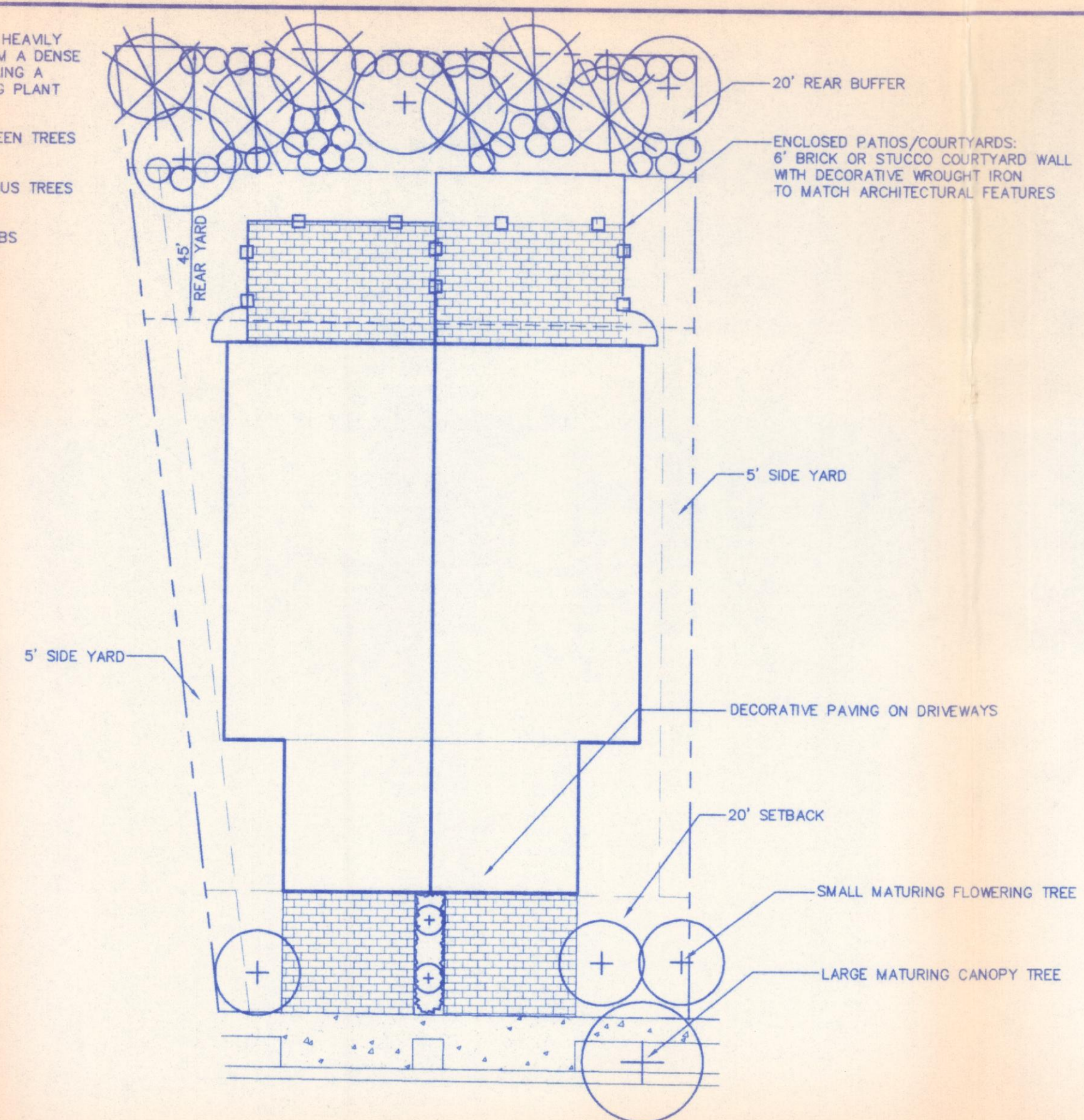


VICINITY MAP
(N.T.S.)

THE 20' REAR BUFFER WILL BE HEAVILY LANDSCAPED IN ORDER TO FORM A DENSE VEGETATIVE SCREEN BY INSTALLING A COMBINATION OF THE FOLLOWING PLANT MATERIAL:

- LARGE MATURING EVERGREEN TREES 8'-10' MINIMUM HEIGHT
- LARGE MATURING DECIDUOUS TREES 3" MINIMUM CALIPER
- EVERGREEN SCREEN SHRUBS 3' MINIMUM HEIGHT



TYPICAL LANDSCAPING
SCALE: 1"=20' (ILLUSTRATIVE TREATMENT AROUND EACH DUPLEX UNIT)

