

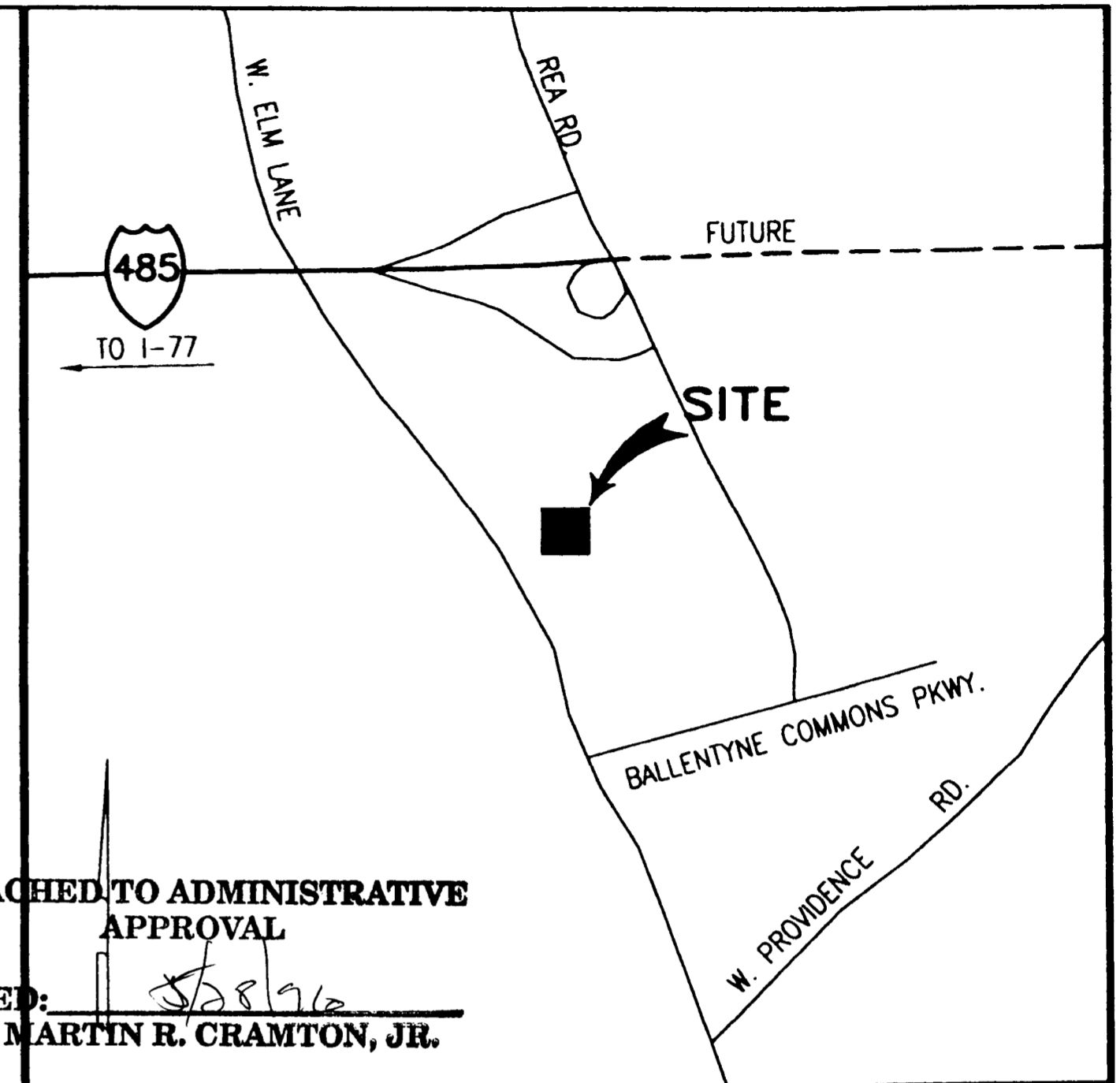
BELLSOUTH

Carolinas PCS, L.P.

TEMPORARY BASE TRANSCIVER STATION SITE 09-074-132-B

MECKLENBURG COUNTY
NORTH CAROLINA

JOB NO. 22597.01-132



ATTACHED TO ADMINISTRATIVE
APPROVAL

DATED: 5/28/96
BY: MARTIN R. CRAMTON, JR.

VICINITY MAP

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PREPARED BY:

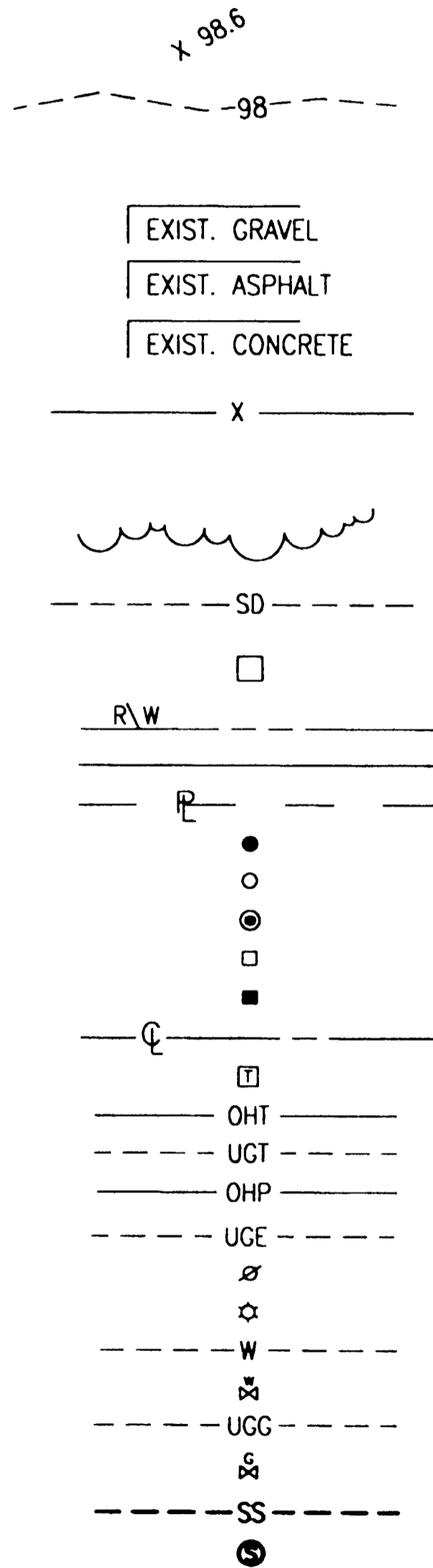
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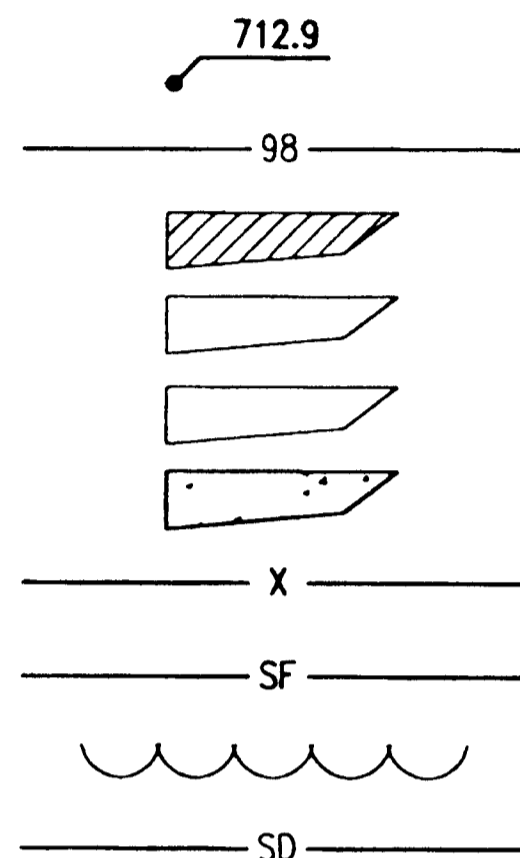
GENERAL LEGEND

