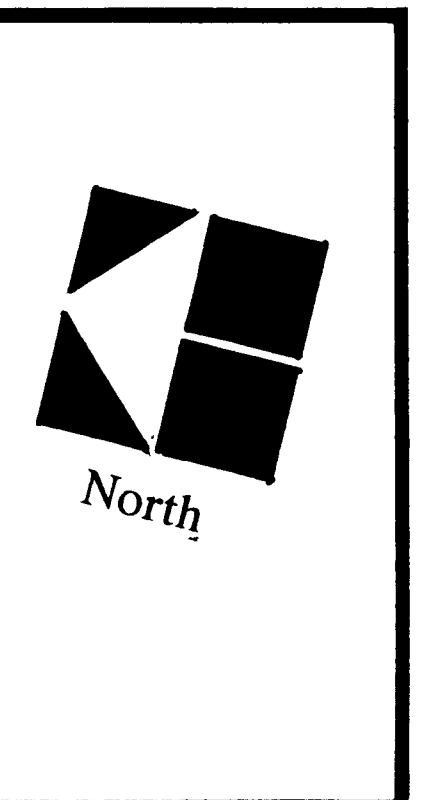


This drawing and the design shown is the property of Little and Associates Architects. The reproduction, copying or other use of this drawing without the written consent is prohibited and any infringement will be subject to legal action.  
© 1998 Little and Associates Architects, Inc.



Project: **H&P REZONING SITE PLAN**  
Sheet Title: **SITE REZONING PLAN**

V.P. In Charge	
Vrettos	
Project Architect	
Drawn By	
DATE	
Date Drawn	3/17/92
Cadd Dwg. Name	
Revisions	
No.	Date
1	5-15-92
2	7-15-92
3	1-26-93
4	3-15-93
Issue Date	

Project Number: **2584**  
Sheet: **RZ-01**

8 Gray L. Steele & Wife  
8542 Dunsinane Drive  
Charlotte, NC 28227  
109-072-16

9 Morie S. Austin &  
Fred L. Simpson, Jr.  
100-B Winchester Avenue  
Monroe, NC 28110  
109-072-15

7 Joe F. Allison & Wife  
8527 Dunsinane Drive  
Charlotte, NC 28227  
109-072-18

1 Samuel Magliocco, Jr. & Wife  
6845 Old Savannah Road  
Charlotte, NC 28212  
109-303-62

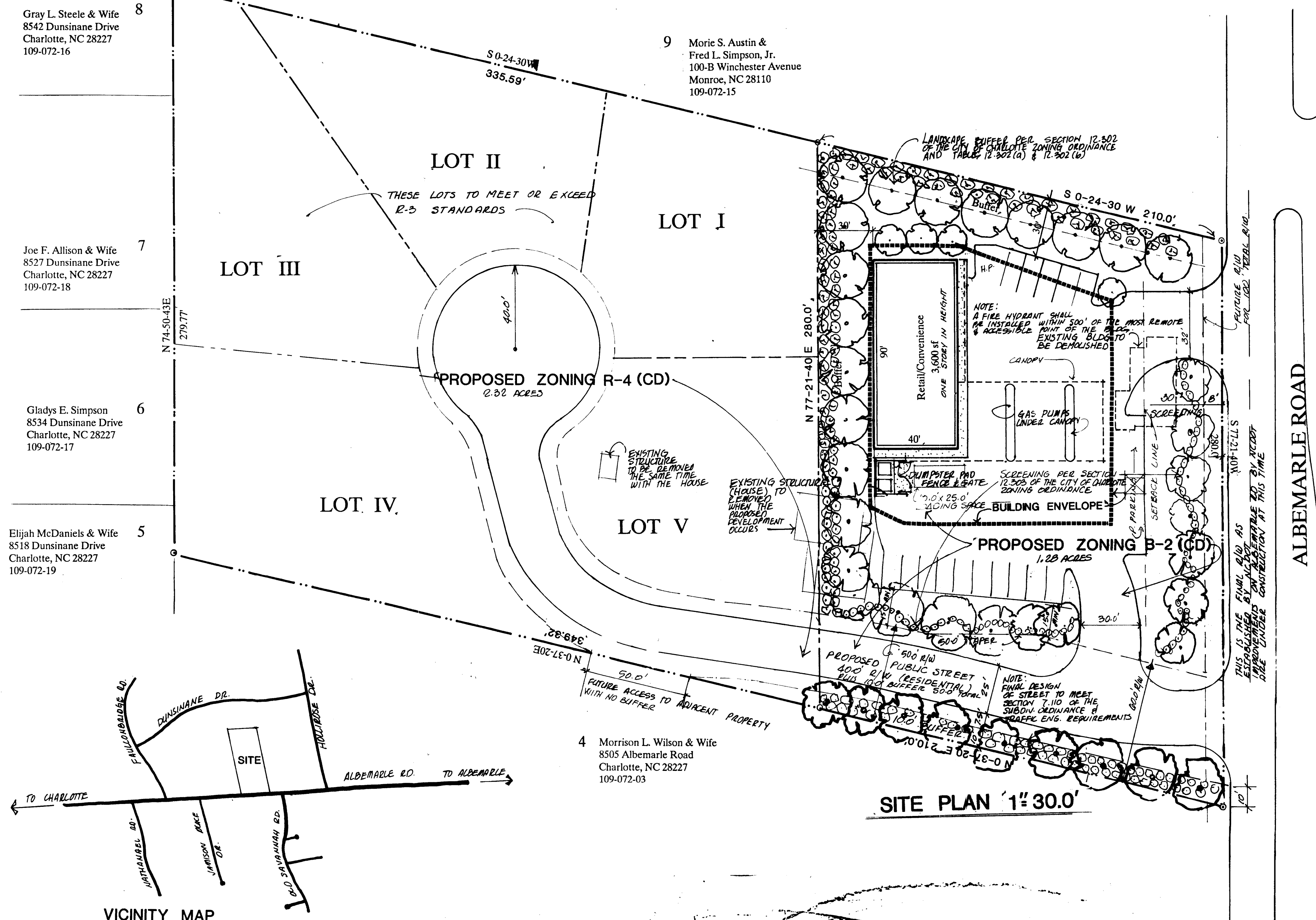
6 Gladys E. Simpson  
8534 Dunsinane Drive  
Charlotte, NC 28227  
109-072-17

