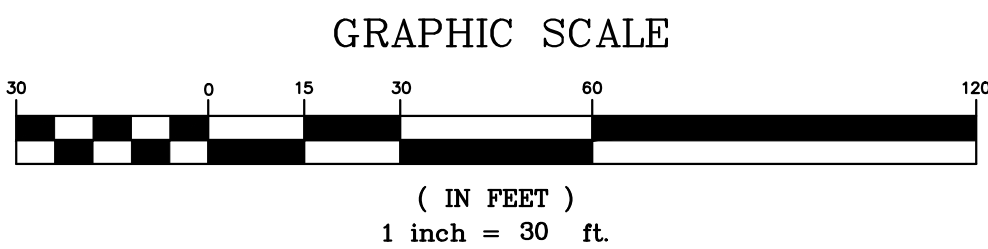
1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAYMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

1908-SP.dwg



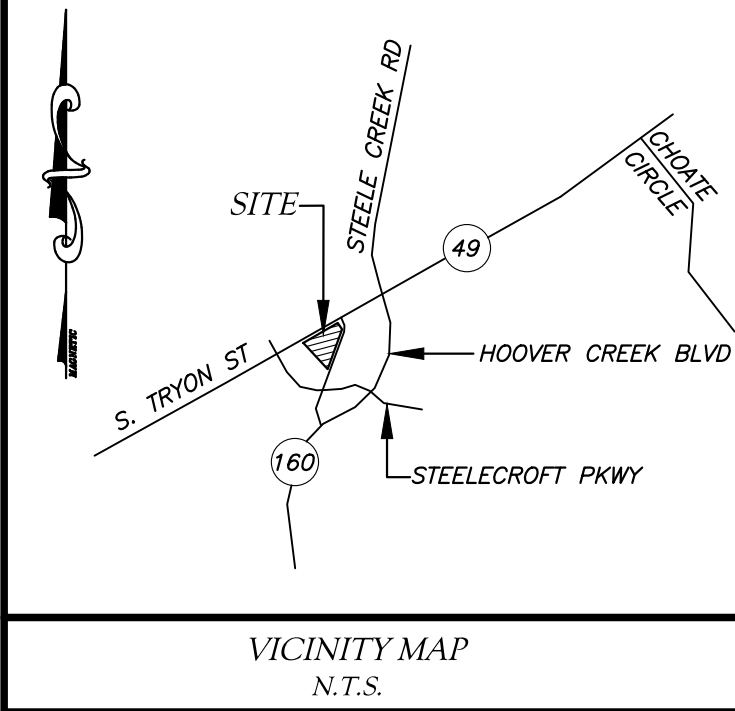
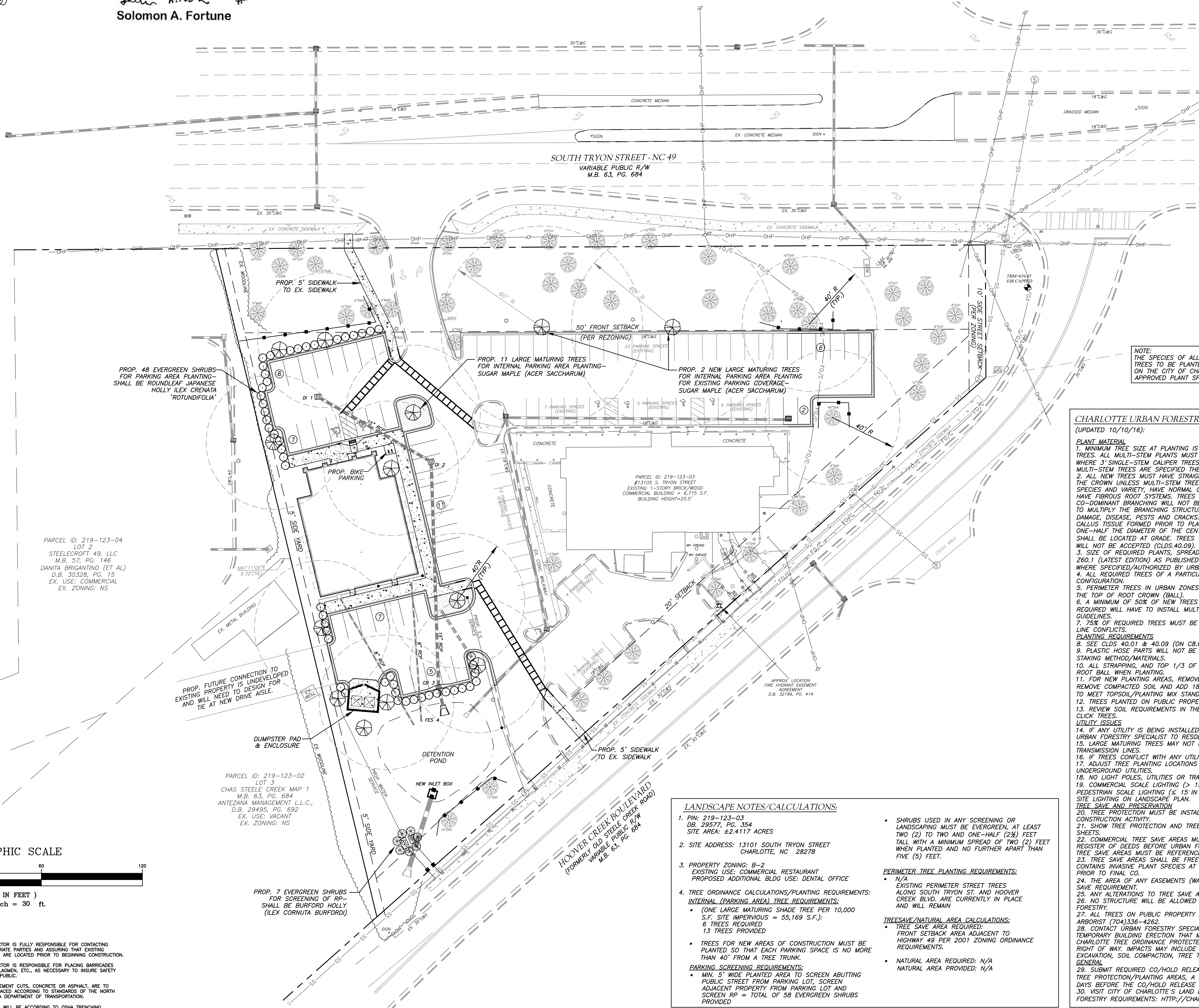
Know what's below.
Call before you dig.

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- SHORING WILL BE ACCORDING TO OSHA TRENCING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.



Attached to Administrative
Approval

Solomon A. Fortune
Solomon A. Fortune



- LEGEND**
- LARGE MATURING DECIDUOUS TREE:
SUGAR MAPLE - 13
(ACER SACCHARUM)
OR APPROVED EQUAL
 - EVERGREEN SHRUB:
ROUNDLEAF JAPANESE HOLLY - 51
(ILEX CRENATA 'ROTUNDIFOLIA')
OR APPROVED EQUAL
 - EVERGREEN SHRUB:
BURFORD HOLLY - 7
(ILEX CORNUTA BURFORDI)
OR APPROVED EQUAL
 - GROUND COVER, MULCH OR OTHER
APPROVED STABILIZATION MATERIAL
 - TREE PROTECTION FENCING
 - EXISTING TREES TO REMAIN

NOTE:
THE SPECIES OF ALL REQUIRED
TREES TO BE PLANTED MUST BE
ON THE CITY OF CHARLOTTE
APPROVED PLANT SPECIES LIST

CHARLOTTE URBAN FORESTRY - TREE PLANTING AND PRESERVATION REQUIREMENTS:
(UPDATED 10/10/16):

- PLANT MATERIAL**
- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL, IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL.
 - ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GIRDLING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING; NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED (CLDS.40.09).
 - SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
 - ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
 - PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF ROOT CROWN (BALL).
 - A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
 - 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.
- PLANTING REQUIREMENTS**
- SEE CLDS 40.01 & 40.09 (ON C&O) FOR DETAILED TREE PLANTING REQUIREMENTS.
 - PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDS 40.01 FOR APPROVED STAKING METHOD/MATERIALS.
 - ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET).
 - TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE CITY ARBORIST AND/OR NC DOT.
 - REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) THEN CLICK TREES.
 - UTILITY ISSUES.
 - IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTRY SPECIALIST TO RESOLVE PRIOR TO UTILITY INSTALLATION.
 - LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES.
 - IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS; CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 - ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES.
 - NO LIGHT POLES, UTILITIES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
 - COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (≤ 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE. SHOW SITE LIGHTING ON LANDSCAPE PLAN.
 - TREE SAVE AND PRESERVATION.
 - TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
 - SHOW TREE PROTECTION AND TREES SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.
 - COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAN WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAT.
 - TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL CO.
 - THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.
 - ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT.
 - NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY.
 - ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST (704)338-4262.
 - CONTACT URBAN FORESTRY SPECIALIST PRIOR TO ANY CRANE SET-UP, MACHINERY OPERATION OR TEMPORARY BUILDING ERECTION THAT MAY IMPACT CHARLOTTE TREE ORDINANCE PROTECTED TREES OR TREE SAVE AREAS, INCLUDING TREES LOCATED IN STREET RIGHT OF WAY. IMPACTS MAY INCLUDE BUT ARE NOT LIMITED TO: ENCRoACHING WITHIN TREE DRIP-LINES, EXCAVATION, SOIL COMPACTION, TREE TRIMMING, ERECTING AND DISMANTLING OF CONSTRUCTION GRANES.
 - GENERAL.
 - SUBMIT REQUIRED CO/HOLD RELEASE FORM AT [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) FOR AN INSPECTION OF TREE PROTECTION/PLANTING AREAS. A MINIMUM OF 5 DAYS BEFORE THE CO/HOLD RELEASE IS NEEDED.
 - VISIT CITY OF CHARLOTTE'S LAND DEVELOPMENT WEBSITE FOR ADDITIONAL INFORMATION AND URBAN FORESTRY REQUIREMENTS: [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) THEN CLICK TREES.

LANDSCAPE NOTES/CALCULATIONS:

- PIN: 219-123-03
DB: 29577, PG. 354
SITE AREA: ±2.4117 ACRES
- SITE ADDRESS: 13101 SOUTH TRYON STREET
CHARLOTTE, NC 28278
- PROPERTY ZONING: B-2
EXISTING USE: COMMERCIAL RESTAURANT
PROPOSED ADDITIONAL BLDG USE: DENTAL OFFICE
- TREE ORDINANCE CALCULATIONS/PLANTING REQUIREMENTS:
INTERNAL (PARKING AREA) TREE REQUIREMENTS:
 - (ONE LARGE MATURING SHADE TREE PER 10,000 S.F. SITE IMPERVIOUS = 55,169 S.F.):
6 TREES REQUIRED
13 TREES PROVIDED
- TREES FOR NEW AREAS OF CONSTRUCTION MUST BE PLANTED SO THAT EACH PARKING SPACE IS NO MORE THAN 40' FROM A TREE TRUNK.
- PARKING SCREENING REQUIREMENTS:
 - MIN. 5' WIDE PLANTED AREA TO SCREEN ABUTTING PUBLIC STREET FROM PARKING LOT, SCREEN ADJACENT PROPERTY FROM PARKING LOT AND SCREEN RP = TOTAL OF 58 EVERGREEN SHRUBS PROVIDED

- SHRUBS USED IN ANY SCREENING OR LANDSCAPING MUST BE EVERGREEN, AT LEAST TWO (2) TO TWO AND ONE-HALF (2½) FEET TALL WITH A MINIMUM SPREAD OF TWO (2) FEET WHEN PLANTED AND NO FURTHER APART THAN FIVE (5) FEET.
- PERIMETER TREE PLANTING REQUIREMENTS:
 - N/A
 - EXISTING PERIMETER STREET TREES ALONG SOUTH TRYON ST. AND HOOPER CREEK BLVD. ARE CURRENTLY IN PLACE AND WILL REMAIN
- TREESAVE/NATURAL AREA CALCULATIONS:
 - TREE SAVE AREA REQUIRED:
FRONT SETBACK AREA ADJACENT TO HIGHWAY 49 PER 2001 ZONING ORDINANCE REQUIREMENTS.
 - NATURAL AREA REQUIRED: N/A
NATURAL AREA PROVIDED: N/A

LWE
LATHAM-WALTERS
ENGINEERING, INC.
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16507-A NORTHCROSS DRIVE
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JULY 8, 2019
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CHEN
RIVERGATE I, LLC

568 JETTON STREET
SUITE 200
DAVIDSON, NC 28036
PHONE: (704) 895-2084
watson@piedmontlanddevelopment.com

HEARTLAND DENTAL-RIVERGATE
13101 S. TRYON STREET CHARLOTTE, NC 28273

LANDSCAPE PLAN

REVISIONS

PROJECT NO.: 2019.08

SCALE: 1" = 30'