EXISTING

NEW



SPOT ELEVATION
 CONTOUR LINE
 TO BE DEMOLISHED
 GRAVEL PAVEMENT
 ASPHALT PAVEMENT
 CONCRETE
 FENCE
 SILT FENCE
 WOODS LINE
 STORM DRAIN
 CATCH BASIN
 RIGHT OF WAY
 PROPERTY LINE SURVEYED
 PROPERTY LINE NOT SURVEYED
 IRON PIN SET (IPS) 5/8" REBAR
 IRON PIN FOUND (IPF)
 SPIKE/NAIL SET
 CONCRETE MON. FOUND
 CONCRETE MON. SET
 CENTERLINE
 TELEPHONE PEDESTAL
 OVERHEAD TELEPHONE
 UNDERGROUND TELEPHONE
 OVERHEAD POWER
 UNDERGROUND POWER
 UTILITY POLE
 LIGHT POLE
 WATER LINE
 WATER VALVE
 NATURAL GAS LINE
 GAS VALVE
 SANITARY SEWER
 MANHOLE



GENERAL NOTES

1. THE CONTRACTOR IS TO VERIFY ALL EXISTING TOPOGRAPHY AND HORIZONTAL GEOGRAPHY IS AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES OR INTERFERENCES WHICH AFFECT THE WORK OF THIS CONTRACT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES, CODES, AND REGULATIONS.
3. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION ON SITE. ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
4. THE CONTRACTOR IS TO MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON THE SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE CONTRACTOR'S EXPENSE.
5. ALL WASTE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE CONSTRUCTION MANAGER AND IN ACCORDANCE WITH JURISDICTIONAL AUTHORITIES.
6. COORDINATES AND BEARINGS SHOWN ARE BASED ON NORTH CAROLINA GRID (NAD 83). ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
7. SURVEY INFORMATION SHOWN COMPLIES WITH FAA ORDER 8260.19C ACCURACY TOLERANCES.
8. CONTRACTOR TO MAINTAIN 20' HORIZONTAL CLEARANCE FROM CENTERLINE OF EXISTING POWER LINES AS REQUESTED BY THE POWER COMPANY.
9. SEED AND MULCH ALL DISTURBED AREAS NOT COVERED BY OTHER MATERIALS IN ACCORDANCE WITH THE SPECIFICATIONS.
10. ANY PROPERTY DAMAGE CAUSED BY THE CONTRACTOR OR HIS OPERATIONS SHALL BE CORRECTED AND/OR RESTORED TO THE SATISFACTION OF THE PROPERTY OWNER(S) AND THE CONSTRUCTION MANAGER AT NO ADDITIONAL COST TO THE OWNER.

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BELLSOUTH
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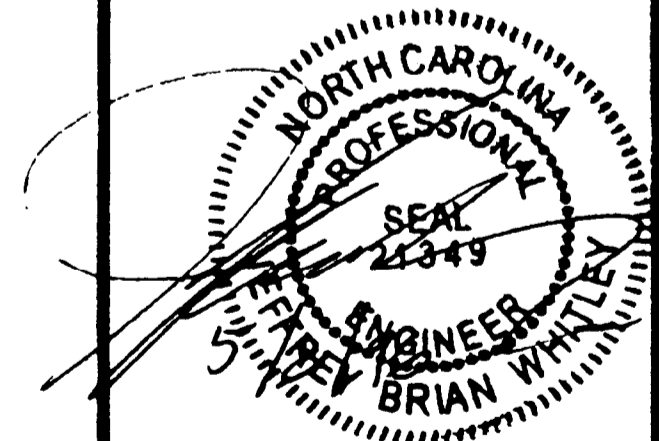
09-074-132-B

GENERAL NOTES AND LEGEND

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PROJECT MANAGER J. SHRADER	DEPARTMENT MANAGER R. OLSON
LEAD DESIGN PROF. J. WHITLEY	CHECKED D. GREGORY
DRAWN V. JEFFERIES	DATE 4/8/96
PROJECT NUMBER 22597-01	DRAWING NUMBER C-1

**BUILDING CODE SUMMARY
APPENDIX B**

Name of Project: BELLSOUTH SITE NO. 09-074-132-B
 Proposed Use: CELLULAR TRANSMISSION FACILITY
 Address: 11021 ELM LANE CHARLOTTE, NC
 Contact Person: GENE HINKLE Phone # (864) 242-1717

DESIGNER OF RECORD:

Designer	Name	License #	Telephone #
Architectural	N/A		
Electrical	DAVID LAMBERT	20524	(864) 242-1717
Plumbing	N/A		
Mechanical	N/A		
Structural	RANDY HILLMANN	21289	(864) 242-1717
Sprinkler-Standpipe	N/A		
Fire Alarm	N/A		
Other (Civil)	JEFFREY BRIAN WHITLEY	21349	(864) 242-1717

BUILDING DATA:

Fire District: Yes / No
 High Rise? Yes / No
 Tower Height: TEMP 125 Feet MONOPOLE Type of Tower
 Type of Occupancy: (Circle one) Assembly(Small) Assembly(Large) Business Educational Mercantile
 Hazardous Factory-Industrial Storage Residential Institutional(Unrestrained)
 Institutional(restrained)(Use condition _____)
 Mixed Occupancy: Yes / No Separation: N/A Hr.
 Construction Type: (Circle One) I II III M(P) M(UP) V(P) V(UP) W(P) W(UP)
 Mixed Construction N/A Yes / No Type N/A
 Sprinkled: Yes / No Reference: (Circle One): NFPA 13, 13R, 13O
 Gross Building Area: N/A

Basement	1st Floor	Mezzanine	2nd Floor
3rd Floor	4th Floor	5th Floor	6th Floor
7th Floor			

Total floor area: _____

Area Increase: Yes / No

Code Reference # _____

DESIGN LOADS:

Roof live load: N/A psf. Wind: 90 mph.
 Floor: N/A psf. Snow: N/A psf.
 Seismic: V = 2.5A_{MSW} Lateral design: DIRECT HIBED
A_s = .125 I = 1.0
K = 2.0 CS = 14

SOIL BEARING CAPACITIES:

Field Test (provided copy of test report) N/A psf.
 Presumptive Bearing capacity N/A psf.

Total Gross Area: N/A Sq. Ft.

Area Increase: Yes / No Yes: Code Rel. _____
 If yes, calculations: _____

PARKING SPACES: 0 Required: 0 Provided: 0
 Handicap Spaces 0 provided (13' wide and R7-8 sign)

Special approval by Department of Insurance or by Local Jurisdiction, describe below:
N/A

FIRE RESISTANCE RATINGS ***

	Required Hourly **	Detail # & Sheet # of Building Plans	% Wall Opening *	Design # for Rated Assemblies
Party/Firewall:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Exterior bearing Walls:				
North	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
East	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
West	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
South	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

Exterior Non-bearing Walls:

North	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
East	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
West	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
South	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

Interior Walls:

	Penetrations	For Rated Test #	Assemblies
Bearing:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Non-bearing:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Tenant Separation:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Ceiling/Floors Assembly:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Beams:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Columns:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Ceiling-Roof Assembly:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Vertical Shafts:****	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Chases- P.E.M.:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Mixed Occupancy/Separation:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
Tenant Separation:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>

FOOTNOTES:

- * Required if wall to property line or assumed line is less than 30 feet.
- ** All fire rated walls shall be identified on plans by hatching, shading, etc.; show legend.
- *** Identify code section when using any special exceptions, etc.
- **** Stairs, elevators and/or atriums.