2 Samuel Magliocco, Jr. & Wife  
6845 Old Savannah Road  
Charlotte, NC 28212  
109-303-62

5 Elijah McDaniels & Wife  
8518 Dunsinane Drive  
Charlotte, NC 28227  
109-072-19

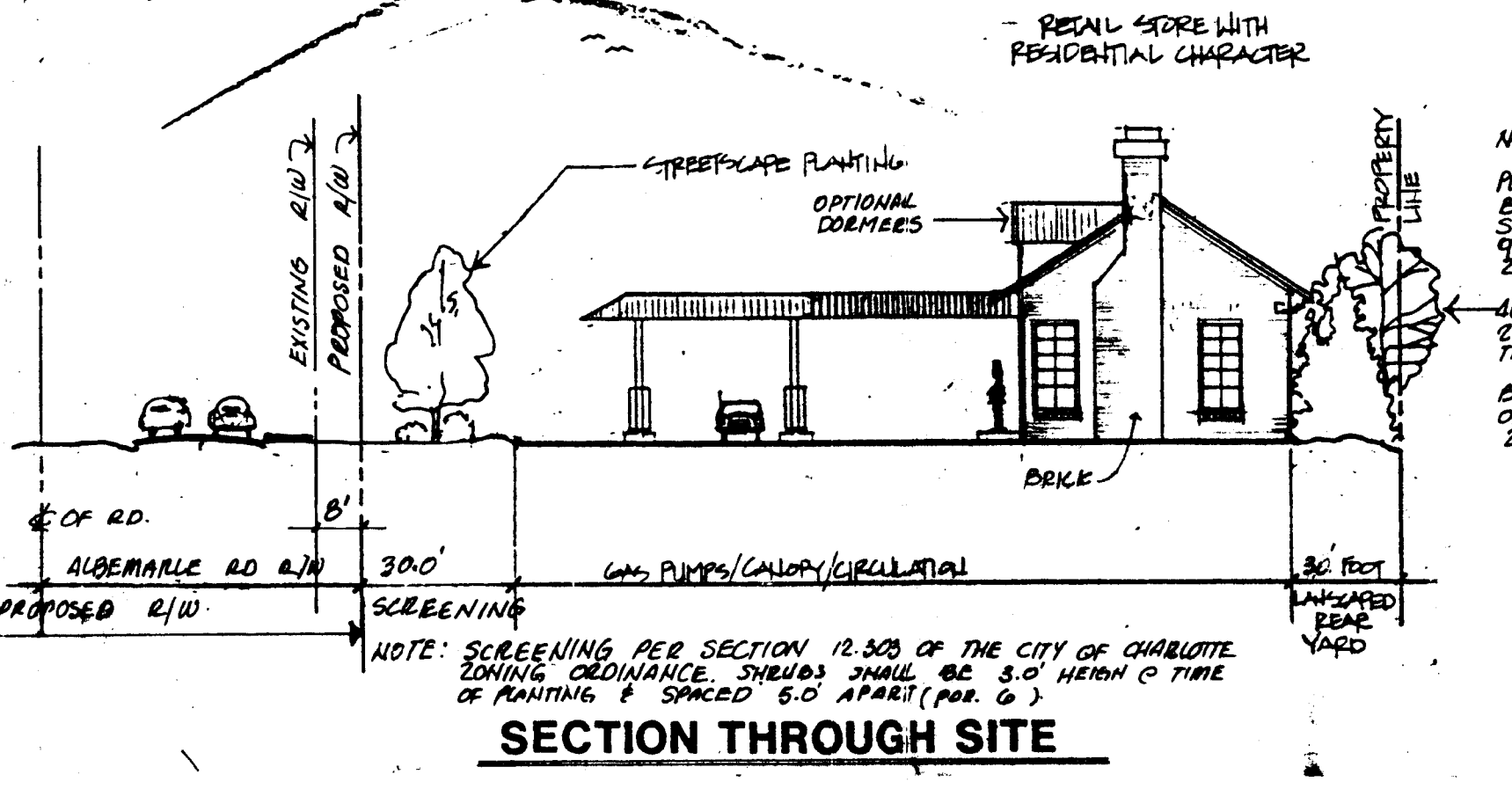
3 Julio Medina, Jr. & Wife  
8001 Jamison Place Court  
Charlotte, NC 28227  
109-303-69