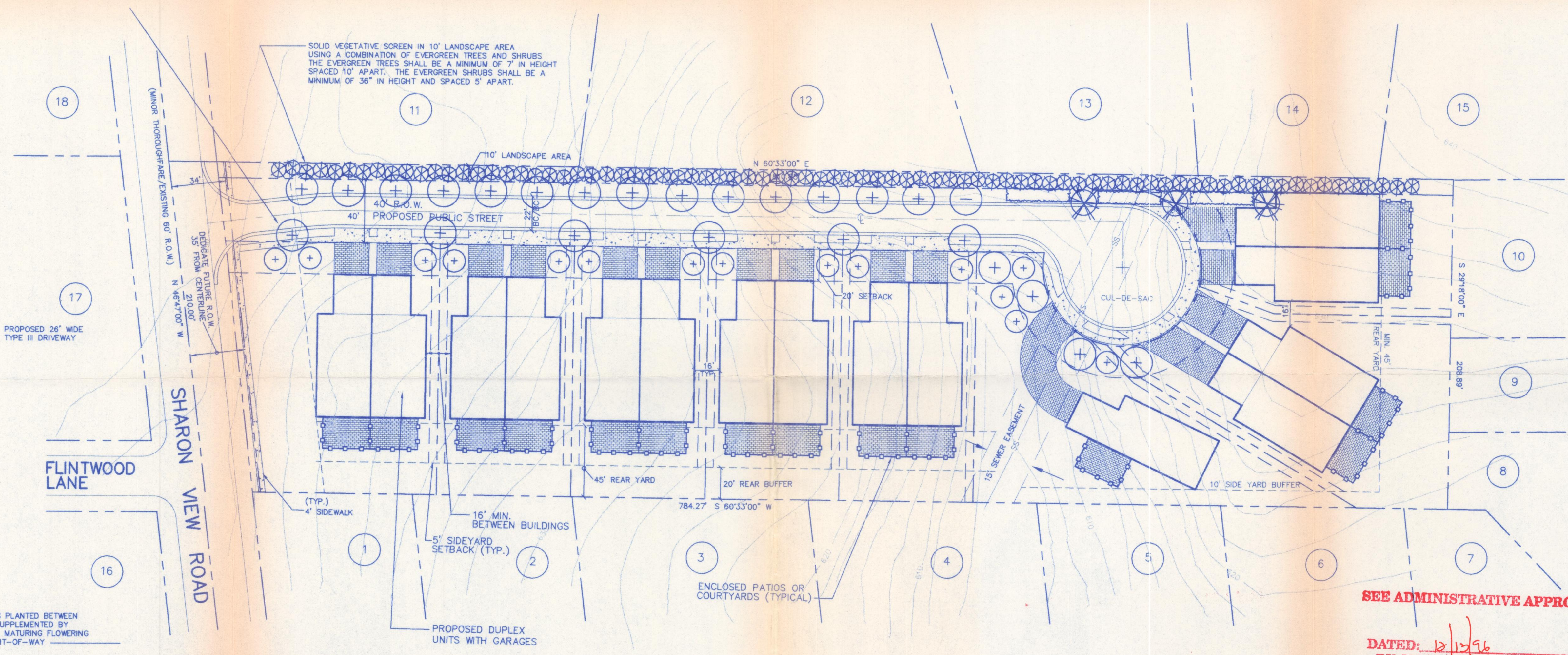
CONDITIONAL NOTES:

1. THIS SITE PLAN REPRESENTS A FIRM CONCEPT FOR DEVELOPMENT REGARDING ACCESS FROM SHARON VIEW ROAD AND FOR THE ARRANGEMENT OF THE UNITS, PARKING AND THE PUBLIC STREET. HOWEVER, MODIFICATIONS TO THIS SITE LAYOUT SHALL BE PERMITTED BASED UPON SITE CONSTRAINTS, FINAL ENGINEERING, ARCHITECTURAL AND SUBDIVISION REQUIREMENTS. REGARDLESS OF THE FINAL SITE LAYOUT CONFIGURATION, THE PROPOSED UNITS SHALL NOT ENCRUCH INTO THE 40 FOOT SIDE YARD ALONG SHARON VIEW ROAD OR INTO THE 45 FOOT REAR YARD OR 10 FOOT SIDEYARD AROUND THE PROPERTY PERIMETER.
2. THE PETITIONER SHALL BE ALLOWED TO EXTEND PATIOS, COURTYARDS, PORCHES OR DECKS INTO THE 45 FOOT REAR YARD AREA. HOWEVER, THESE FEATURES CANNOT EXTEND INTO THE 20 FOOT REAR BUFFER AREA OR INTO THE 10 FOOT SIDE BUFFER AREA.
3. ONE PUBLIC STREET ACCESS POINT IS PROPOSED FROM SHARON VIEW ROAD. THIS NEW PUBLIC STREET CONNECTION WILL BE DESIGNED IN ACCORDANCE WITH CITY OF CHARLOTTE TRANSPORTATION DEPARTMENT REQUIREMENTS.
4. THE PETITIONER/DEVELOPER SHALL DEDICATE ADDITIONAL RIGHT-OF-WAY ALONG SHARON VIEW ROAD TO ESTABLISH A FUTURE RIGHT-OF-WAY LINE THAT MEASURES 35 FEET FROM THE CENTERLINE OF SHARON VIEW ROAD. THE RIGHT-OF-WAY SHALL BE DEDICATED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT ASSOCIATED WITH THE PROPOSED DEVELOPMENT.
5. THE DEVELOPMENT ASSOCIATED WITH THIS PROPERTY SHALL COMPLY WITH ALL APPLICABLE ORDINANCE REQUIREMENTS PERTAINING TO THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE AND OTHER APPLICABLE CITY LAND DEVELOPMENT STANDARDS. THE REQUIREMENT FOR A 100 PLUS 1 STUDY SHALL BE EVALUATED DURING THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS, AND IF 50 CFS THRESHOLD IS EXCEEDED, SAID STUDY SHALL BE PROVIDED IN ACCORDANCE WITH CITY ENGINEERING STANDARDS.
6. STORM WATER DETENTION SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF CHARLOTTE STANDARDS. AN ABOVE GRADE STORM WATER DETENTION FACILITY WILL NOT BE LOCATED IN THE 40 FOOT FRONT SETBACK ALONG SHARON VIEW ROAD.
7. FIRE HYDRANTS SHALL BE LOCATED WITHIN 750 FEET, AS THE FIRE TRUCK TRAVELS, OF THE MOST REMOTE AND ACCESSIBLE POINT OF ALL BUILDINGS.
8. A FOUR FOOT SIDEWALK WILL BE CONSTRUCTED ON ONE SIDE OF THE STREET TO SERVE THE UNITS. LARGE MATURING STREET TREES WILL BE INSTALLED ALONG THE BACK OF CURB ON BOTH SIDES OF THE PUBLIC CUL-DE-SAC STREET.
9. THE AREA BETWEEN THE ENCLOSED COURTYARDS AND THE NORTHERN PROPERTY LINE SHALL BE HEAVILY LANDSCAPED USING A COMBINATION OF LARGE MATURING DECIDUOUS TREES AND EVERGREEN TREES AND SHRUBS. THE 10 FOOT LANDSCAPE AREA ALONG THE SOUTHERN PROPERTY LINE SHALL BE SUPPLEMENTED WITH LARGE MATURING TREES INSTALLED AT 3" CALIPER MINIMUM SIZE.