LIFE SAFETY SYSTEM:

Emergency Lighting and Exit Signs Yes / No
 Fire Alarm and Smoke Detection Systems Yes / No
 Panic Hardware Yes / No

EXIT REQUIREMENTS:

Dead end limit - maximum condition N/A Feet
 Travel distance to exit - maximum condition N/A Feet

Number exits: Total Square Footage of Floor N/A Divided by Net / Sq. Ft. per
 Occupancy N/A = N/A Total number of People on Floor.
 Number of Doors provided N/A, Number of Doors Required N/A

ZONING CODE SUMMARY

Name of Project: BELLSOUTH SITE NO. 09-074-132-B
 Contact: GENE HINKLE Phone # (864) 242-1717
 Plans Prepared by: PEDMONT OLSEN HENSLEY Phone # (864) 242-1717
 Zoning: CC Jurisdiction: MECKLENBURG COUNTY
 Proposed Use: CELLULAR TRANSMISSION FACILITY
 Tower Height: 125 Feet. Type: MONOPOLE (TEMPORARY)
 Building Coverage: N/A Sq. Ft. Gross Floor Area: N/A Sq. Ft.
 Lot Size: 2400 Sq. Ft. Number of Units/Suites: N/A

YARD REQUIREMENTS:

Setback (front): 0 ft. from R/W Setback (front): 0 ft. from C/L of R/W
 Side Yard (L): 0 ft. Side Yard (R): 0 ft.
 Rear Yard: 0 ft.

REQUIRED BUFFERS:

Front: No / Yes _____ ft. Rear: No / Yes _____ ft.
 Side (L): No / Yes _____ ft. Side (R): No / Yes _____ ft.

REQUIRED SCREENING:

Front: No / Yes _____ ft. Rear: No / Yes _____ ft.
 Side (L): No / Yes _____ ft. Side (R): No / Yes _____ ft.
 Parking Only: No / Yes _____ ft.

PAVEMENT COVERAGE: 1345 sq. ft.

INTERIOR LANDSCAPING: Required: 0 sq. ft. Provided: 0 sq. ft.

PARKING DATA: (specify requirement, zoning ordinance and section number)

Required: 0 Provided: 0 Handicap: N/A Compact: N/A
 Required: 0 Loading Spaces: 0

A	5/8/98	ISSUED FOR PERMITTING, OWNER'S REVIEW, & BIDS	WJ
NO.	DATE	REVISION DESCRIPTION	BY

**BELLSOUTH
Carolinas PCS, L.P.**

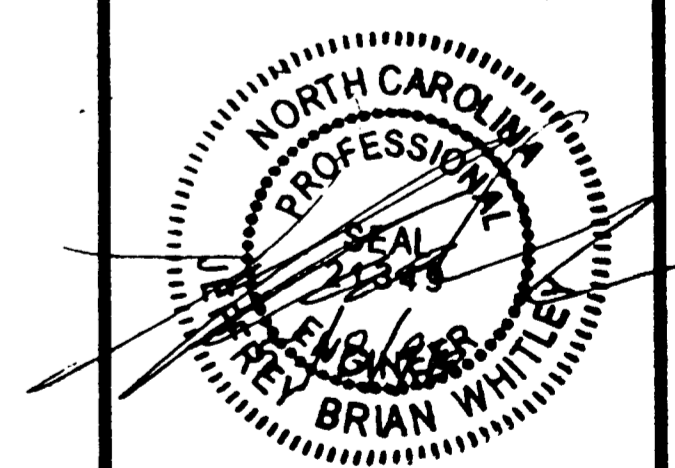
09-074-132-B

**BUILDING CODE AND
ZONING CODE SUMMARY**

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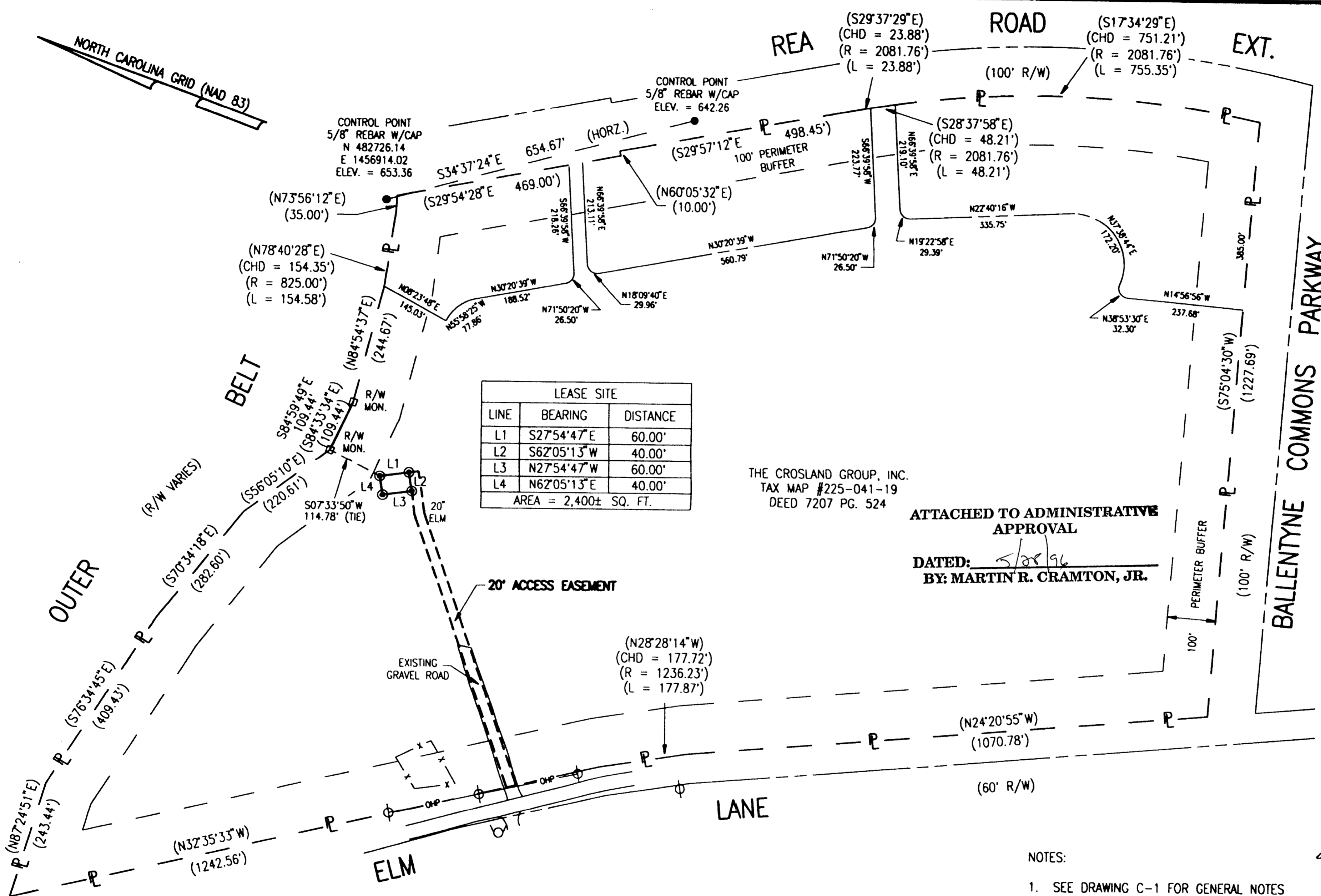
PROJECT MANAGER J. SHRADER	DEPARTMENT MANAGER R. OLSON
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LEAD DESIGN PROF. J. WHITLEY	CHECKED D. GREGORY
---------------------------------	-----------------------

DRAWN V. JEFFERIES	DATE 4/8/98
-----------------------	----------------

PROJECT NUMBER 22597-01	DRAWING NUMBER C-2
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NORTH CAROLINA GRID (NAD 83)



CONTROL POINT
5/8\"/>

CONTROL POINT
5/8\"/>

LEASE SITE		
LINE	BEARING	DISTANCE
L1	S27°54'47\"/>	
L2	S62°05'13\"/>	
L3	N27°54'47\"/>	
L4	N62°05'13\"/>	

AREA = 2,400± SQ. FT.