DRAWN BY: PAB

CHECKED BY: JLW

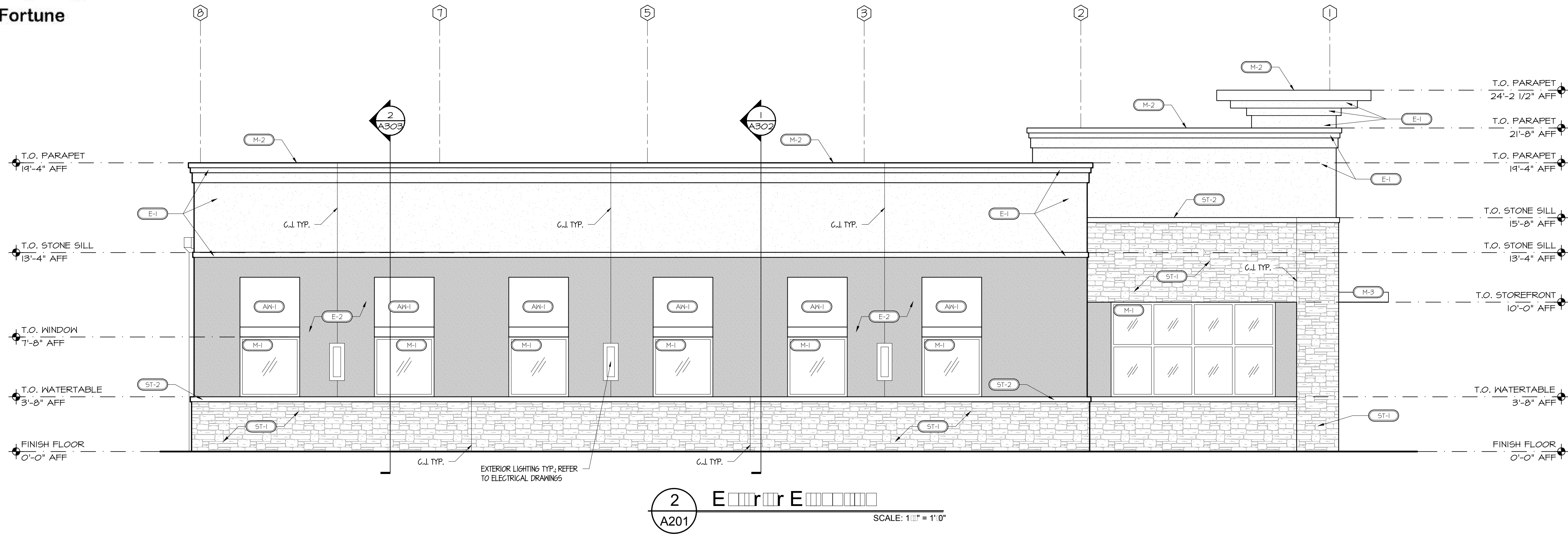
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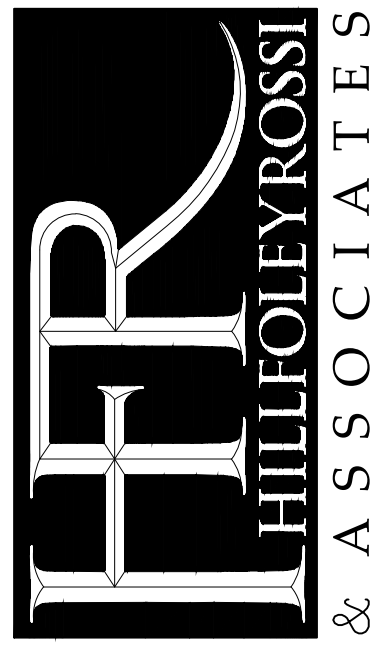
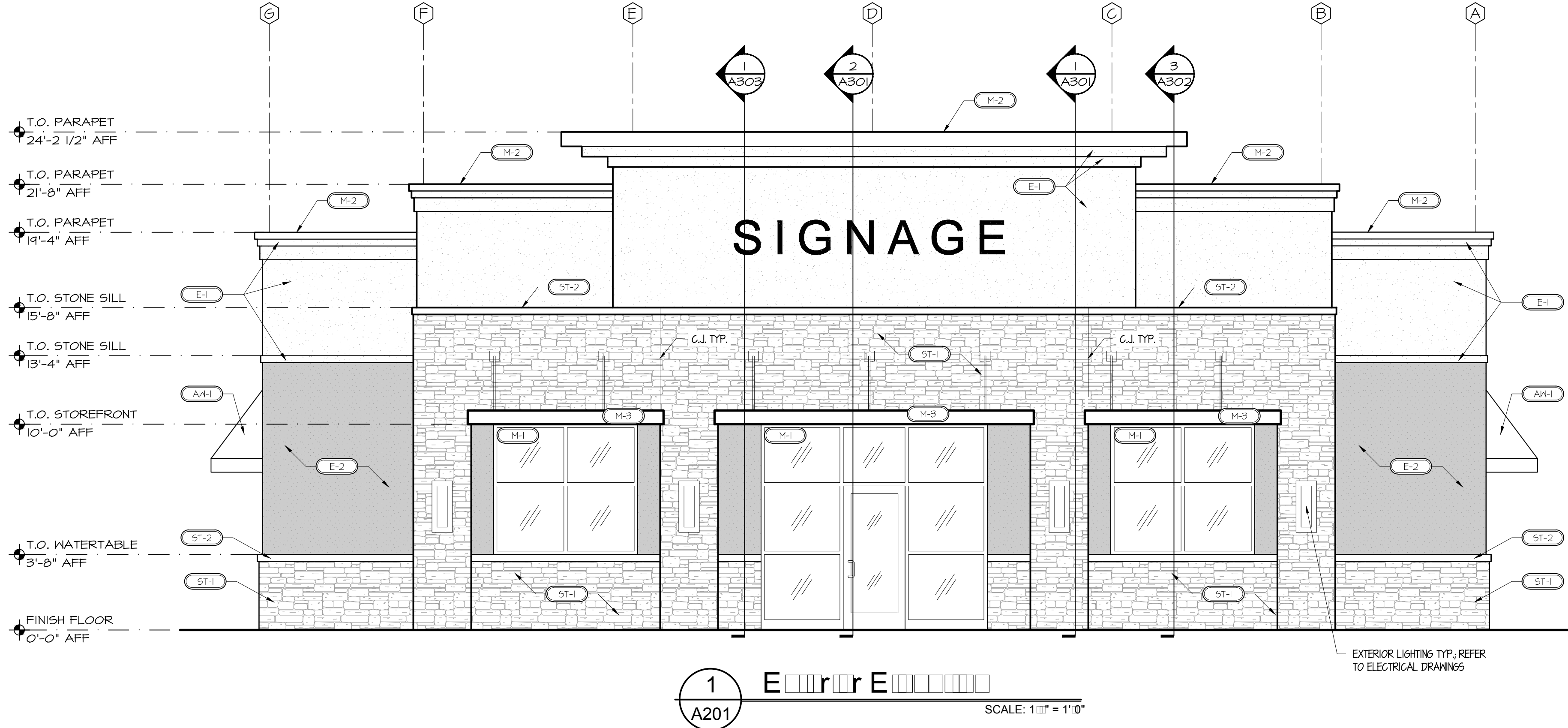
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Approval

Solomon A. Fortune
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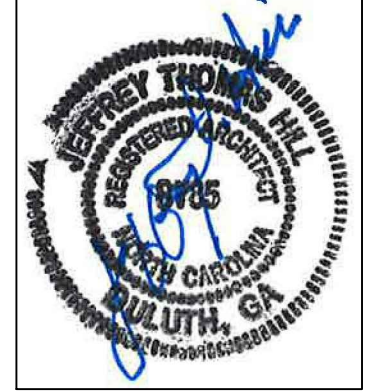
KEY PLAN				
EXTERIOR FINISH SCHEDULE				
SYMBOL	CATEGORY	MANUFACTURER	PRODUCT	NOTES
ST-1	STONE VENEER	CULTURED STONE	COBBLEFIELD - SAN FRANCISCO	
ST-2	STONE WATERTABLE SILL	-----	CAST STONE	COLOR TO MATCH ST-1
E-1	EIFS SYSTEM	DRYVIT	BENJAMIN MOORE - DUNE WHITE #1460	SANDBLAST FINISH - WATER MANAGED EIFS SYSTEM IS REQUIRED
E-2	EIFS SYSTEM	DRYVIT	CLAY 401A	SANDBLAST FINISH - WATER MANAGED EIFS SYSTEM IS REQUIRED
M-1	STOREFRONT	KAHNEER	COLOR: DARK BRONZE	
M-2	COPING, DRIP EDGE, BREAKMETAL, GUTTERS & DOWNSPOUTS	BERRIDGE	COLOR: BLACK	
M-3	METAL CANOPIES	-----	COLOR: DARK BRONZE	
P-1	DOORS & MISC. METALWORK	-----	COLOR: MATTE BLACK	EXTERIOR GRADE PAINT
AW-1	FABRIC AWNINGS	-----	COLOR: BLACK	PROVIDE SHOP DRAWINGS



ARCHITECTURE
ENGINEERING
3680 Pleasant Hill Road
Suite 200
Duluth, Georgia 30096
p 770.622.9858
f 770.622.9535
www.hillfoleyrossi.com

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upon project completion.

07/31/19



Project: 19.921
Sheet: 200
Drawing: 2803

Charlotte, NC
13113 S. Tryon Street
Charlotte, North Carolina 28278

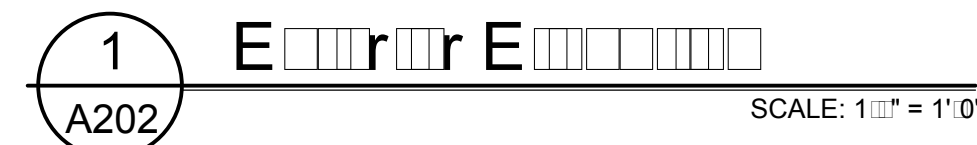
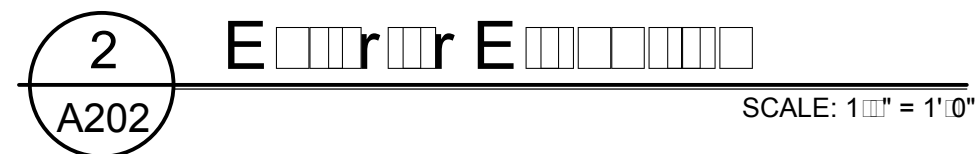
07/31/19
For Print

Elevation

A201

HFR 19.921.01

Solomon A. Fortune \$F\$
Solomon A. Fortune





Know what's below.
Call before you dig.

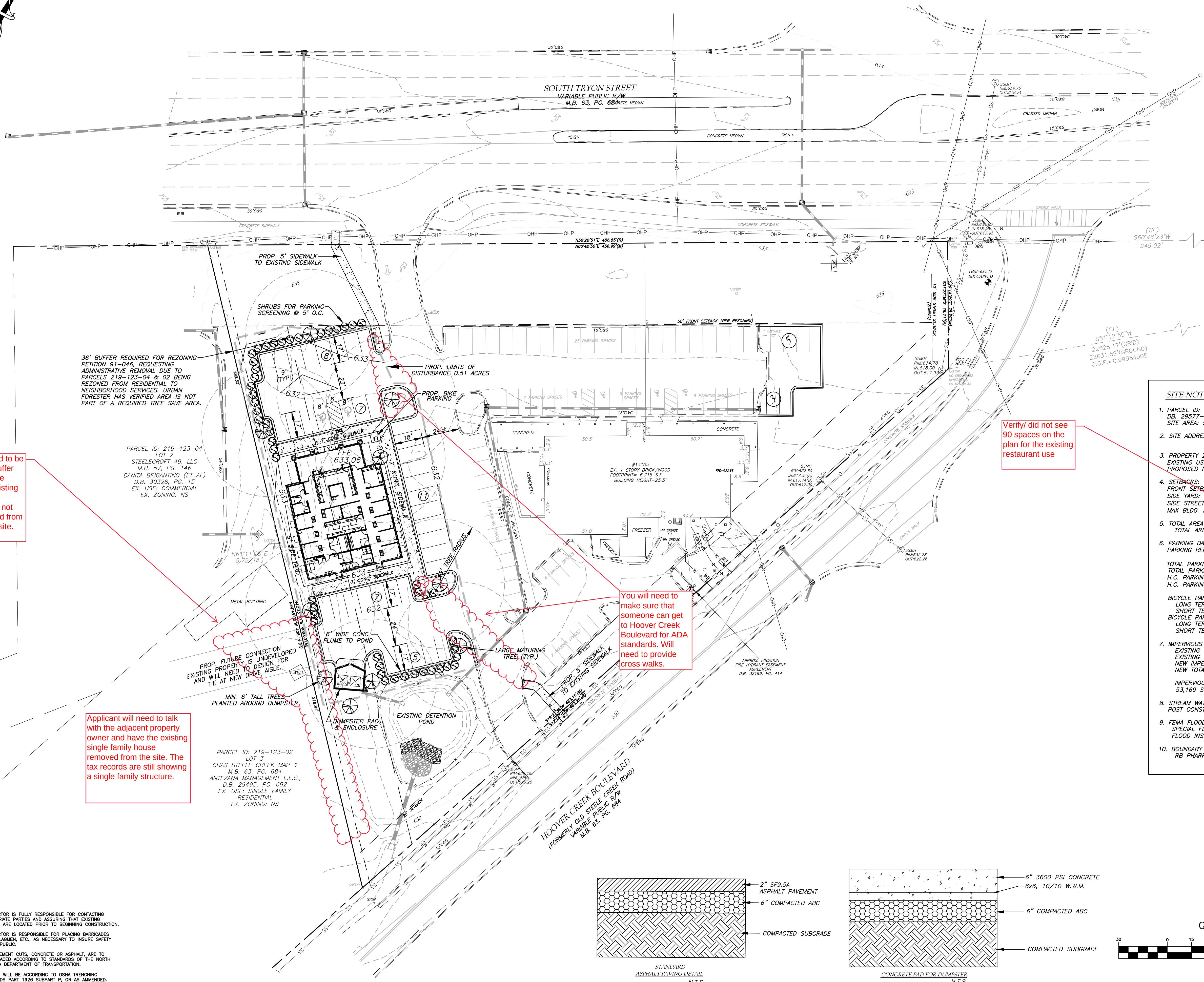
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- 4). SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

Note will need to be added that buffer will need to be installed if existing single-family structure has not been removed from the adjacent site.

Applicant will need to talk with the adjacent property owner and have the existing single family house removed from the site. The tax records are still showing a single family structure.

You will need to make sure that someone can get to Hoover Creek Boulevard for ADA standards. Will need to provide cross walks.

Verify/ did not see 90 spaces on the plan for the existing restaurant use

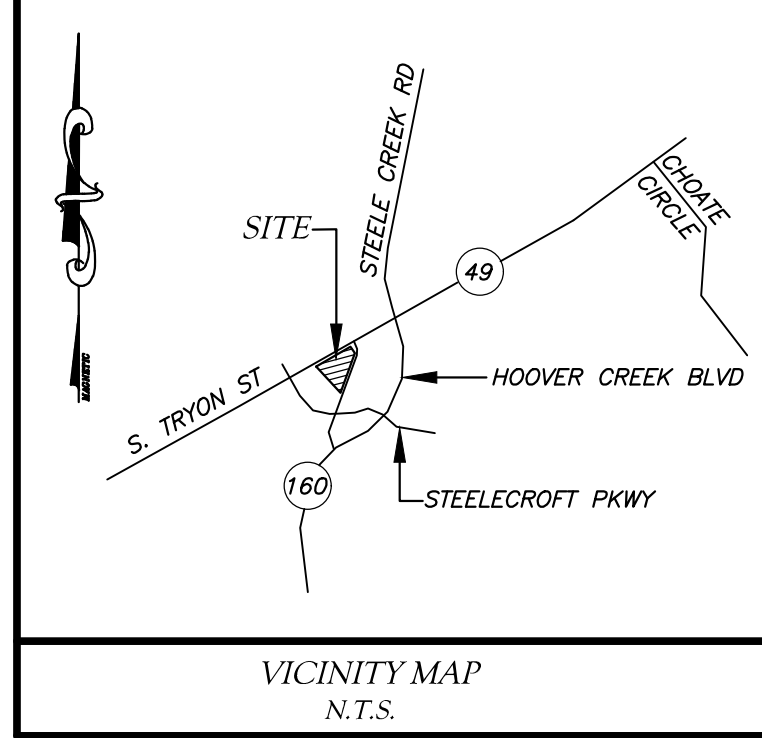
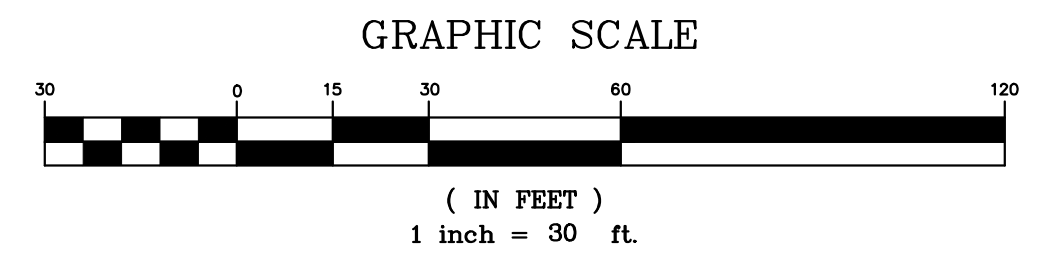
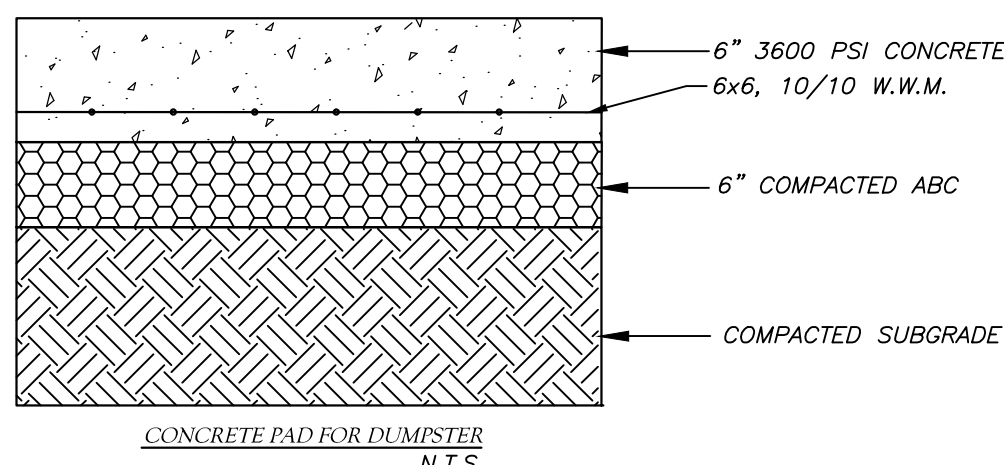
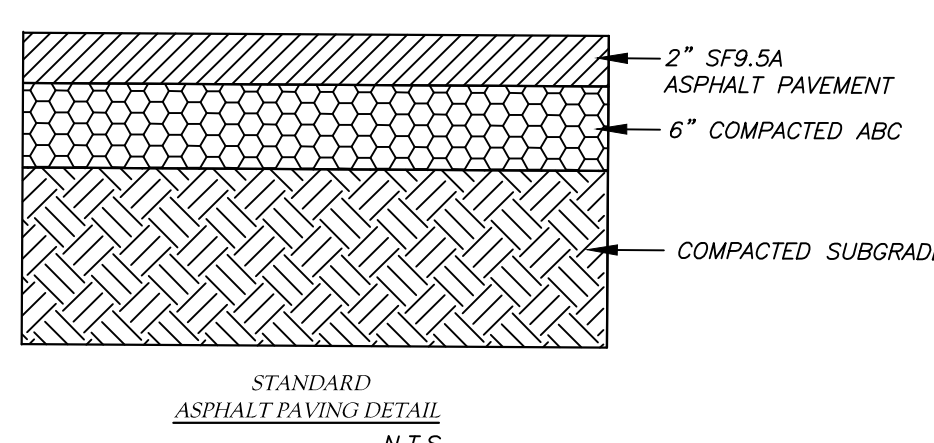


