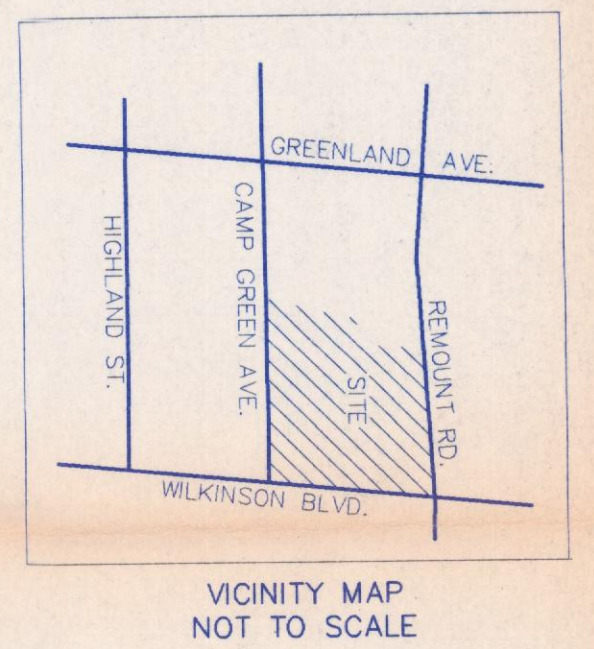


SITE DATA:

EXISTING ZONING: I-1, O-2
 PROPOSED ZONING: I-1 (CD)
 PROPOSED USE: Electrical Parts/Distribution, including wholesale sales.
 MAXIMUM BLDG. SIZE: 75,000 Sq. Ft.
 SITE SIZE: 3.425 ACRES

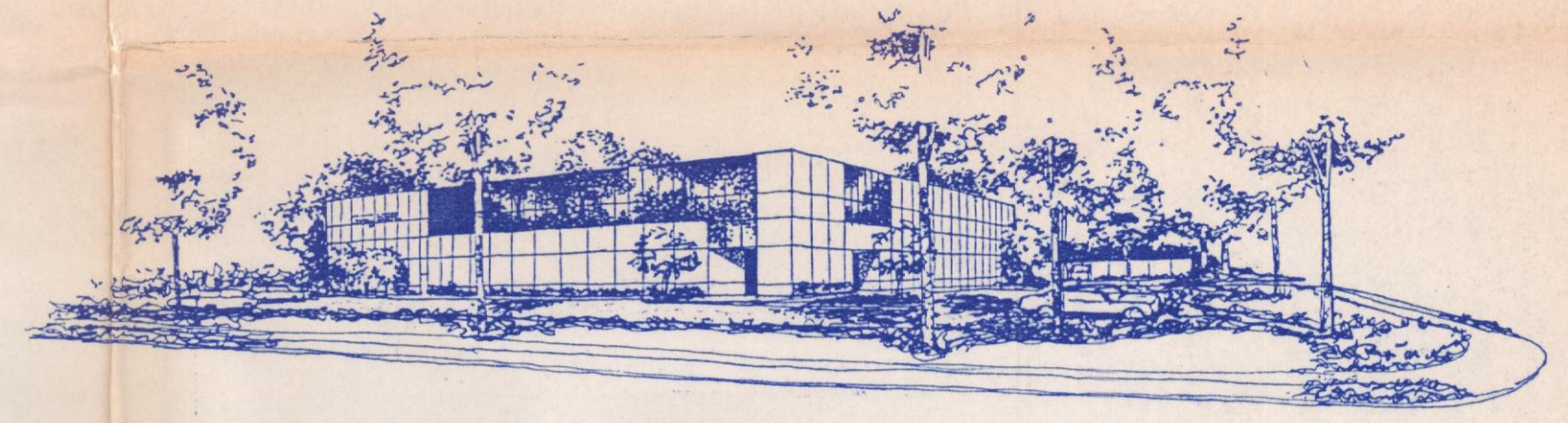


NOTES:

- The Conditional Site Plan represents a firm development concept with respect to the arrangement of the building, parking, circulation and buffer/setback areas. However, minor modifications to the layout shown are permitted which can alter the building footprint, precise driveway locations, the arrangement of parking spaces, etc. Such changes shall be clearly incidental in nature and shall not alter the basic design as illustrated. In no event shall the maximum building size be increased or buffer/setback dimensions be reduced from that depicted.
- The proposed development shall comply with all applicable requirements pertaining to off-street parking, signage, landscaping/screening, buffers, storm water management and the Charlotte Tree Ordinance.
- The petition shall dedicate the appropriate right-of-way along site's frontage adjoining Wilkinson Blvd. and Remount Rd. as shown. Such dedication shall be made prior to the issuance of any building permit associated with the proposed development.
- The overall layout of the development is designed to orient many of the operational characteristics to Wilkinson Blvd. and Remount Rd. (for example: the location of driveways, parking, offices, etc.). Furthermore, the building design is intended to provide a compatible relationship with the edges of the site along Camp Green Rd. and the northerly boundary where the property abuts residential areas. This shall be accomplished by designing the northerly building elevations as solid or blank elevations devoid of windows, doors, loading docks, or any similar activities which could otherwise introduce offensive noise, parking or other operational functions into the residential areas immediately adjoining the site. The westerly building elevation shall be similarly designed, except that clerestory windows shall be utilized along portions of the building elevation.
- In addition to the architectural/design conditions listed just above, the 45.75' buffer area shall be attractively landscaped as required, including the installation of a masonry wall and solid wooden fence or an earthen berm. Also, as indicated by the site plan, areas near the loading dock shall also receive special landscaping/screening emphasizing this portion of the site facing Remount Rd.
 Finally, the loading dock area shall be designed in a manner to conceal this area by extending the northerly building elevation as a minimum 10 ft. high wall (measured from the finished floor elevation) from the end of the building to the setback line along Remount Rd.
- Maximum building height shall not exceed 40'.
- Vehicular access points shall be limited to the number shown. All driveways shall be designed in accordance with Charlotte Dept. of Transportation requirements. The proposed driveway connection along Camp Green Rd. may be relocated at the petitioner's discretion in the future along Wilkinson Blvd. as shown, subject to the following conditions:
 - If the City of Charlotte constructs a left-turn lane to Remount Rd. as part of the Camp Green Rd./Remount Rd. minor thoroughfare.
 - North Carolina Dept. of Transportation permits driveway onto Wilkinson Blvd.
- Several large, mature Oak trees adjoin the site along Camp Green Rd. These trees are located within the street right-of-way. The petitioner commits to preserving and maintaining these trees as they form an attractive and important streetscape appearance leading into the residential portion of Camp Green Rd. During construction, fencing, barricades or other suitable measures shall be utilized around the trees to ensure protection. (Note: similar protection shall be extended for the Oaks along Remount Rd.)
- Fire hydrants shall be located within 750', as the fire truck travels, of the most remote and accessible point of all buildings. Development of the site shall comply with all fire codes/regulations, including Chapter 36 High Piled Combustible Storage of the State Fire Prevention Code, if applicable.
- Petitioner commits to the Illustrative Rendering attached as typical of the architectural style and intent of the proposed building. Changes of detail which do not alter the basic architectural style/intent are permitted.
- Landscaping along Wilkinson Blvd. will comply with the approved streetscape plans for Wilkinson Blvd.
- Petitioner shall provide sidewalks along Wilkinson Blvd., Remount Rd., and Camp Green Rd., except for the portion of the site's frontage along Camp Green Rd. which corresponds to the area of existing, large Willow Oak trees. (See plan for sidewalk location).
- The existing chain link fence at the area of the site shall be removed. No new chain link fencing shall be erected.
- No signage shall be permitted along Camp Green Rd.
- Building elevations facing Camp Green Road and the northerly property line shall not have lighting, unless required by other governmental agency regulations or for security purposes.
- The maximum height of lights in the parking area shall not exceed 30'.