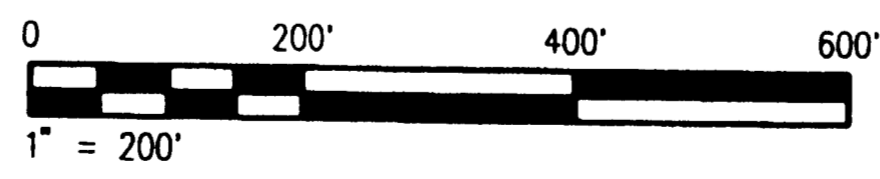
THE CROSLAND GROUP, INC.
TAX MAP #225-041-19
DEED 7207 PG. 524

ATTACHED TO ADMINISTRATIVE
APPROVAL

DATED: 5/28/96
BY: MARTIN R. CRAMTON, JR.

(N28°28'14\"/>

(N24°20'55\"/>



- NOTES:
- SEE DRAWING C-1 FOR GENERAL NOTES AND LEGEND.

A	5/18/96	ISSUED FOR PERMITTING, OWNER'S REVIEW, & BIDS	VJ	DG
NO.	DATE	REVISION DESCRIPTION	BY	CHKD

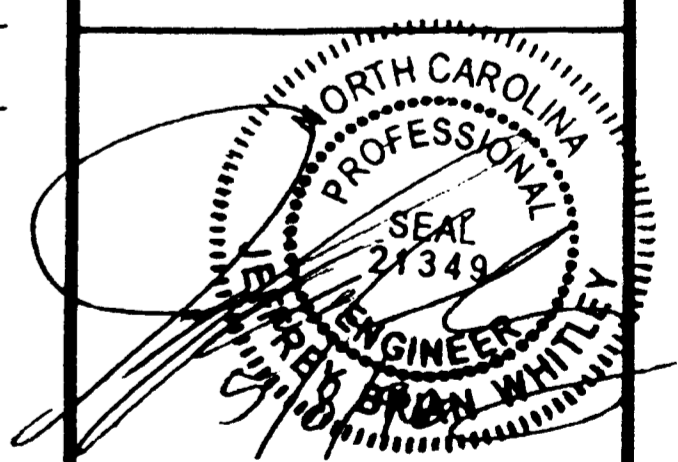
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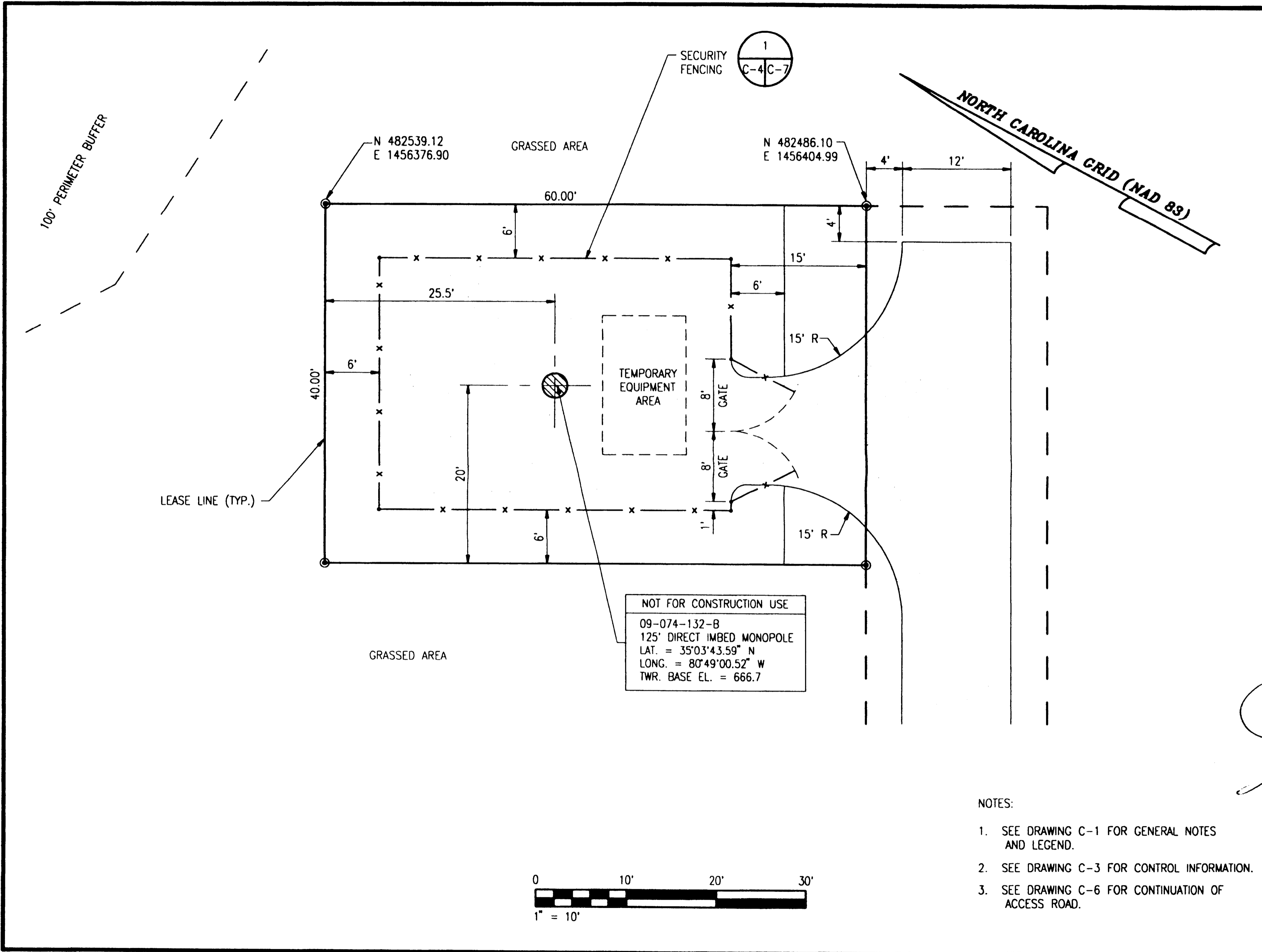
SITE SURVEY

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PROJECT MANAGER J. SHRADER	DEPARTMENT MANAGER R. OLSON
LEAD DESIGN PROF. J. WHITLEY	CHECKED D. GREGORY
DRAWN V. JEFFERIES	DATE 4/8/96
PROJECT NUMBER 22597-01	DRAWING NUMBER C-3