LEGEND

CONCRETE

ASPHALT PAVEMENT

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DB: 29577-PG. 354
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TOTAL AREA OF NEW DENTAL OFFICE = 4200± GFA
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SHORT TERM = 5% OF AUTO PARKING
BICYCLE PARKING SPACES PROVIDED:
LONG TERM = 1 PROVIDED
SHORT TERM = 1 PROVIDED (20 x0.05= 1 SPACE)
 7. IMPERVIOUS CALCULATIONS:
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EXISTING IMPERVIOUS TO BE REMOVED: 8,509 S.F.
NEW IMPERVIOUS: 18,809 S.F.
NEW TOTAL IMPERVIOUS: 53,169 S.F.
IMPERVIOUS PERCENTAGE:
53,169 SF/105,023 SF x 100 = 50.63% IMPERVIOUS
 8. STREAM WATERSHED: STEELE
POST CONSTRUCTION DISTRICT: CENTRAL CATAWBA
 9. FEMA FLOOD PANEL: SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY THE FEMA FLOOD INSURANCE RATE MAP #3710440900K, DATED 9/2/2015
 10. BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY: RB PHARR & ASSOCIATES.



LWE
LATHAM-WALTERS
ENGINEERING, INC.
N.C. CORP. LIC. C-1815
16507-A NORTHCROSS DRIVE
HUNTERVILLE, N.C. 28078
PHONE: (704) 895-8484
FAX: (704) 237-4362

**NOT
ISSUED FOR
CONSTRUCTION**
MARCH 20, 2019
DATE

DEVELOPER'S NAME
OR LOGO

DEVELOPER'S ADDRESS,
ADDRESS LINE 2
ADDRESS LINE 3
PHONE: (XXX) XXX-XXXX
FAX: (XXX)XXX-XXXX
EMAIL ADDRESS

RIVERGATE DENTAL OFFICE
13101 S. TRYON STREET CHARLOTTE, NC 28273

**SITE AND LANDSCAPE
PLAN**

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO.: 2019.08
SCALE: 1" = 30'
DRAWN BY: XXX
CHECKED BY: JLW
SHEET NO:

C1.0

Exhibit A-1
Sample Elevations
(Page 1 of 2)



Exhibit A-1
Sample Elevations
(Page 2 of 2)



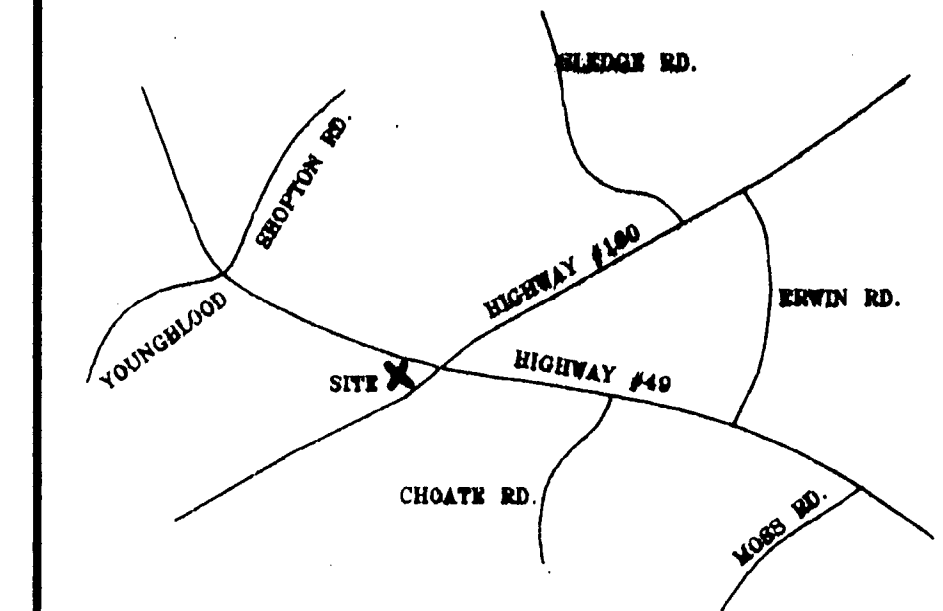
Provide actual elevations of the proposed medical office. Elevations will need to label features and building materials.



HEARTLAND - NORTH WEST CORNER

DEVELOPMENT DATA

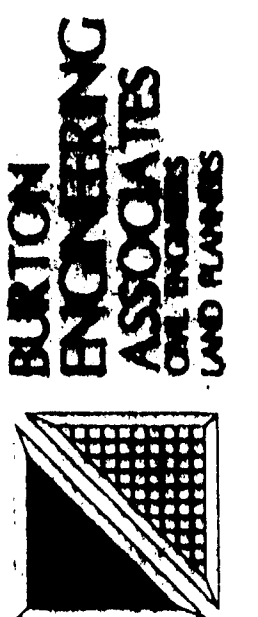
SITE AREA 3.58 Ac. (Inc. R/W)
2.46 Ac. (Excl. R/W)
EXISTING ZONING R-15
PROPOSED ZONING B2-CD
MAXIMUM BLDG. AREA 50,000 S.F.



VICINITY MAP

NOT TO SCALE

THIS DRAWING IS THE PROPERTY OF
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AND IS NOT TO BE REPRODUCED OR
COPIED IN WHOLE OR IN PART.
IT IS NOT TO BE USED ON ANY
OTHER PROJECT AND IS TO BE
RETURNED UPON REQUEST.



2115 Rexford Rd., Suite 540 • Charlotte, NC 28211
(704) 365-8853 • Fax (704) 365-4506

FOR PUBLIC HEARING

PROPOSED REZONING PLAN - PETITION NO. 91-46(C)

MECKLENBURG COUNTY, NORTH CAROLINA

SHEET PROPOSED REZONING PLAN MODIFIED FROM PLAN

PROVIDED BY DPR ASSOCIATES, INC. FOR
CLYDE & MARY LETA ARMSTRONG

CTB
Engineer
RAW
Drawn By
Date

Revisions

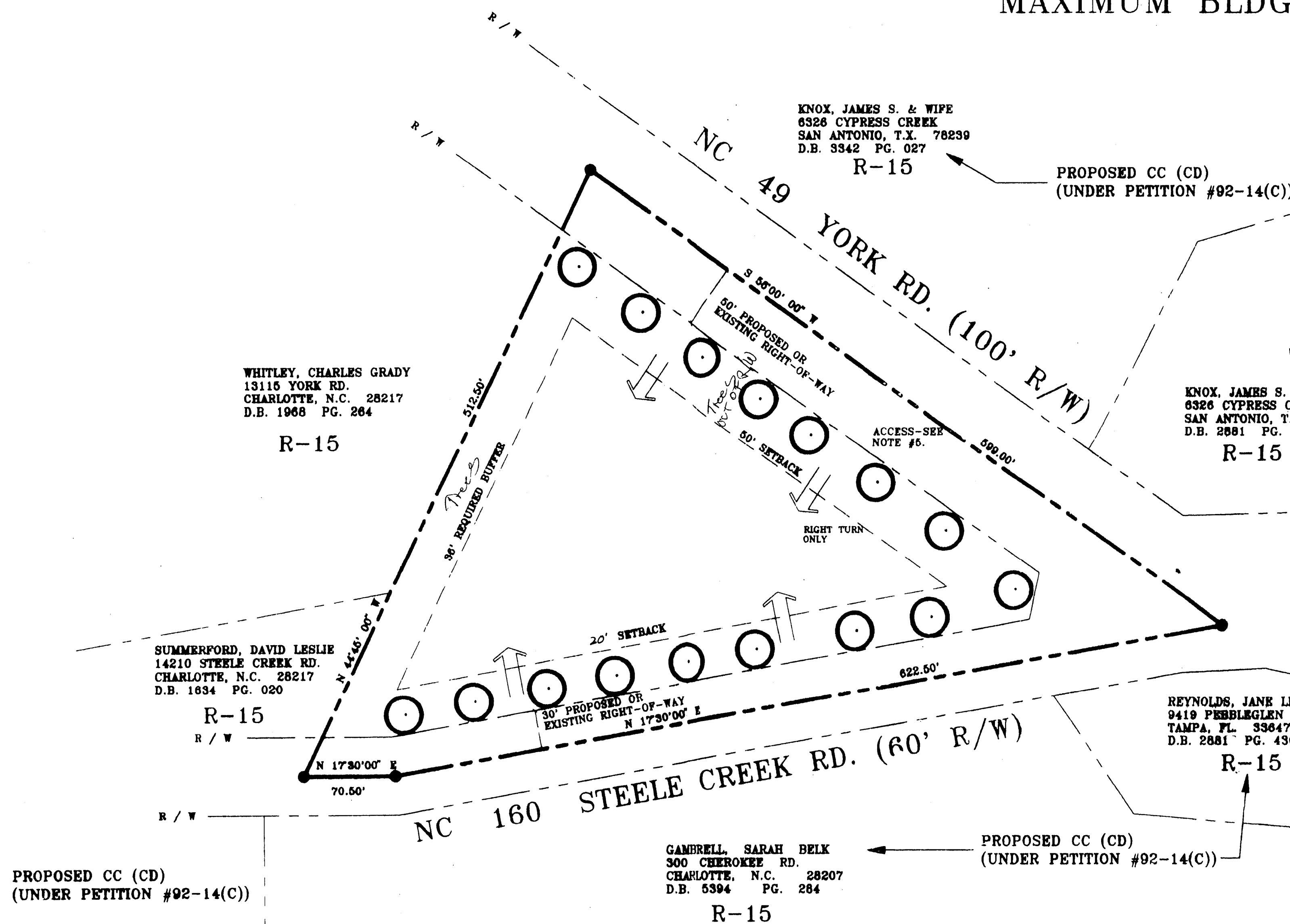
Project Number

Sheet

of

C1

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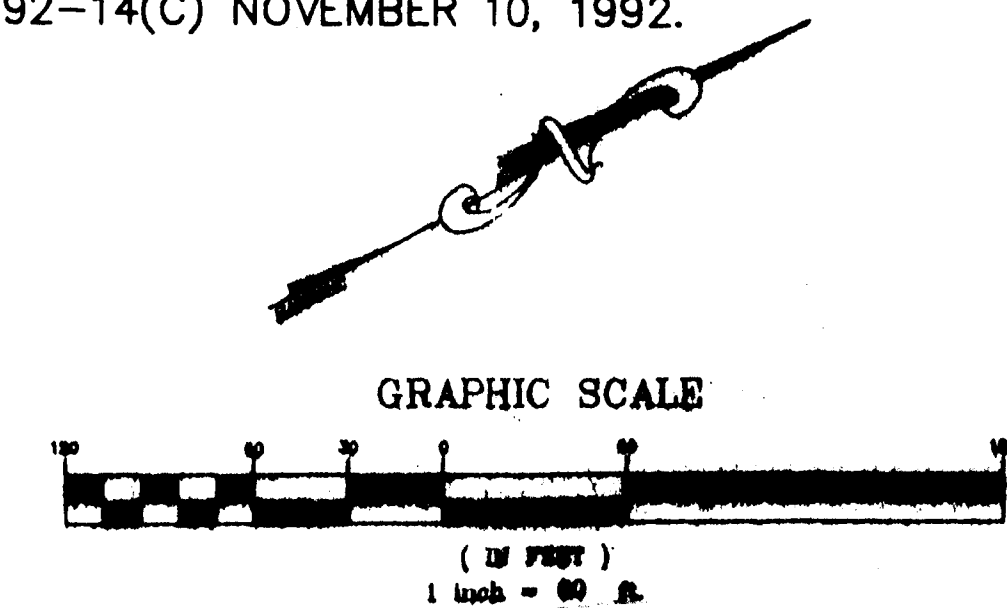


Indicate tree types and
number around street front

DEVELOPMENT DATA

1. SITE BOUNDARY INFORMATION FROM NORTH CAROLINA GENERAL WARRANTY DEED, DATED DECEMBER 9, 1963.
2. PROPERTY USE WILL BE RESTRICTED TO THOSE USES ALLOWED IN THE B1 ZONING DISTRICT EXCEPT THAT HOTEL/MOTEL USE WILL BE ALLOWED, AND DRIVE THROUGH SERVICE MAY BE PERMITTED.
3. SEE SEPARATE SHEETS OF NOTES FOR CONDITIONS OF THE FOLLOWING ITEMS: STREETScape, SETBACKS, LANDSCAPE DESIGN, SIDEWALKS, LIGHTING, SIGNS, PARKING AREAS, ARCHITECTURAL CONTROLS, AND STORMWATER MANAGEMENT.
4. BUFFERS, SCREENING, PARKING AND SIGNAGE WILL MEET APPLICABLE ZONING ORDINANCE REQUIREMENTS.
5. DRIVEWAY CONNECTIONS TO YORK ROAD AND STEELE CREEK ROAD WILL BE COORDINATED WITH NCDOT. A MAXIMUM OF 2 DRIVEWAYS ONTO YORK ROAD AND 2 DRIVEWAYS ONTO STEELE CREEK ROAD WILL BE ALLOWED. LOCATIONS ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN OF YORK ROAD REALIGNMENT. THE TWO DRIVEWAYS CLOSEST TO THE EXISTING INTERSECTION WILL BE RIGHT TURN ONLY, AS NOTED ON PLAN.