4 Morrison L. Wilson & Wife  
8505 Albemarle Road  
Charlotte, NC 28227  
109-072-03



- GENERAL NOTES**
- While this plan depicts a firm arrangement of development, minor adjustments to building shape and location may occur within the building envelope.
  - The retail building shall be designed to reflect residential style including gable roof, residential trim, and brick exterior.
  - All buffer areas shall be landscaped to meet or exceed zoning ordinance standards. Buffers shall be planted with a combination of trees and shrubbery to create both upper and lower view obstruction, per section 12.302 of the city of Charlotte zoning ordinance.
  - The dumpster area shall be screened with fencing material, shrubbery, and gates.
  - Signage may be placed as permitted by Zoning Ordinance, except any detached sign will be 4 feet high maximum, and not interfere with landscape.
  - Maximum height of building is one story.
  - Tree protection and/or planting will be required in accordance with Chapter 21 of the City Code.
  - The residential component of this petition will be submitted for subdivision approval and a final plat recorded prior to the issuance of an occupancy permit for the commercial building.
  - The residential development of this petition will adhere to R-3 development standards.
  - Storm water controls will be installed to meet ordinance requirements, and such control devices shall not be installed in the buffer areas.
  - Large existing trees on the site which do not conflict with the development plan depicted herein shall be preserved. Such preservation efforts shall follow techniques specified by the tree ordinance.

12. All landscape indicated reflects new plan for proposed new planting is conceptual only and will be subject to change at final site conditions and/or forestry staff approval. Any conflicts resulting between proposed planting lands and either existing or proposed utilities, exterior lighting or other features may result in modification of this planting plan.



NOTE: PLANTING WITHIN THE 300' BUFFER TO COMPLY WITH SECTION 12.302 PARAGRAPH 9 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.  
40% LARGE MATURING TREES 2 1/2" CAL. SMALL MATURING TREES 1 1/2" CAL.  
BUFFER PER TABLE 12.302B OF THE CITY OF CHARLOTTE ZONING ORDINANCE.

**SITE DATA**

Site Area	3.6 Acres
Existing Zoning	R-3
Proposed Zoning	R-4(CD) 2.32 acres & B-2(CD) 1.28 acres
Proposed Use	Single-Family Residential & Convenience/Retail INCLUDING ACESORY USES SUCH AS FOOD SERVICE
Retail Building Size	3,600 sf ONE STORY
Parking Provided	(3,600 / 39 ft + 200 = 18 SPACES) 18 Spaces
Maximum No. of Residential Lots	5

**PETITIONERS**  
HARRY KOSTOPOULOS  
PETE KANOPOULOS  
1727 PADDOCK CIRCLE  
CHARLOTTE, N.C. 28209  
(704) 394-1250

APPROVED BY CITY COUNCIL  
DATE May 17, 1993  
93-15