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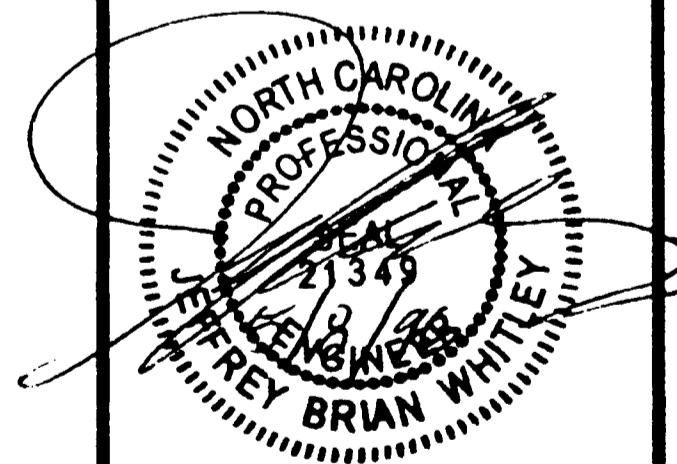
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SITE LAYOUT PLAN

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NOTES:

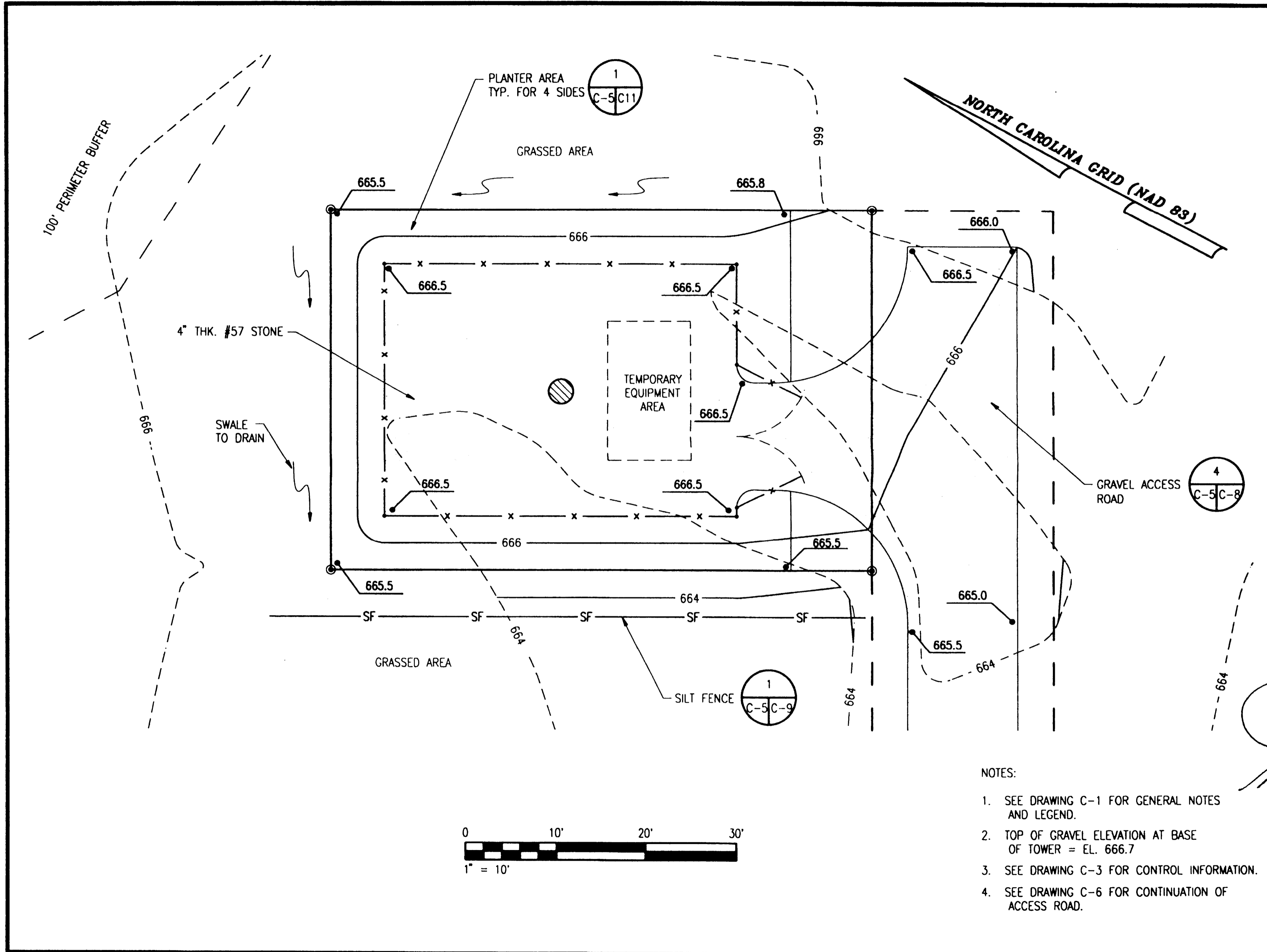
- SEE DRAWING C-1 FOR GENERAL NOTES AND LEGEND.
- SEE DRAWING C-3 FOR CONTROL INFORMATION.
- SEE DRAWING C-6 FOR CONTINUATION OF ACCESS ROAD.