6. THE DRIVEWAY CLOSEST TO THE INTERSECTION ON NC 160 WILL BE A FULL MOVEMENT SINCE THE REALIGNMENT OF 160 WITH HWY 49 WILL CAUSE EXISTING 160 TO BECOME A CUL-DE-SAC. IF NCDOT PLANS CHANGE NCDOT COULD REQUIRE THIS FULL MOVEMENT ACCESS TO BECOME RIGHT-IN/RIGHT-OUT ONLY.
7. SHEETS REFERENCED IN NOTE 3 REFER TO LOWER STEELE CREEK AREA MIXED USE CENTER PLAN "DESIGN GUIDELINES" MECKLENBURG COUNTY ZONING PETITION 92-14(C) NOVEMBER 10, 1992.



JMA

561 N. Park St.
P.O. Box 691
Pineville, North Carolina 28134
(704) 889-8200
James McGovern & Associates
Consulting Engineers

PLANTING CALCULATION

SITE ACREAGE	2.41± ACRES
IMPERVIOUS AREA	.69± ACRES
LANDSCAPE AREA PROVIDED	10% OF SITE
INTERNAL TREES REQUIRED	71%
INTERNAL TREES PROVIDED	1/10,000 SF/IMPERVIOUS AREA
INTERNAL TREES PROVIDED	1/60' OF PARKING SPACES
INTERNAL TREES PROVIDED	7 TREES PROVIDED

TREE ORDINANCE REQUIREMENT

	REQUIRED	PROVIDED
NC HWY. 49 -- 456.94 LF/30 LF	15 TREES	15 UNDERSTORY TREES
NC HWY.160 -- 562.02 LF/40 LF	14 TREES	14 LARGE MATURING TREES

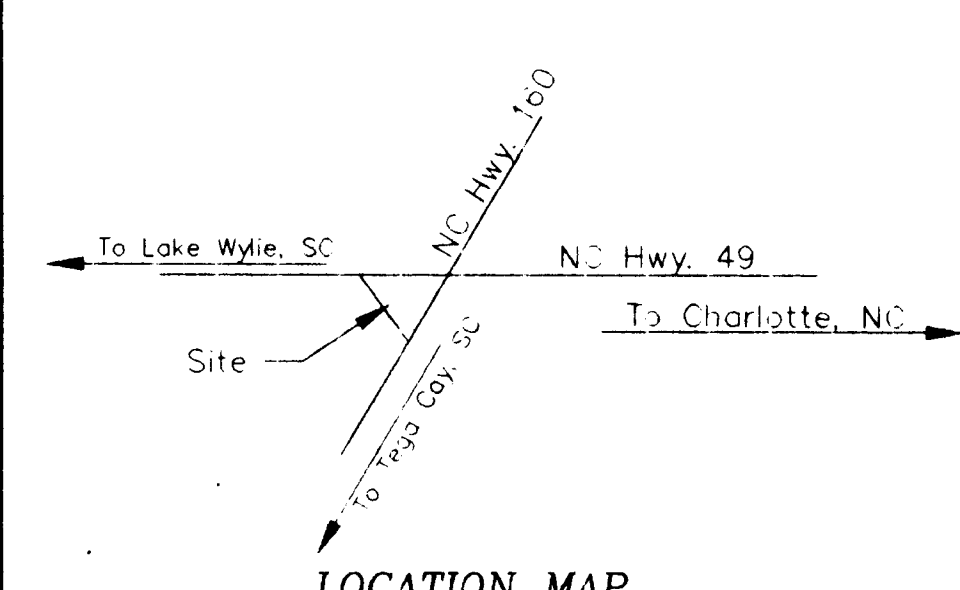
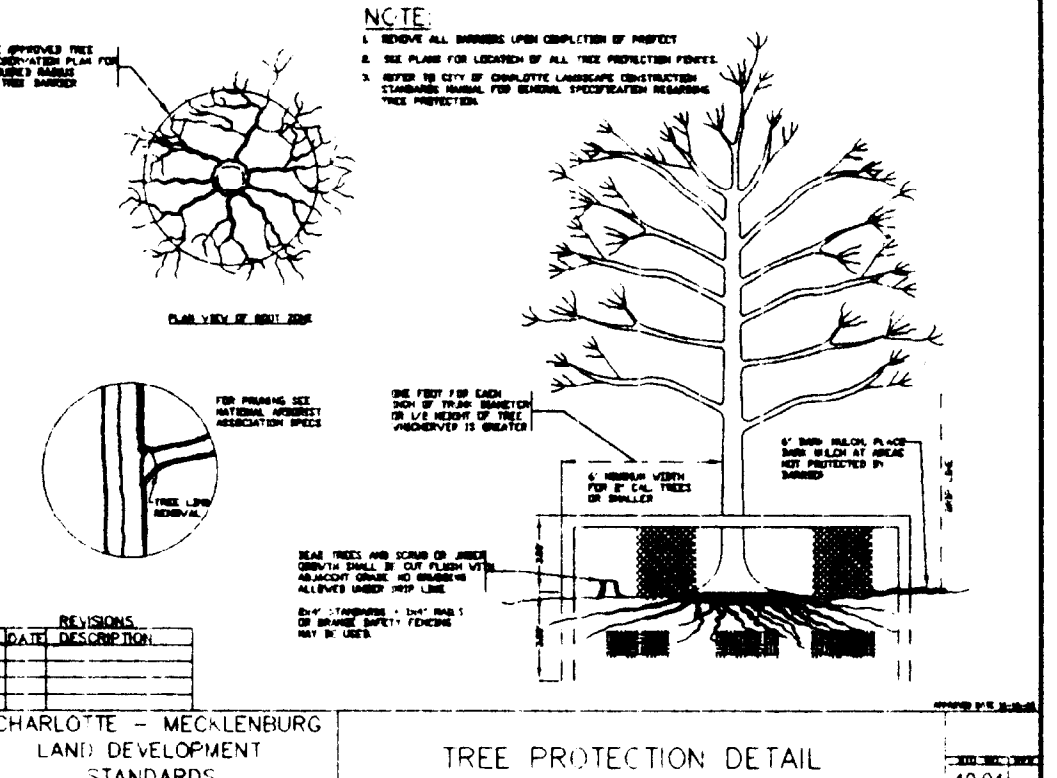
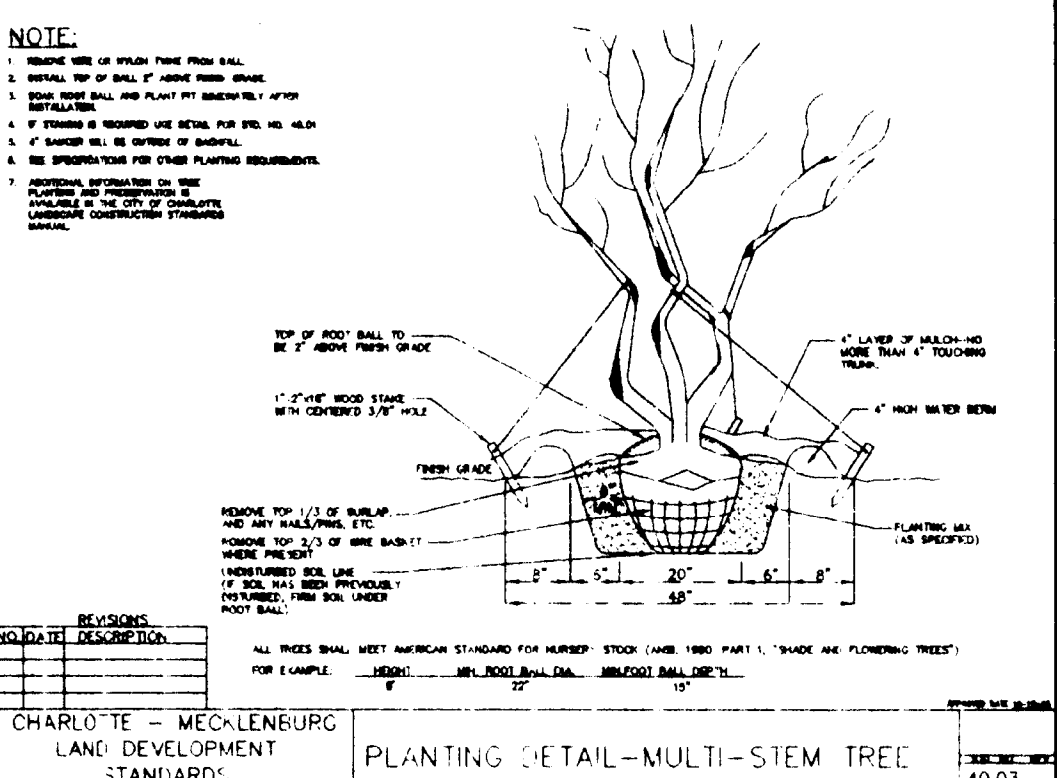
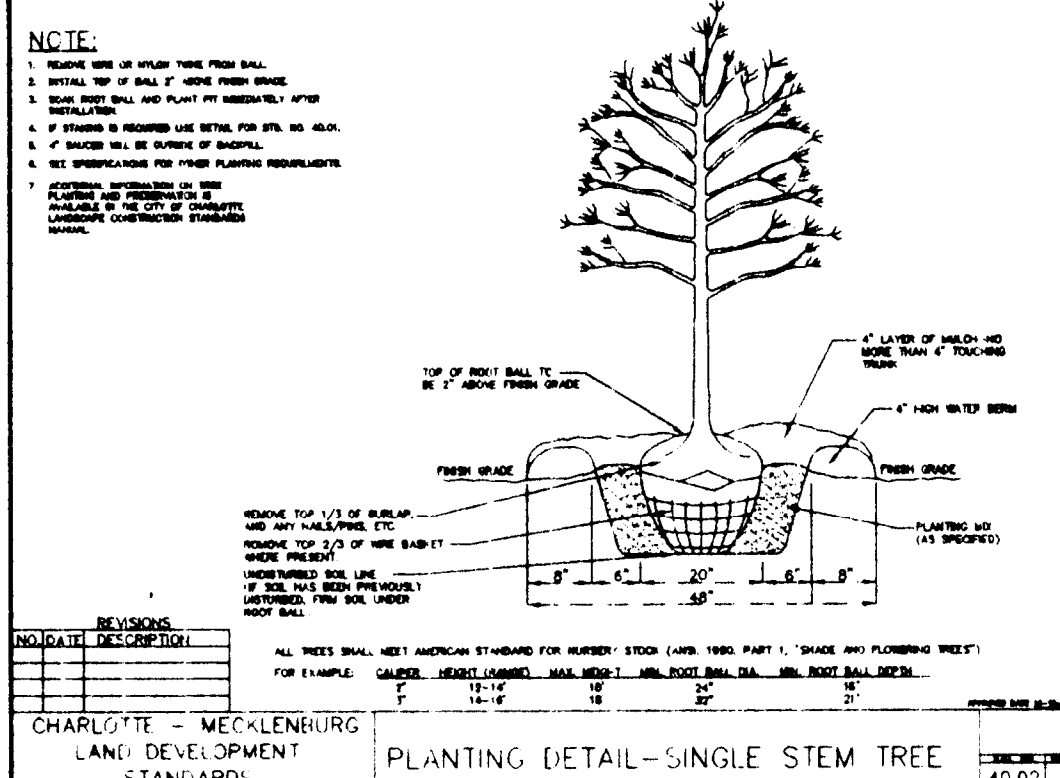
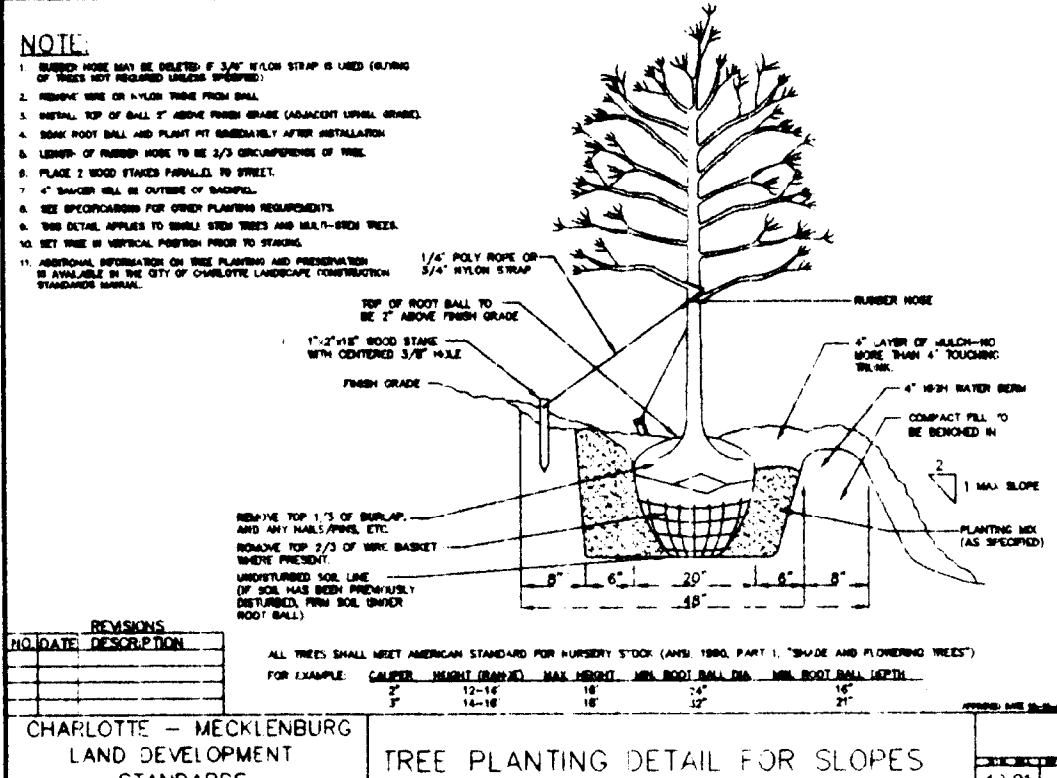
PLANT LIST

QTY.	BOTANICAL NAME	COMMON NAME	CALIPER	SIZE	COND.	REMARKS
10	ACER RUBRA	AUTUMN BLAZE	2 1/2" - 3" CAL.	BHT/7 MIN.	BAR	STRAIGHT TRUNK, FULL CANOPY
3	LODGEPOLE	DOGWOOD (WHITE)	1 1/2" - 2" CAL.	BHT/7 MIN.	BAR	STRAIGHT TRUNK, FULL CANOPY
14	PRUNUS YEDENSIS	PINE VIRGINIA	1 1/2" - 2" CAL.	BHT/7 MIN.	BAR	STRAIGHT TRUNK, FULL CANOPY
13	PRUNUS YEDENSIS	YOSHINO CHERRY	1 1/2" - 2" CAL.	BHT/7 MIN.	BAR	STRAIGHT TRUNK, FULL CANOPY
20	QUERCUS RUBRA	NORTHERN RED OAK	2 1/2" - 3" CAL.	BHT/7 MIN.	BAR	STRAIGHT TRUNK, FULL CANOPY
10	LODGEPOLE	DOGWOOD (WHITE)	1 1/2" - 2" CAL.	BHT/7 MIN.	BAR	STRAIGHT TRUNK, FULL CANOPY
3	LODGEPOLE	DOGWOOD (WHITE)	1 1/2" - 2" CAL.	BHT/7 MIN.	BAR	STRAIGHT TRUNK, FULL CANOPY

SEEDING MIXTURE	RATE(lb/acre)
SPECIES 1	
TALL FESCUE, BLENDED (EQUAL PARTS OF TWO OR PREFERABLY THREE TURF-TYPE TALL FESCUES)	100-150
SEEDING DATES	BEST POSSIBLE
BELOW 2500 ft. Aug. 15 - Sept. 1	July 21 - Sept. 15
Above 2500 ft. May 1 - Aug. 1	May 1 - May 10
May 15 - Aug. 15	July 15 - Aug. 30
May 15 - Aug. 15	May 5 - May 15
Soil amendments	
Apply lime and fertilizer according to soil tests, or apply 4,000 lb/acre ground agricultural limestone and 1,200 lb/acre 10-10-10 fertilizer.	
Mulch	
Apply 3,000-4,000 lb/acre gran straw or equivalent cover or another suitable mulch. Anchor mulch by tacking with asphalt, netting, or by rolling and watering.	
Maintenance	
The bunch-type habit of tall fescue restricts its spread into damaged areas. Reseed bare spots in the fall. Fertilize annually in late winter and again in fall. Reseed, fertilize, and mulch damaged areas immediately.	