SITE DEVELOPMENT DATA:

SITE AREA : 3.67 ACRES (EXCLUDING R.O.W.)
 EXISTING ZONING : R-3
 PROPOSED ZONING : R-8 (CD)
 MAXIMUM DENSITY ALLOWED : 29 MAXIMUM UNITS (8 D.U./ACRE)
 PROPOSED # OF UNITS : 15 MAXIMUM (4 D.U./ACRE)

- R-8 DEVELOPMENT STANDARDS:
- 20' MINIMUM SETBACK
 - 5' MINIMUM SIDEYARD
 - 45' MINIMUM REAR YARD
 - 20' MINIMUM REAR BUFFER
 - 10' MINIMUM SIDE BUFFER
 - 40' MINIMUM LOT WIDTH
 - 50% MINIMUM OPEN SPACE
 - 2 PARKING SPACES PER UNIT
 - 6,500 SF MINIMUM LOT FOR DUPLEX



LARGE MATURING TREES PLANTED BETWEEN CURB AND SIDEWALK, SUPPLEMENTED BY SECOND ROW OF SMALL MATURING FLOWERING TREES BEHIND THE RIGHT-OF-WAY

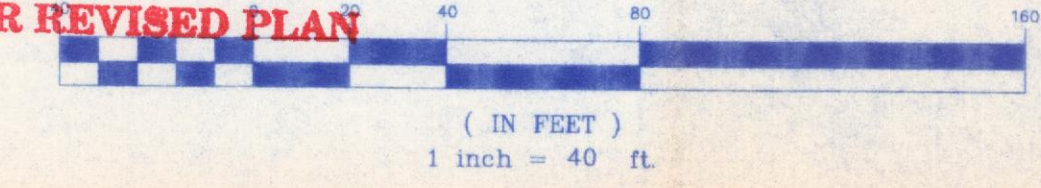
SOLID VEGETATIVE SCREEN IN 10' LANDSCAPE AREA USING A COMBINATION OF EVERGREEN TREES AND SHRUBS. THE EVERGREEN TREES SHALL BE A MINIMUM OF 7' IN HEIGHT SPACED 10' APART. THE EVERGREEN SHRUBS SHALL BE A MINIMUM OF 36" IN HEIGHT AND SPACED 5' APART.

SEE ADMINISTRATIVE APPROVAL

DATED: 12/12/96
 BY: MARTIN R. CRAMTON, JR.

FOR REVISED PLAN

GRAPHIC SCALE



APPROVED BY CITY COUNCIL
 DATE: September 18, 1995

CONDITIONAL REZONING REQUEST
 TOMMY LEE NASEKOS

C.D. REZONING/SUBDIVISION SITE PLAN
 SHARON VIEW ROAD CHARLOTTE, NC

Project No.	35996
Checked by	TLH
Drawn by	PAB
Date Drawn	5/16/95
Revisions	
1	5/17/95 MF TO SF LAYOUT
2	6/19/95 REVISED FOR PUBLIC HEARING
3	7/7/95 RESPONSE TO CMPC STAFF COM.
4	7/13/95 FLIP ROAD PER CDOT.
	PER CMPC: 45' MIN. REAR YARD SETBACK

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