PROJECT MANAGER J. SHRADER	DEPARTMENT MANAGER R. OLSON
-------------------------------	--------------------------------

LEAD DESIGN PROF. J. WHITLEY	CHECKED D. GREGORY
---------------------------------	-----------------------

DRAWN V. JEFFERIES	DATE 4/8/96
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PROJECT NUMBER 22597-01	DRAWING NUMBER C-4
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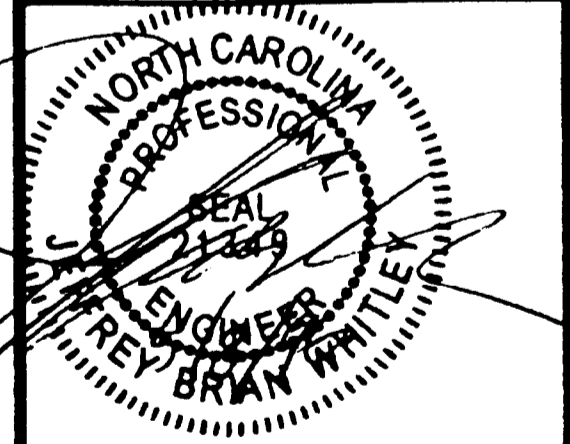
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SITE GRADING PLAN
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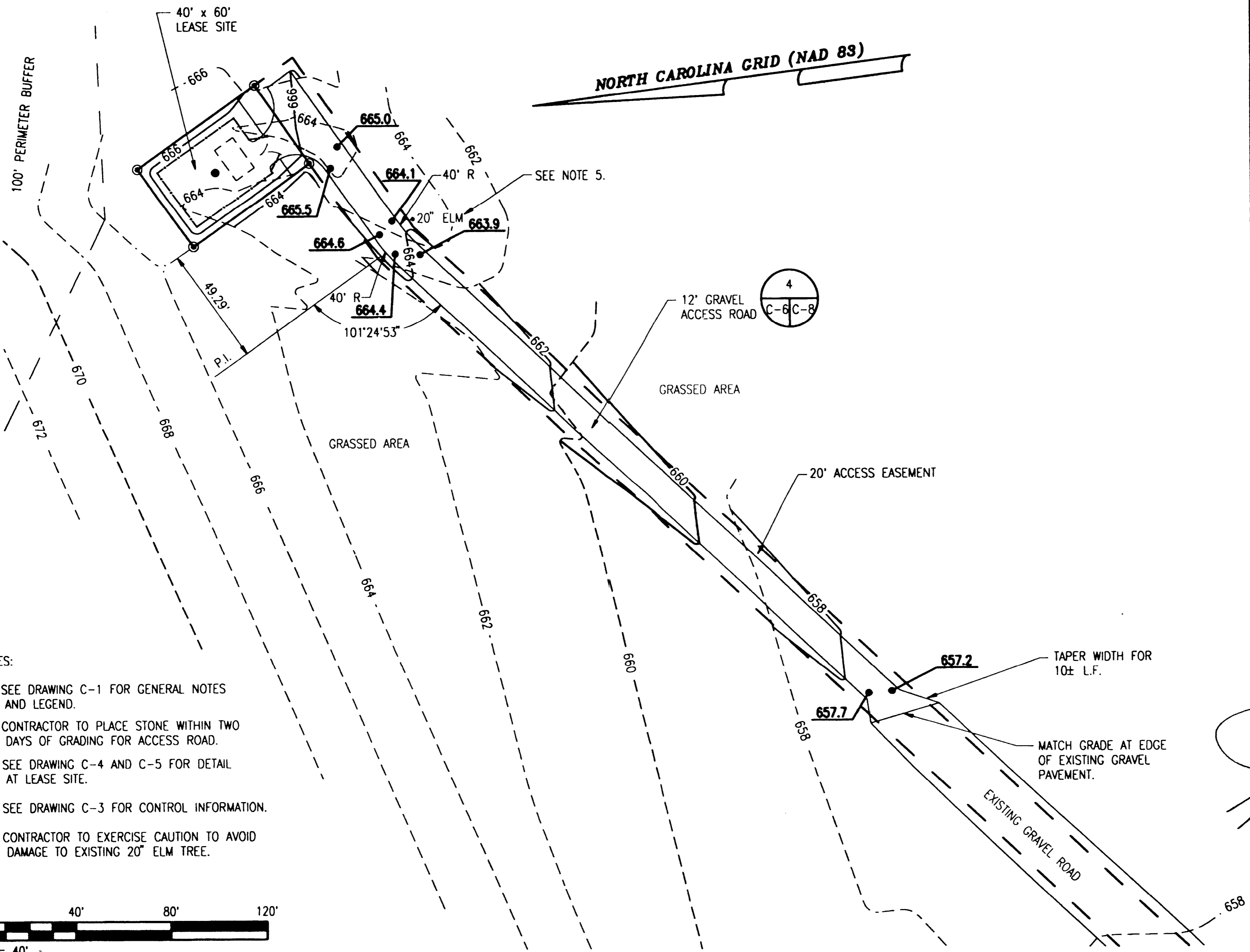
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LEAD DESIGN PROF. J. WHITLEY	CHECKED D. GREGORY
DRAWN V. JEFFERIES	DATE 4/8/98
PROJECT NUMBER 22597-01	DRAWING NUMBER C-5

- NOTES:
- SEE DRAWING C-1 FOR GENERAL NOTES AND LEGEND.
 - TOP OF GRAVEL ELEVATION AT BASE OF TOWER = EL. 666.7
 - SEE DRAWING C-3 FOR CONTROL INFORMATION.
 - SEE DRAWING C-6 FOR CONTINUATION OF ACCESS ROAD.

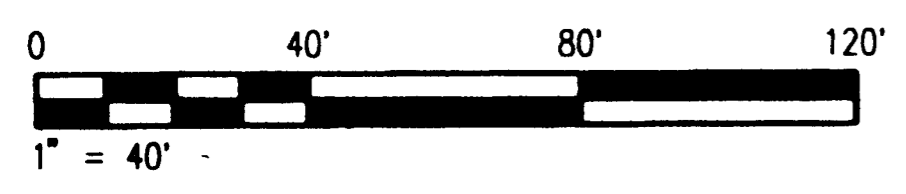


C5NF

NORTH CAROLINA GRID (NAD 83)



- NOTES:
1. SEE DRAWING C-1 FOR GENERAL NOTES AND LEGEND.
 2. CONTRACTOR TO PLACE STONE WITHIN TWO DAYS OF GRADING FOR ACCESS ROAD.
 3. SEE DRAWING C-4 AND C-5 FOR DETAIL AT LEASE SITE.
 4. SEE DRAWING C-3 FOR CONTROL INFORMATION.
 5. CONTRACTOR TO EXERCISE CAUTION TO AVOID DAMAGE TO EXISTING 20" ELM TREE.



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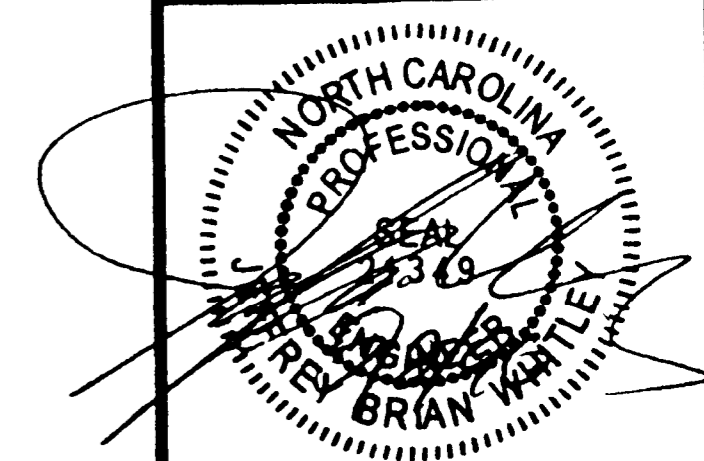
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ACCESS ROAD GRADING
AND LAYOUT PLAN

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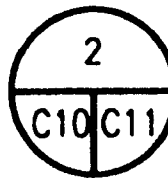
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LEAD DESIGN PROF. J. WHITLEY	CHECKED D. GREGORY
DRAWN V. JEFFERIES	DATE 4/8/96
PROJECT NUMBER 22597-01	DRAWING NUMBER C-6