SEEDING MIXTURE	RATE(lb/acre)
SPECIES 1	
GERMAN MILLET	40
IN THE MOUNTAIN AND MOUNTAINS, A SMALL-STEMMED SUGARCANE MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE	
SEEDING DATES	BEST POSSIBLE
MOUNTAINS-MAY 15 - AUG. 15	
PEAK-MAY 1 - AUG. 15	
COASTAL-APRIL 15 - AUG. 15	
Soil amendments	
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.	
Mulch	
APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.	
Maintenance	
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE (HESSE). REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.	

- Note:
- All trees along south west property line to be planted 20' or less off property line.
 - From Hwy. 49 property line along the south west property line shrub to be planted 40/100 ft. (X/100 X) (X/100 X) (X/100 X).
 - Landscaper to alternate shrub for maximum screening along berm.
 - See Architect Plan for dumpster screening wall with gates.



GENERAL NOTES

NO SOIL DISTURBANCE OR COMPACTION OF CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.

TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER INSPECTION.

TREE PROTECTION BARRICADES MUST MEET OR EXCEED CITY STANDARDS.

FOR NEW PLANTING WITHIN PAVEMENT AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX FOR UNCOMPACTED AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.

ROOT PRUNING SHALL BE KEPT TO AN ABSOLUTE MINIMUM. THE CUT SHALL BE MADE NO MORE THAN SIX INCHES (6") BEHIND THE BACK OF THE CURB AND TO A DEPTH OF TWO FEET (2') BELOW THE SOIL SURFACE. ROOT PRUNING EQUIPMENT SHALL BE KEPT SHARP TO ENSURE THAT ROOTS ARE CUT CLEANLY AND ARE NOT BROKEN OR TORN BY SOIL OR UNSTABLE EQUIPMENT. ANY EXPOSED ROOTS SHALL BE COVERED WITH SOIL AS SOON AS POSSIBLE TO MINIMIZE EXPOSURE TO AIR.

TREES THAT DIE AS A RESULT OF CONTRACTOR'S NEGLIGENCE TO THESE SPECIFICATIONS SHALL BE REMOVED AND REPLACED WITH A NEW TREE OR TREES OF EQUAL CALIPER.

ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.

VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE "PLANT LIST" SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR. THE TOTAL QUANTITIES SHALL BE AS REQUIRED ON THE PLANTING PLAN.

ALL TREES SHRUBS AND PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

ALL TREES SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.

ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BURE TO PREVIOUS EXISTING GRADE.

ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACK FILLING.

ALL TREES SHALL REQUIRE A MULCH RING AT THEIR BASE IF LEFT WITHIN LAWN AREAS.

A VERIFICATION OF LOCATIONS OF UNDERGROUND UTILITIES IS RECOMMENDED PRIOR TO PLANTING.

MULCH SHALL BE 3" DEEP PINE STRAW MULCH IN ALL DESIGNATED PLANTING BED AREAS. MULCH SHALL BE FREE FROM NOXIOUS WEEDS, MOLD, OR OTHER NON-ORGANIC MATERIAL.

SOIL MIX, UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, THE FOLLOWING MIXTURE (THOROUGHLY MIXED BY VOLUME) SHALL BE USED FOR BACKFILL AROUND PLANTS AS SPECIFIED IN DETAILS TOPSOIL, 3 PARTS, PEAT MOSS, 1 PART, TILL PLANT BEDS TO A MINIMUM DEPTH OF 4'.

SPREAD SOIL MIX UNIFORMLY OVER PLANT BEDS AND INCORPORATE INTO EXISTING SOIL.

AMEND TOPSOIL TO 50% OF THE FOLLOWING COMPOSITION REQUIREMENTS, BETWEEN 5 AND 7 MAXIMUM PARTICLE SIZE 3/4 INCH WITH MAXIMUM 3 PERCENT RETAINED ON 3/4 INCH SCREEN. SOLUBLE SALT SHALL NOT EXCEED 100 PPM. OTHER COMPONENTS SHALL BE WITHIN THE FOLLOWING PERCENTAGES: Silt 25-50, Clay 15-30, Sand 20-35.

COMMERCIAL GRADE FERTILIZER, GRANULAR, FREE FLOWING AND UNIFORM IN COMPOSITION WITH NITROGEN-PHOSPHORUS-POTASH RATIO OF 10 PERCENT NITROGEN, 10 PERCENT AVAILABLE PHOSPHORUS, AND 10 PERCENT POTASH. TOP DRESS ALL PLANT BEDS WITH THE ABOVE FERTILIZER AT A RATE OF 1.5 POUNDS PER 100 SQUARE FEET AREA OR ACCORDING TO SOIL TEST.

THIS DRAWING IS THE PROPERTY OF JMA, JAMES MCGOVERN & ASSOCIATES CONSULTING ENGINEERS, AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

JMA

561 N. Polk St.
P.O. Box 681
Pineville, North Carolina 28134
(704) 889-8200

James McGovern & Associates
Consulting Engineers

Project: Restaurant Hwy 49 & 160 Charlotte, North Carolina

Sheet Title: Landscape Plan

Graphic Scale: 0 10 20 40

Scale: 1"=20'

Engineer: J.J. McGovern

Senior Designer: Ted W. Lawrence

Date: 01-27-00

Revisions:

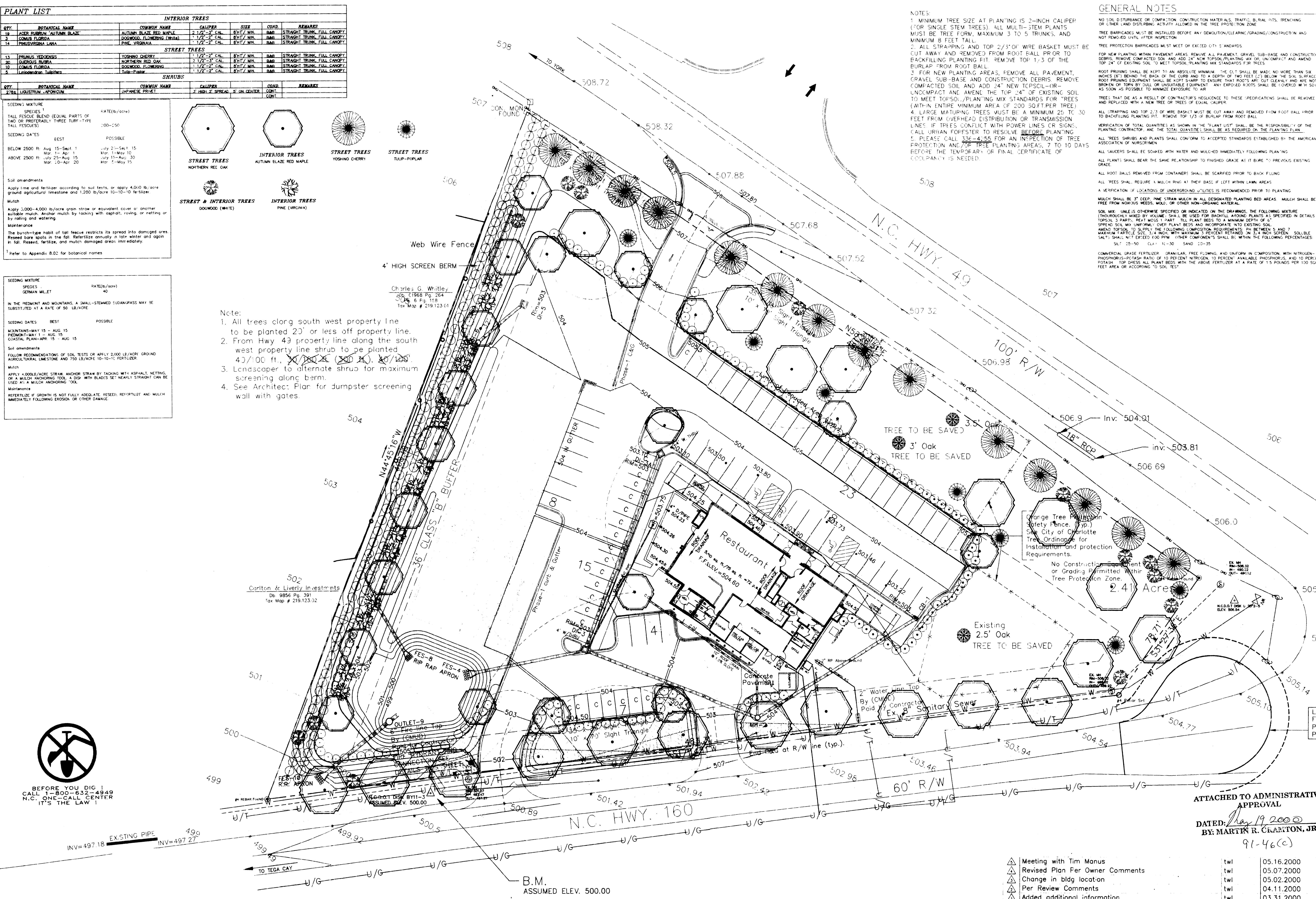
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No. 2	Date 04.11.2000
No. 3	Date 05.02.2000
No. 4	Date 05.07.2000
No. 5	Date 05.16.2000
No.	Date

Attached to Administrative Approval

DATED: May 19, 2000

BY: MARTIN R. CRAMTON, JR.

91-46(c)



BEFORE YOU DIG: CALL 800-632-4949 N.C. ONE-CALL CENTER IT'S THE LAW!

Professional Engineer Seal for J.J. McGovern, State of North Carolina, License No. 8376.

Project Number: 348/017

Sheet No. L-1

No. of Sheet: 1

PLANTING CALCULATION

SITE ACREAGE	2.41± ACRES
IMPERVIOUS AREA	.69± ACRES
LANDSCAPE AREA REQUIRED	10% OF SITE
LANDSCAPE AREA PROVIDED	71%
INTERNAL TREES REQUIRED	1/10,000 SF/IMPERVIOUS AREA
INTERNAL TREES PROVIDED	1/60' OF PARKING SPACES
INTERNAL TREES PROVIDED	7 TREES PROVIDED

TREE ORDINANCE REQUIREMENT

	REQUIRED	PROVIDED
NC HWY 49 - 456.94 LF/30 LF	15 TREES	15 UNDERSTORY TREES
NC HWY 160 - 582.02 LF/40 LF	14 TREES	14 LARGE MATURING TREES

PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	CALIPER	SIZE	COND.	REMARKS
24	ACER RUBRUM 'AUTUMN BLAZE'	AUTUMN BLAZE RED MAPLE	2 1/2" - 3" CAL.	8 FT. / 10 FT.	BAR.	STRAIGHT TRUNK, FULL CANOPY
12	CORNUS FLORIDA	DOGWOOD (FLOWERING)	1 1/2" - 2" CAL.	8 FT. / 10 FT.	BAR.	STRAIGHT TRUNK, FULL CANOPY
12	PRUNUS YEDOENSIS	YOSHINO CHERRY	1 1/2" - 2" CAL.	8 FT. / 10 FT.	BAR.	STRAIGHT TRUNK, FULL CANOPY
14	QUERCUS PURPA	NORTHERN RED OAK	2 1/2" - 3" CAL.	8 FT. / 10 FT.	BAR.	STRAIGHT TRUNK, FULL CANOPY
52	CORNUS FLORIDA	DOGWOOD (FLOWERING)	1 1/2" - 2" CAL.	8 FT. / 10 FT.	BAR.	STRAIGHT TRUNK, FULL CANOPY
28	LIRIODENDRON YULIIFOLIUM	JAPANESE PRINCE	1 1/2" - 2" CAL.	8 FT. / 10 FT.	BAR.	STRAIGHT TRUNK, FULL CANOPY

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SEEDING MIXTURE	RATE (lb/acre)
SPECIES 1 TALL FESCUE BLEND (EQUAL PARTS OF TWO OR PREFERRED) THREE TURF-TYPE TALL FESCUES	200-250
SEEDING DATES:	BEST POSSIBLE
BELOW 2500 ft. Aug. 15 - Sept. 1	July 25 - Sept. 15
Above 2500 ft. May 1 - Apr. 15	May 1 - May 10
	July 15 - Aug. 30
	May 20 - Apr. 20

SEEDING MIXTURE	RATE (lb/acre)
SPECIES 1 GERMAN MILLET	40
IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUDAGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE.	
SEEDING DATES:	BEST POSSIBLE
MOUNTAINS - MAY 15 - AUG. 15	
PIEDMONT - MAY 1 - AUG. 15	
CONVAL PLAIN - APR. 15 - AUG. 15	