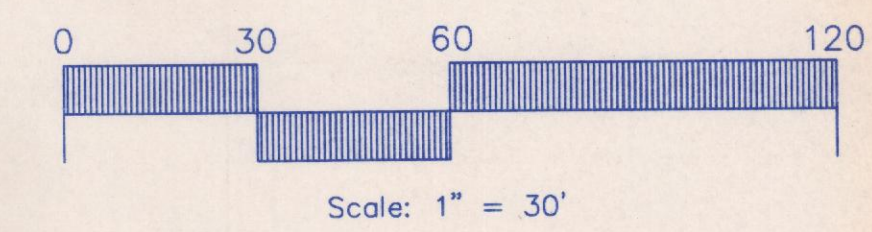
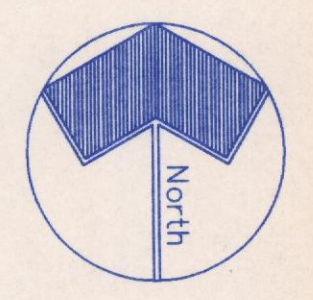
Adjoining Property Owners

067-061-04	T. R. Cook	6025 Mallard Drive	Charlotte, N.C. 28227
067-062-08	William and Aggella Cody	1042 Pineborough Rd.	Charlotte, N.C. 28212
067-063-15	Nick and Jasilli Kaperonis	4201 Murrayhill Rd.	Charlotte, N.C. 28209
067-063-16	C.A. Deese	6232 Kinghurst Drive	Charlotte, N.C. 28216
067-063-17	Wanda Abercrombie, et al	115 Kensetta Ave.	Charlotte, N.C. 28214
067-063-18	Eric B. Hasson	2232 Camp Greene St.	Charlotte, N.C. 28208
067-063-19	Frederick J. O'Neil	2228 Camp Greene St.	Charlotte, N.C. 28208
067-063-20	James H. Alexander	2132 Tyvola Road	Charlotte, N.C. 28209
117-011-09	Eli J. and Violet Fox	2511 Wilkinson Blvd.	Charlotte, N.C. 28208
117-011-10	Mary A. Funderburk & Kay Hudson P/LP	5821 Fairview Rd. #G-9	Charlotte, N.C. 28209
067-061-04	Neuse, Inc. & First Citizens Bank	P.O. Box 31727	Charlotte, N.C. 28231
067-061-03	Hasco, Inc.	2021 Dartmouth Place	Charlotte, N.C. 28207
067-061-02	City of Charlotte Fire Dept.	2 600 E. Fourth St.	Charlotte, N.C. 28202



Illustrative Rendering
 Graybar Electric Company, Charlotte, N.C.
 View from Wilkerson Blvd. at Remount Rd.

APPROVED BY CITY COUNCIL
 DATE September 18, 1995
 95-59



GRAYBAR ELECTRIC COMPANY, INC.

REZONING SITE PLAN PETITION #:



DPR ASSOCIATES, INC.
 Landscape Architects
 Planners & Engineers
 2036 East Seventh Street
 Charlotte, NC 28204
 704/332-1204

TOTAL AREA: 149,174.08 SQ. FT.
 OR
 3.425 ACRES
 CHARLOTTE, MECKLENBURG COUNTY, N.C.
 TAX NUMBERS: 067-062-05,06,07
 MAP BOOK 3 PAGE 244 & MAP BOOK 3 PAGE 101
 JANUARY 12, 1994 - SHOW ELEVATIONS & CONTOUR LINES
 APRIL 26, 1995 - SHOW DRIVEWAYS, MEDIANS, & PAVING
 1" = 30'
 DEC. 3, 1993 W - 1460A

NOTE: SURVEY INFORMATION FROM A SURVEY BY R.B. PHARR & ASSOCIATES, P.A.

WILKINSON BOULEVARD
 U.S. HWY. 29 & 74
 (VARIABLE R/W)