100' PERIMETER BUFFER

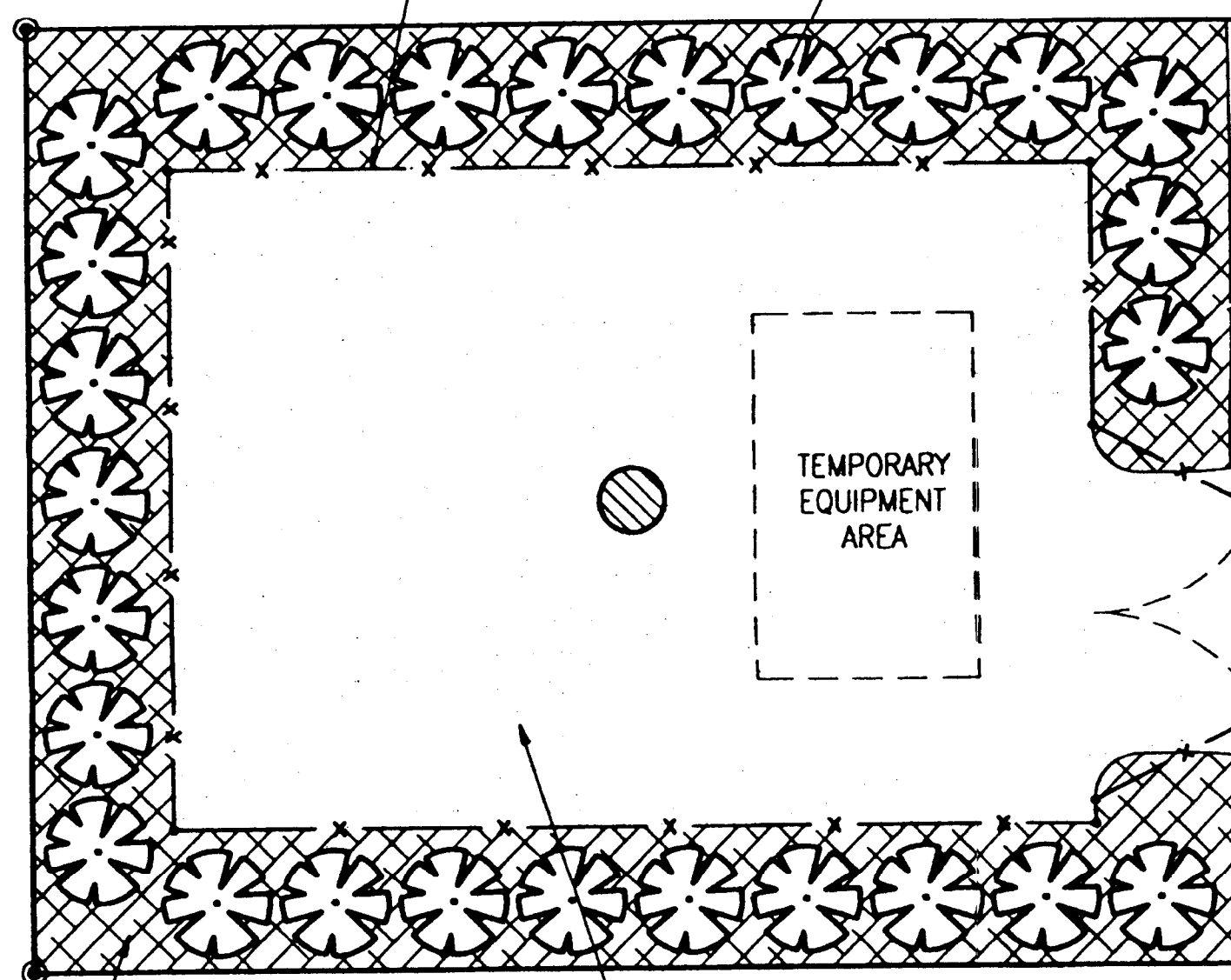
SECURITY FENCING

GRASSED AREA

LIGUSTRUM JAPONICUM
JAPANESE PRIVET
SPACE @ 5'-0" O.C. MAX.
SIZE = 30" MIN. HEIGHT
QUANTITY = 27 EA.



NORTH CAROLINA GRID (NAD 83)



TEMPORARY EQUIPMENT AREA

PINE BARK MULCH
4" MIN. DEPTH

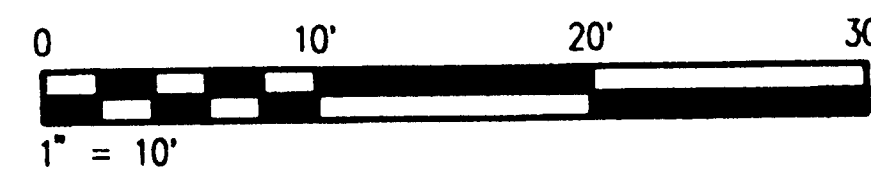
#57 STONE

GRASSED AREA

GRAVEL ACCESS ROAD

NOTES:

1. SEE DRAWING C-1 FOR GENERAL NOTES AND LEGEND.



1" = 10'

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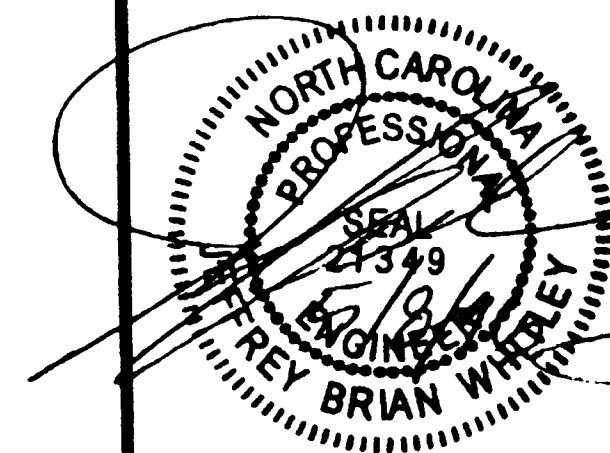
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SITE LANDSCAPE PLAN