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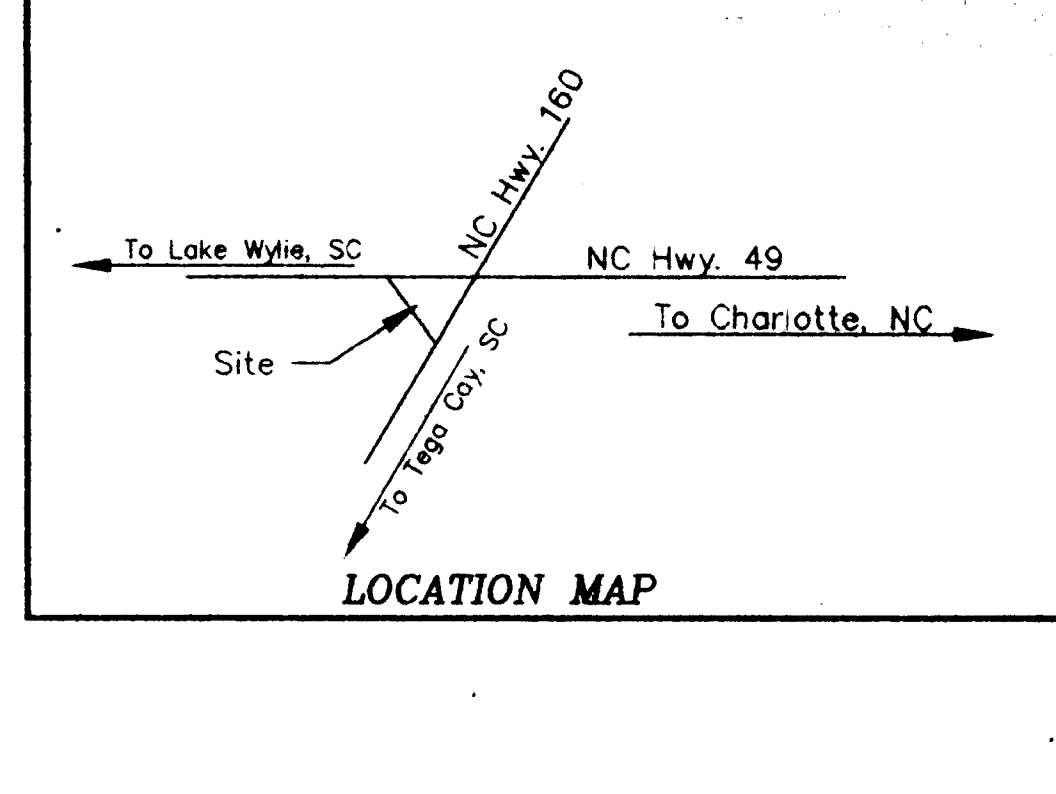
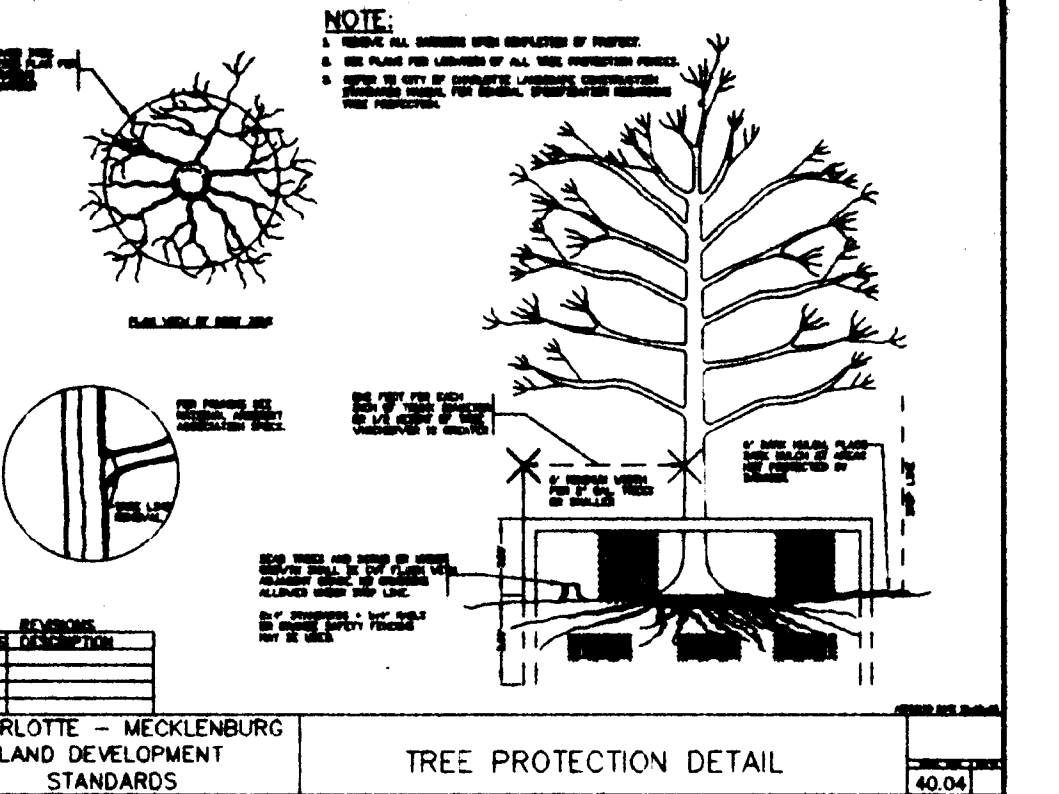
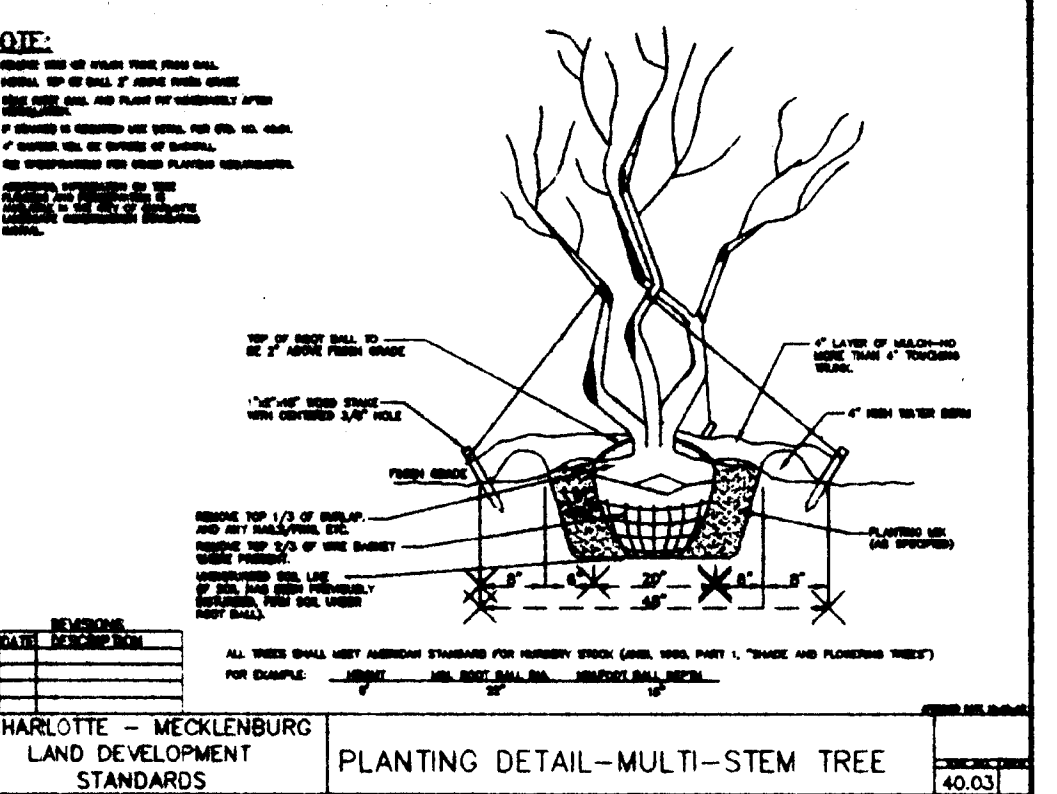
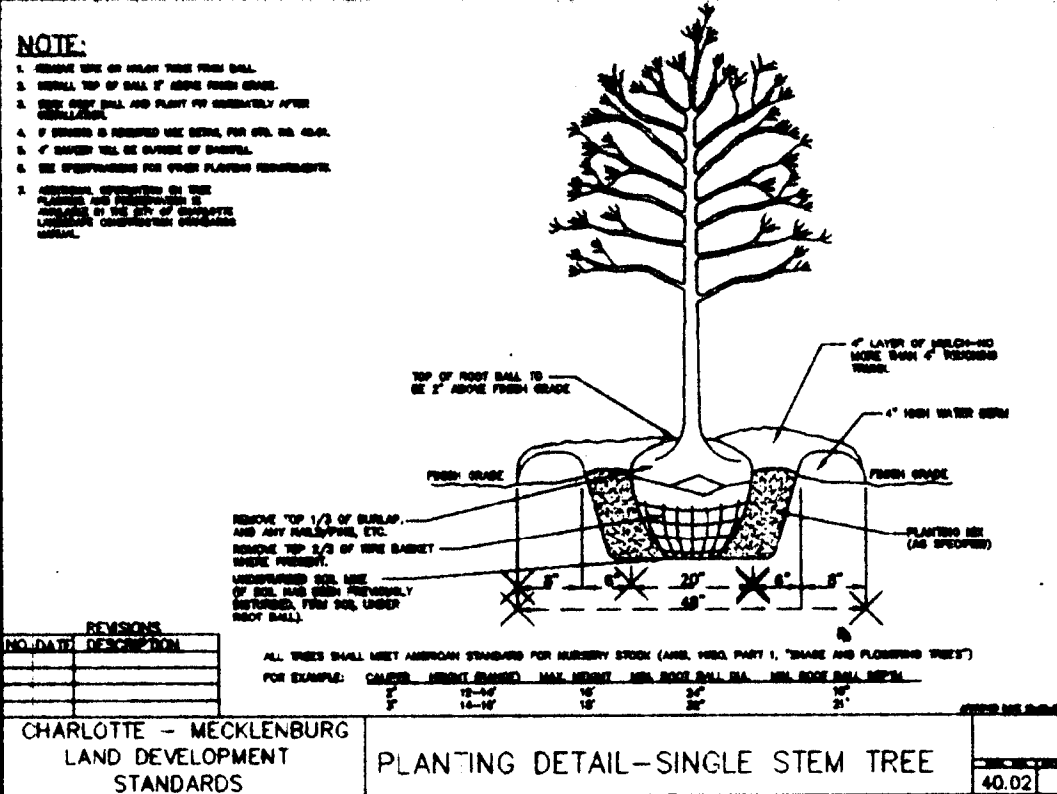
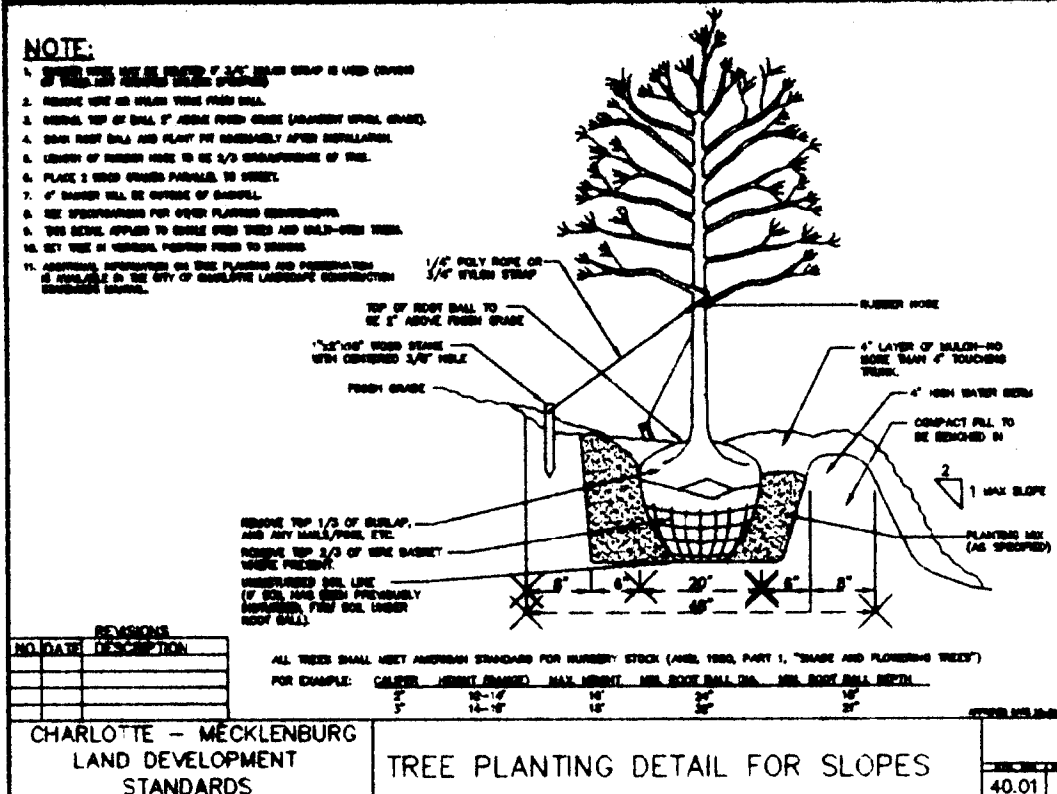
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CONVAL PLAIN - APR. 15 - AUG. 15	



GENERAL NOTES

1. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.

2. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.

3. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.

4. LARGE MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.

5. PLEASE CALL 336-4255 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS. 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.

6. SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.

7. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER INSPECTION.

8. TREE PROTECTION BARRICADES MUST MEET OR EXCEED CITY STANDARDS.

9. FOR NEW PLANTING WITHIN PAVEMENT AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.

10. ROOT PRUNING SHALL BE KEPT TO AN ABSOLUTE MINIMUM. THE CUT SHALL BE MADE NO MORE THAN SIX INCHES (6") BEHIND THE BACK OF THE CURB AND TO A DEPTH OF TWO FEET (2') BELOW THE SOIL SURFACE. ROOT PRUNING EQUIPMENT SHALL BE KEPT SHARP TO ENSURE THAT ROOTS ARE CUT CLEANLY AND ARE NOT BROKEN OR TORN BY PULL OR UNDESIRABLE EQUIPMENT. ANY EXPOSED ROOTS SHALL BE COVERED WITH SOIL AS SOON AS POSSIBLE TO MINIMIZE EXPOSURE TO AIR.

11. TREES THAT DIE AS A RESULT OF CONTRACTOR'S NEGLIGENCE TO THESE SPECIFICATIONS SHALL BE REMOVED AND REPLACED WITH A NEW TREE OF TREES OF EQUAL CALIPER.

12. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.

13. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE "PLANT LIST" SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE AS REQUIRED ON THE PLANTING PLAN.

14. ALL TREES, SHRUBS AND PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.

15. ALL SAUKERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.

16. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

17. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACK FILLING.

18. ALL TREES SHALL REQUIRE A MULCH RING AT THEIR BASE IF LEFT WITHIN LAWN AREAS.

19. A VERIFICATION OF LOCATIONS OF UNDERGROUND UTILITIES IS RECOMMENDED PRIOR TO PLANTING.

20. MULCH SHALL BE 3" DEEP, FREE FROM WEEDS, MOLD, OR OTHER NON-ORGANIC MATERIAL.

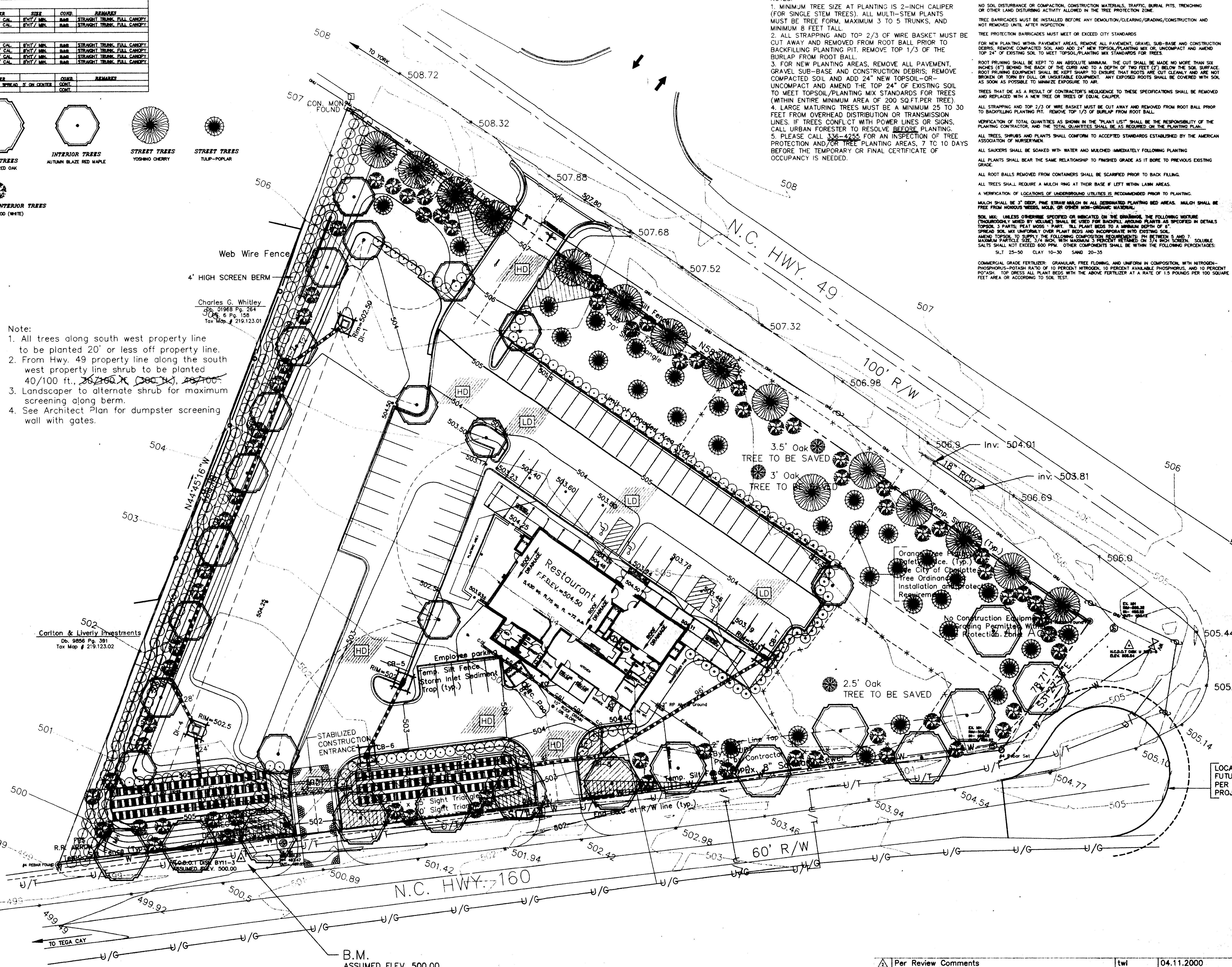
21. SOIL MIX, UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, THE FOLLOWING SPECIFICATIONS (THROUGHOUT AND BY VOLUME) SHALL BE USED FOR BACKFILL AROUND PLANTS AS SPECIFIED IN DETAILS: TOPSOIL, 3 PARTS; PEAT MOSS, 1 PART. ALL PLANT BEDS TO A MINIMUM DEPTH OF 6".

22. SLOPE SOIL MIX UNIFORM OVER PLANT BEDS AND INCORPORATE INTO EXISTING SOIL.

23. AMEND TOPSOIL TO SUPPLY THE FOLLOWING COMPOSITION REQUIREMENTS: PHOSPHORUS 5 AND 7. MAXIMUM PARTICLE SIZE 3/4" INCH WITH MAXIMUM 5 PERCENT RETAINED ON 1/4" SIEVE. SOLUBLE SALTS SHALL NOT EXCEED ANY OF THE FOLLOWING PERCENTAGES: S-LT 25-50, CLAY 10-30, SAND 20-35.

24. COMMERCIAL GRADE FERTILIZER: GRANULAR, FREE FLOWING, AND UNIFORM IN COMPOSITION, WITH NITROGEN-PHOSPHORUS-POTASH RATIO OF 10 PERCENT NITROGEN, 10 PERCENT AVAILABLE PHOSPHORUS, AND 10 PERCENT POTASH. TOP DRESS ALL PLANT BEDS WITH THE ABOVE FERTILIZER AT A RATE OF 1.5 POUNDS PER 100 SQUARE FEET AREA OR ACCORDING TO SOIL TEST.

Note:
1. All trees along south west property line to be planted 20' or less off property line.
2. From Hwy. 49 property line along the south west property line shrub to be planted 40/100 ft., 36/100 ft., 36/100 ft., 40/100 ft.
3. Landscaper to alternate shrub for maximum screening along berm.
4. See Architect Plan for dumpster screening wall with gates.



THIS DRAWING IS THE PROPERTY OF JMA, JAMES MCGOVERN & ASSOCIATES CONSULTING ENGINEERS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

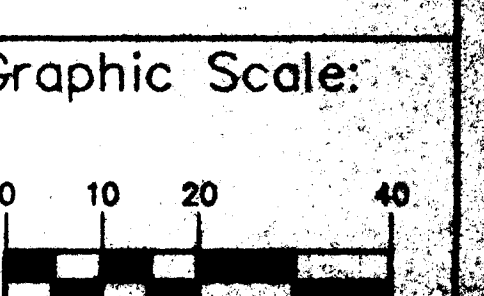
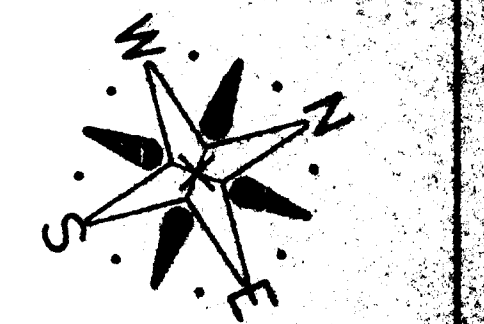
JMA

501 N. Park St.
P.O. Box 891
Pineville, North Carolina 28134
(704) 888-8200

James McGovern & Associates
Consulting Engineers

Project: Restaurant Hwy 49 & 160 Charlotte, North Carolina

Sheet Title: Landscape Plan



Scale:	1"=20'
Engineer:	J.J. McGovern
Senior Designer:	Ted W. Lawrence
Date:	01-27-00
Revisions:	
No. 1	Date 03.31.2000
No. 2	Date 04.11.2000
No. 3	Date
No. 4	Date
No. 5	Date
No. 6	Date

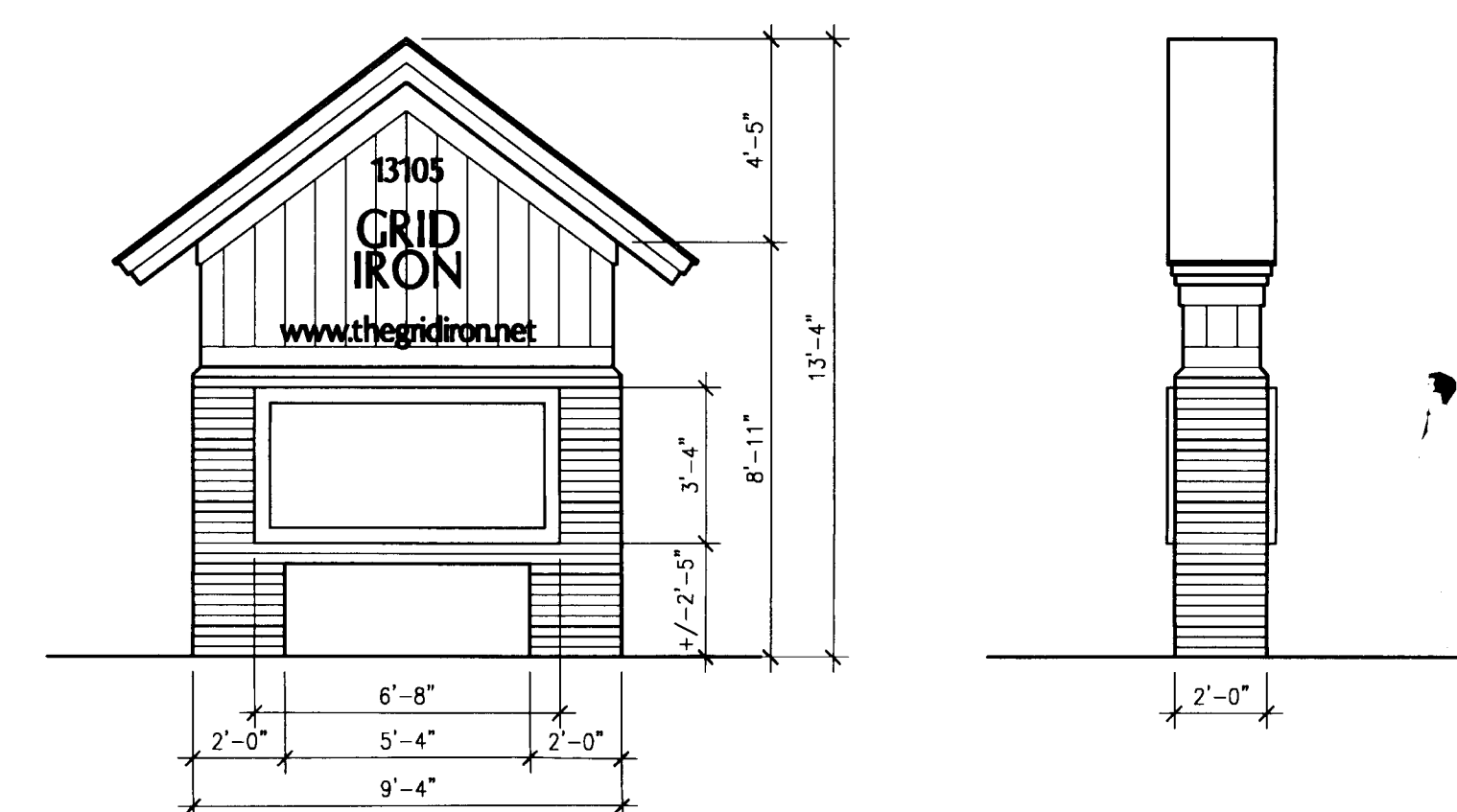
LOCAL FUTURE PROJECT

Seal of the North Carolina Professional Engineer, J.J. McGovern, No. 8376.

Proj. No. 348017

Project Number 348/017

Sheet No. No. of Sheets L-1 1



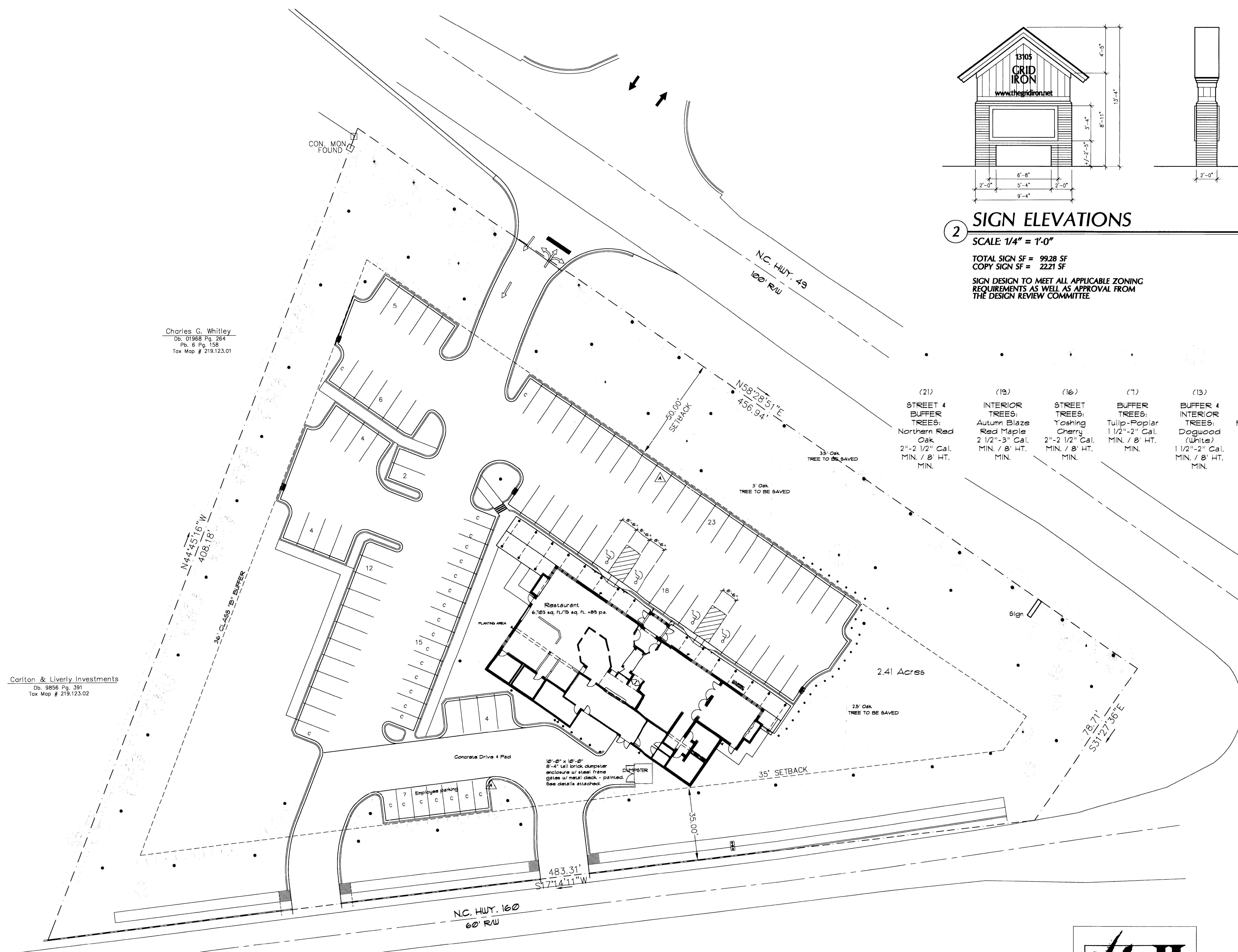
2 SIGN ELEVATIONS

SCALE 1/4" = 1'-0"

TOTAL SIGN SF = 9928 SF
COPY SIGN SF = 2221 SF

SIGN DESIGN TO MEET ALL APPLICABLE ZONING
REQUIREMENTS AS WELL AS APPROVAL FROM
THE DESIGN REVIEW COMMITTEE

- | | | | | | | |
|--|--|--|---|---|--|--|
| (21) | (19) | (16) | (7) | (13) | (14) | (4/-280) |
| STREET 4
BUFFER
TREES:
Northern Red
Oak
2 1/2" - 3" Cal.
MIN. / 8' HT.
MIN. | INTERIOR
TREES:
Autumn Blaze
Red Maple
2 1/2" - 3" Cal.
MIN. / 8' HT.
MIN. | STREET
TREES:
Yoshing
Cherry
2 1/2" - 3" Cal.
MIN. / 8' HT.
MIN. | BUFFER
TREES:
Tulip-Poplar
1 1/2" - 2" Cal.
MIN. / 8' HT.
MIN. | BUFFER 4
INTERIOR
TREES:
Dogwood
(White)
1 1/2" - 2" Cal.
MIN. / 8' HT.
MIN. | INTERIOR
TREES:
Pine (Virginia)
2 1/2" - 3" Cal.
MIN. / 8' HT.
MIN. | SHRUB:
Japanese
Privet 3' H.,
2' spread, 5'
O.C. |



**THE GRIDIRON
13105 YORK ROAD
CHARLOTTE, NC**

1 SITE PLAN

SCALE 1" = 20'-0"

NOTE:
SIGNAGE AND EXTERIOR LIGHTING TO MEET THE REQUIREMENTS OF THE
LOWER STEELE CREEK AREA MIXED USE CENTER PLAN DESIGN
GUIDELINES, HICKLENBURG COUNTY ZONING PETITION 92-14(G) DATED
DECEMBER 1, 1992, AS WELL AS ADDITIONAL REQUIREMENTS PER CODE.