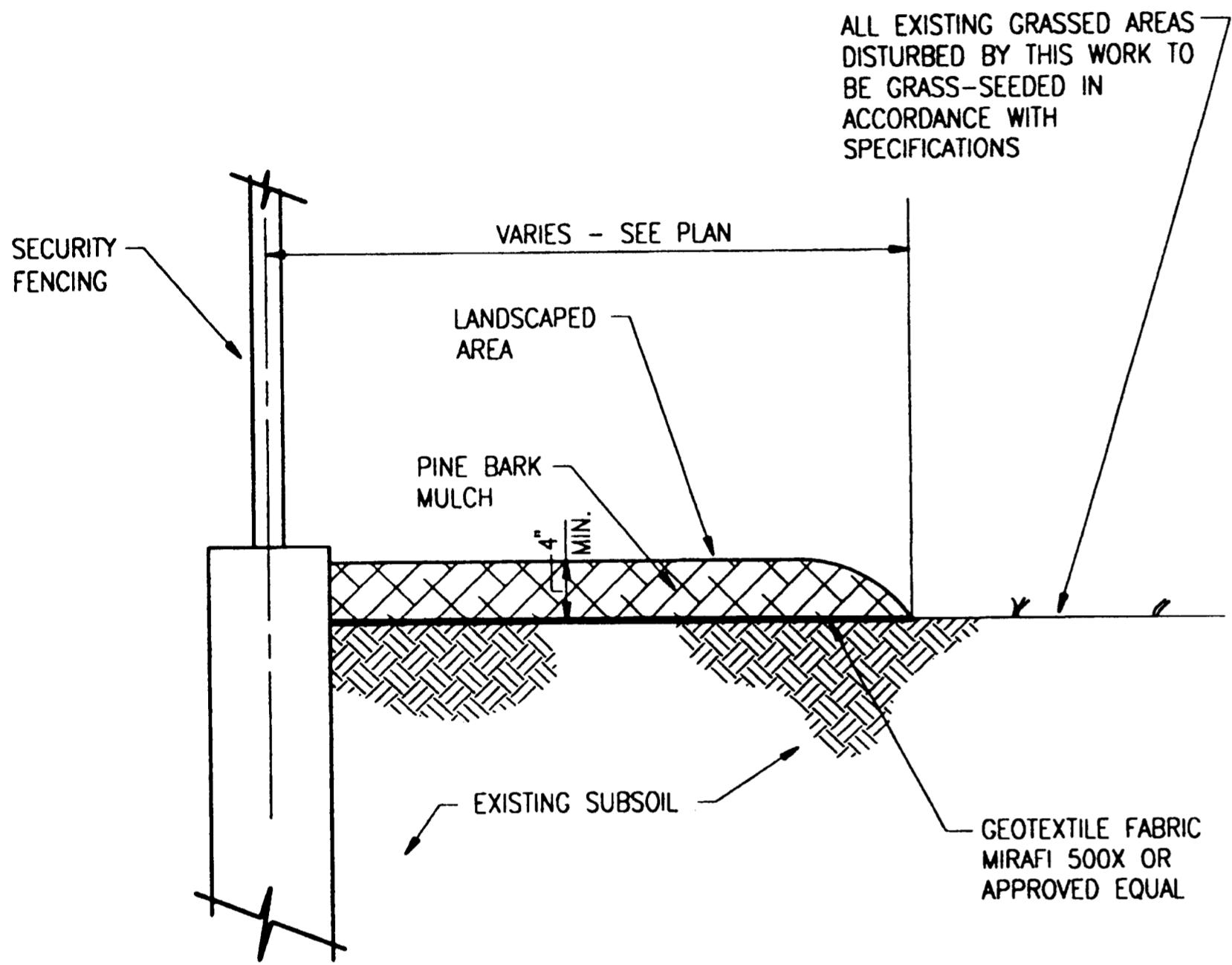
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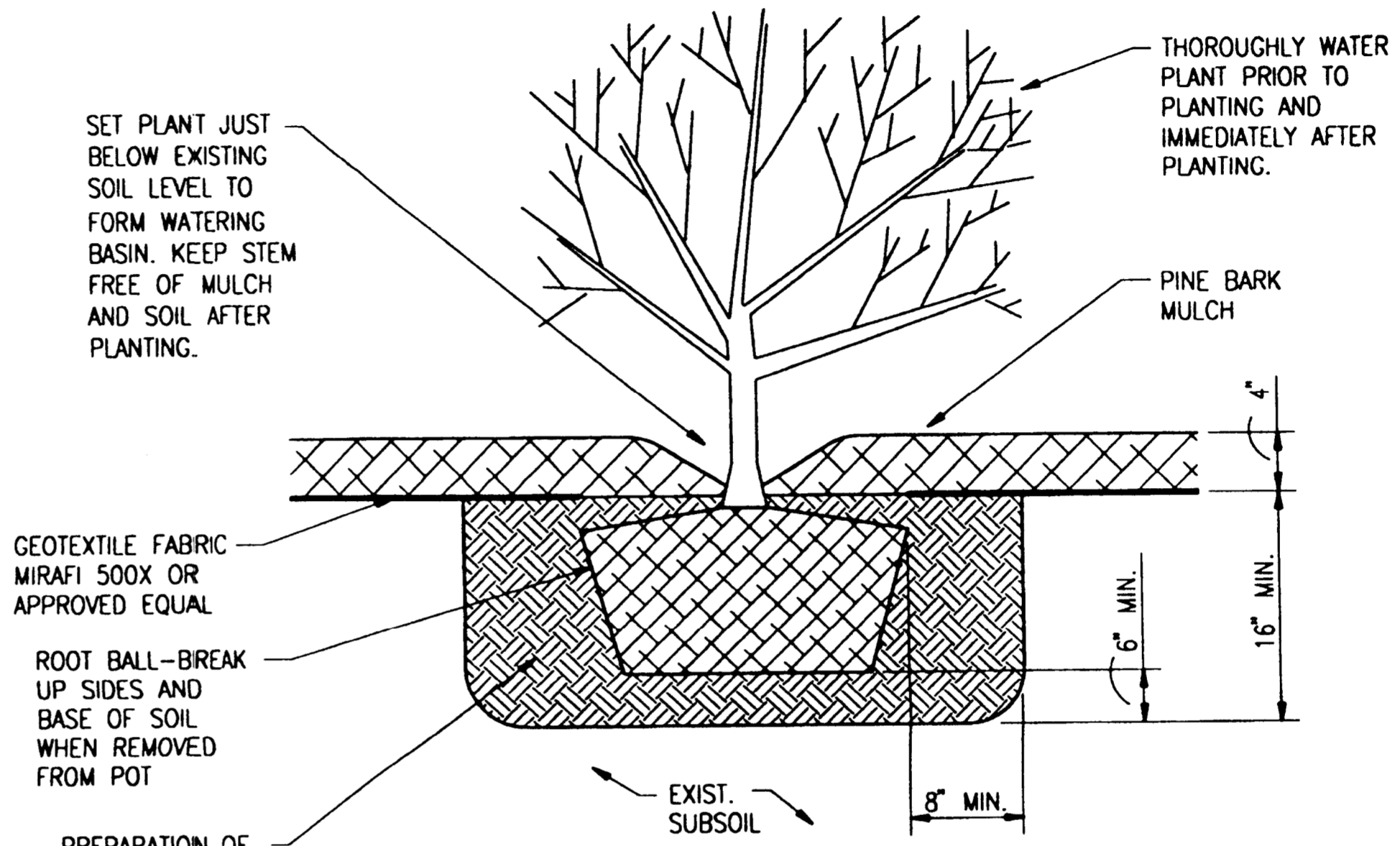


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LEAD DESIGN PROF. J. WHITLEY	CHECKED D. GREGORY
DRAWN V. JEFFERIES	DATE 4/8/96
PROJECT NUMBER 22597-01	DRAWING NUMBER C-10



1
C-5 C11
PLANTER AREA AT FENCE DETAIL
SCALE: NONE

ALL EXISTING GRASSED AREAS
DISTURBED BY THIS WORK TO
BE GRASS-SEEDED IN
ACCORDANCE WITH
SPECIFICATIONS



PREPARATION OF
SOIL—FINELY CULTIVATE
EXISTING SURFACE
SOIL TO 1'-0"
DEPTH. SPREAD
4" OF GARDEN
SOIL AS SPECIFIED
THEN CULTIVATE TO
16" TO THOROUGHLY
BLEND

- NOTES:
1. FOURTEEN DAYS PRIOR TO PLANTING, ALL AREAS DESIGNATED FOR PLANTING ARE TO BE CLEARED OF WEEDS, ETC. AS PER SPEC.
 2. GARDEN SOIL TO BE ORGANIC GARDEN SOIL.
 3. PLANTS NOT TO BE STAKED UNLESS SPECIFIED.

2
C10 C11
TYPICAL SHRUB PLANTING DETAIL
SCALE: NONE

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BELLSOUTH
Carolinas PCS, L.P.

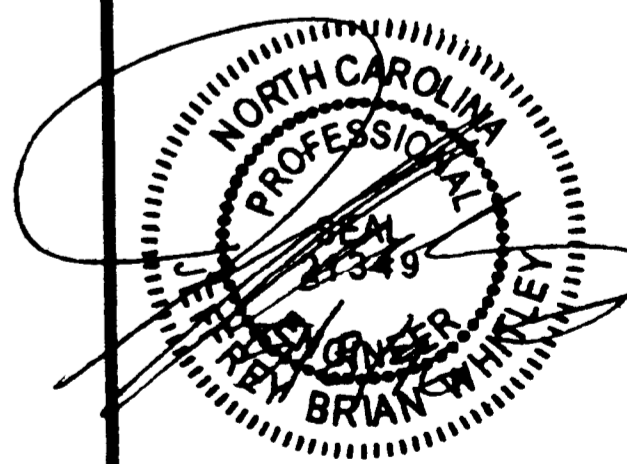
09-074-132-B

LANDSCAPE
DETAILS

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PROJECT NUMBER 22597-01	DRAWING NUMBER C-11

**CHARLOTTE - MECKLENBURG
PLANNING COMMISSION**

INTER - OFFICE COMMUNICATION

DATE: May 28, 1996

TO: Robert Brandon
Zoning Administrator

FROM: Martin R. Cramton, Jr.
Planning Director

Martin R. Cramton, Jr.
KRM

SUBJECT: Administrative Approval for Petition No. 93-26(c) By Piper Glen Associates Ltd. Partnership Tax Parcel # 225-041-01

Attached is a specific plan showing the location of a temporary cellular tower on the above mentioned site. This tower will be located outside of the 100 buffer and will be accessed from Elm Lane West by an existing gravel road. Once the shopping center is developed the tower will be incorporated into the design of the center and will be accessed internally. Since this change is minor and does not reduce the yards at the exterior of the property I am administrative approving this plan. Please use this plan when evaluating requests for building permits and certificates of occupancy.