'THE GRIDIRON'
13105 York Road
Charlotte, NC

DRAWING STATUS:

● DRAWINGS
FOR APPROVAL

STREET CREEK ARCH SIGNATURE:

DATE:

ORIGINAL ISSUE DATE:

09/27/00

REVISIONS:

PLOT SCALE:

1"=1'

DRAWING TITLE:

CIATIF-ARB.DWG

PROJECT:

00-004

DATE:

09/27/00

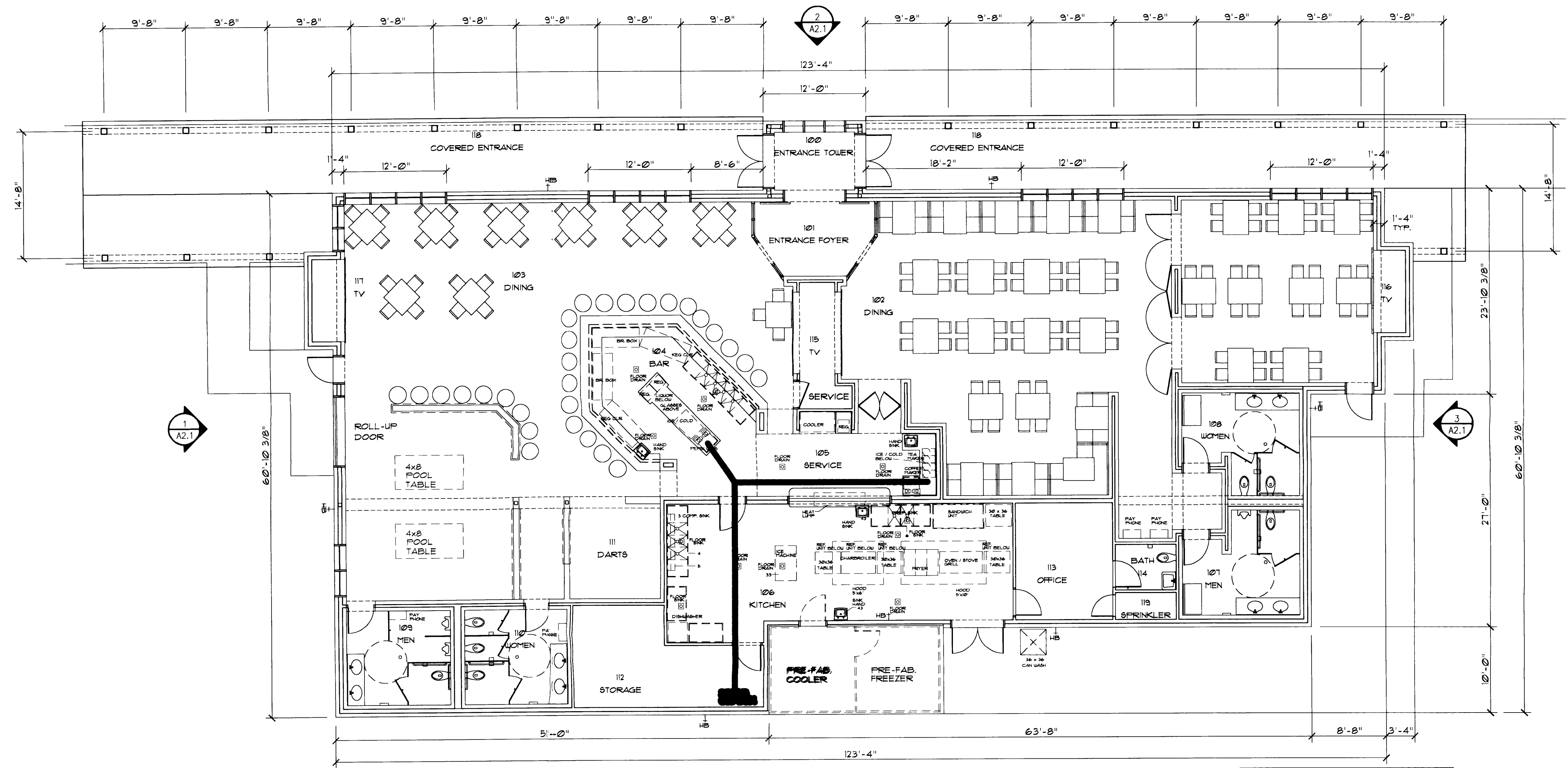
SHEET TITLE:

FLOOR PLAN

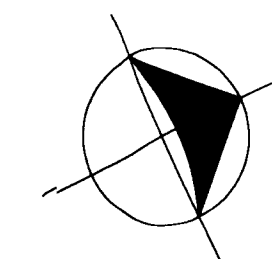
SHEET:

A1.1

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THE GRIDIRON
13105 YORK ROAD
CHARLOTTE, NC



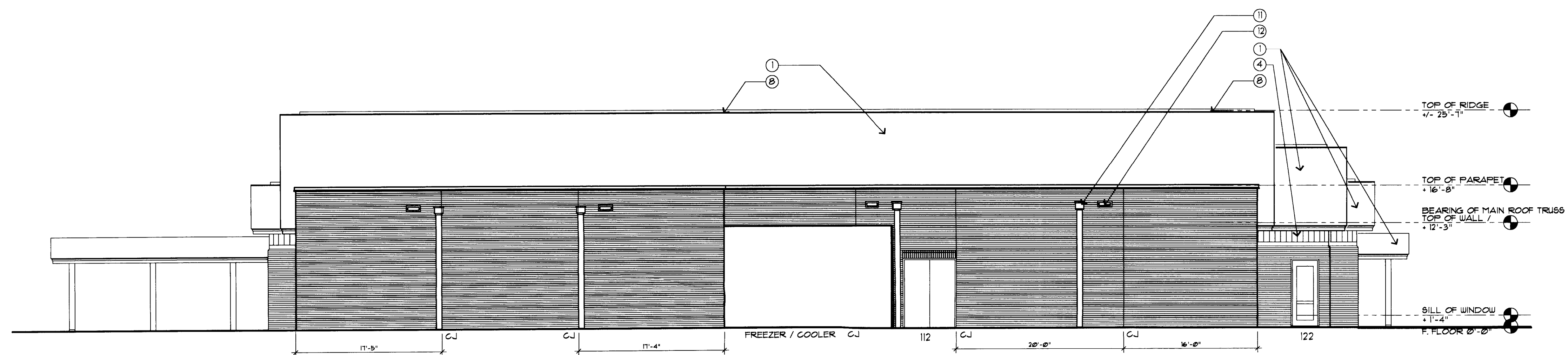
4
A2.1

FLOOR PLAN

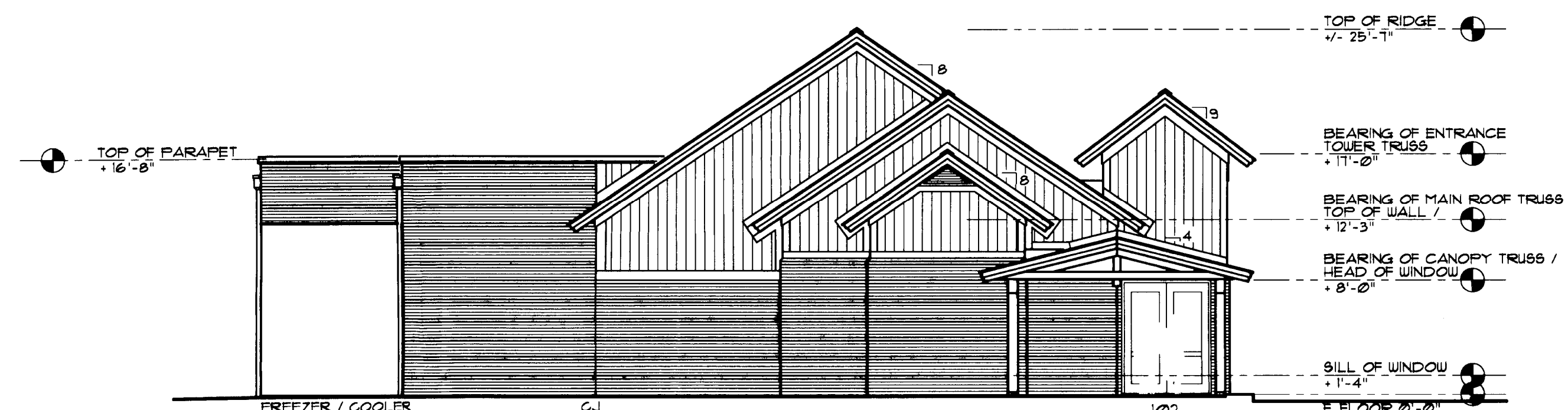
SCALE 1/8" = 1'-0"

9/27/00

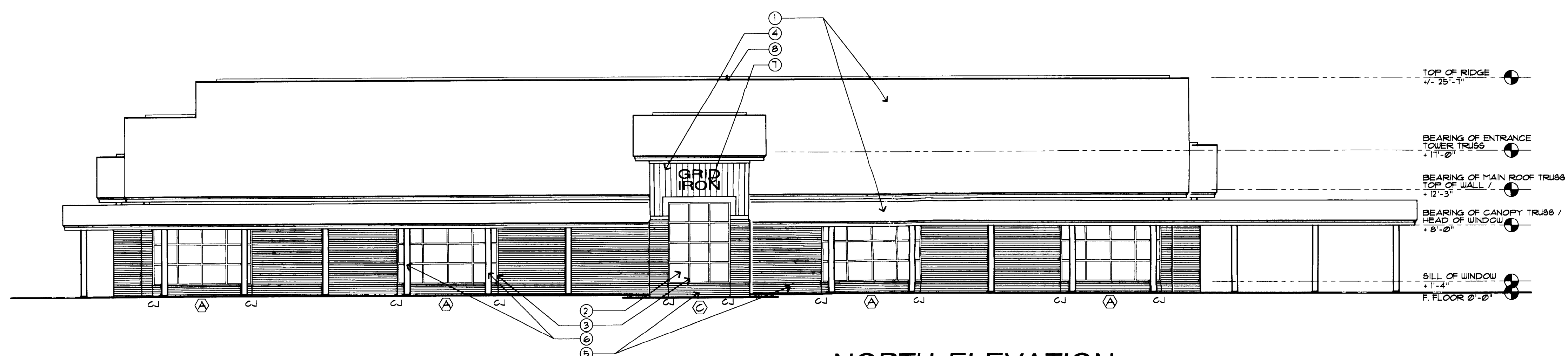




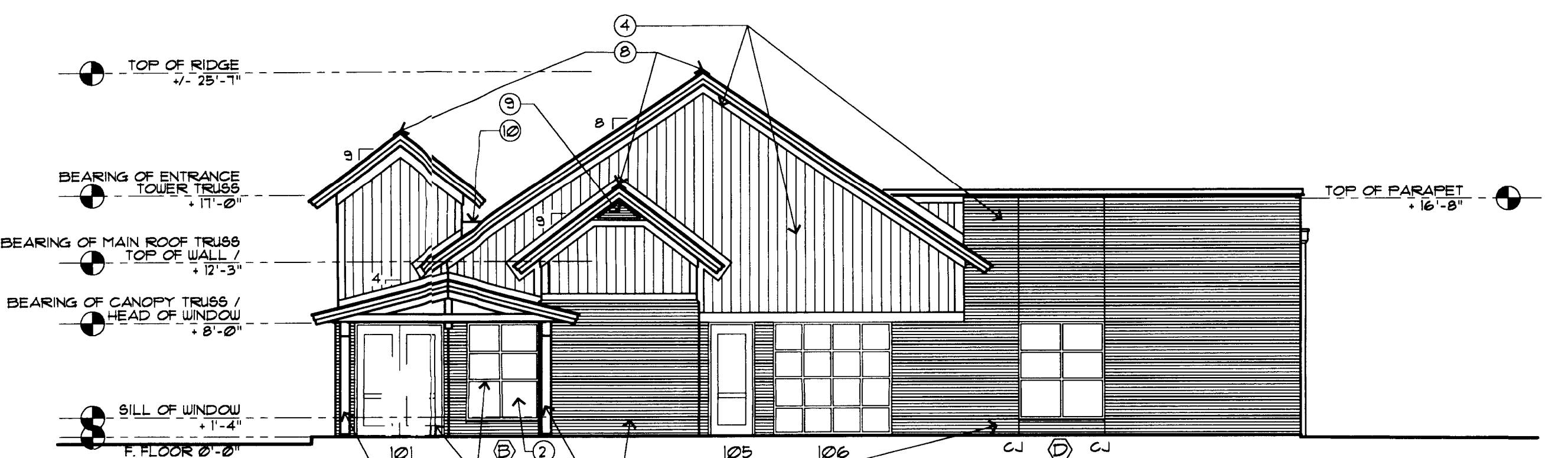
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES:

- ① 40 YEAR ASPHALT SHINGLE ROOF OVER 150 LB. FELT
- ② 1" INSULATED GLASS W/ REFLECTIVE COATING ON THE 1/2 SIDE
- ③ ANODIZED ALUMINUM STOREFRONT FRAMES
- ④ BRICK EXTERIOR W/ VERTICAL CEDAR SIDING / HARD-1-PLANK TRIM
- ⑤ LOAD BEARING 5 1/2" WOOD STUD WALLS W/ 3/4" EXT. PLYWOOD SHEATHING
- ⑥ 8x8 WOOD COLUMNS AT COVERED ENTRANCE
- ⑦ LOGO
- ⑧ CONTINUOUS RIDGE VENT
- ⑨ REDWOOD LOUVERED VENT W/ INSECT SCREEN
- ⑩ ROOF CRICKET
- ⑪ ROOF LEADER AND DOWNSPOUT
- ⑫ OVERFLOW RELIEF SCUPPER

DRAWING STATUS :

● DRAWINGS
FOR APPROVAL

STEELE CRIBB AIA SIGNATURE:

DATE:

ORIGINAL ISSUE DATE:
09/27/00

REVISIONS:

PLOT SCALE:

1"=1'
DRAWING TITLE:
GIA21ELEV-ARB.DWG

PROJECT:
00-004

DATE:
09/27/00

SHEET TITLE:
ELEVATIONS

SHEET:

A2.1

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